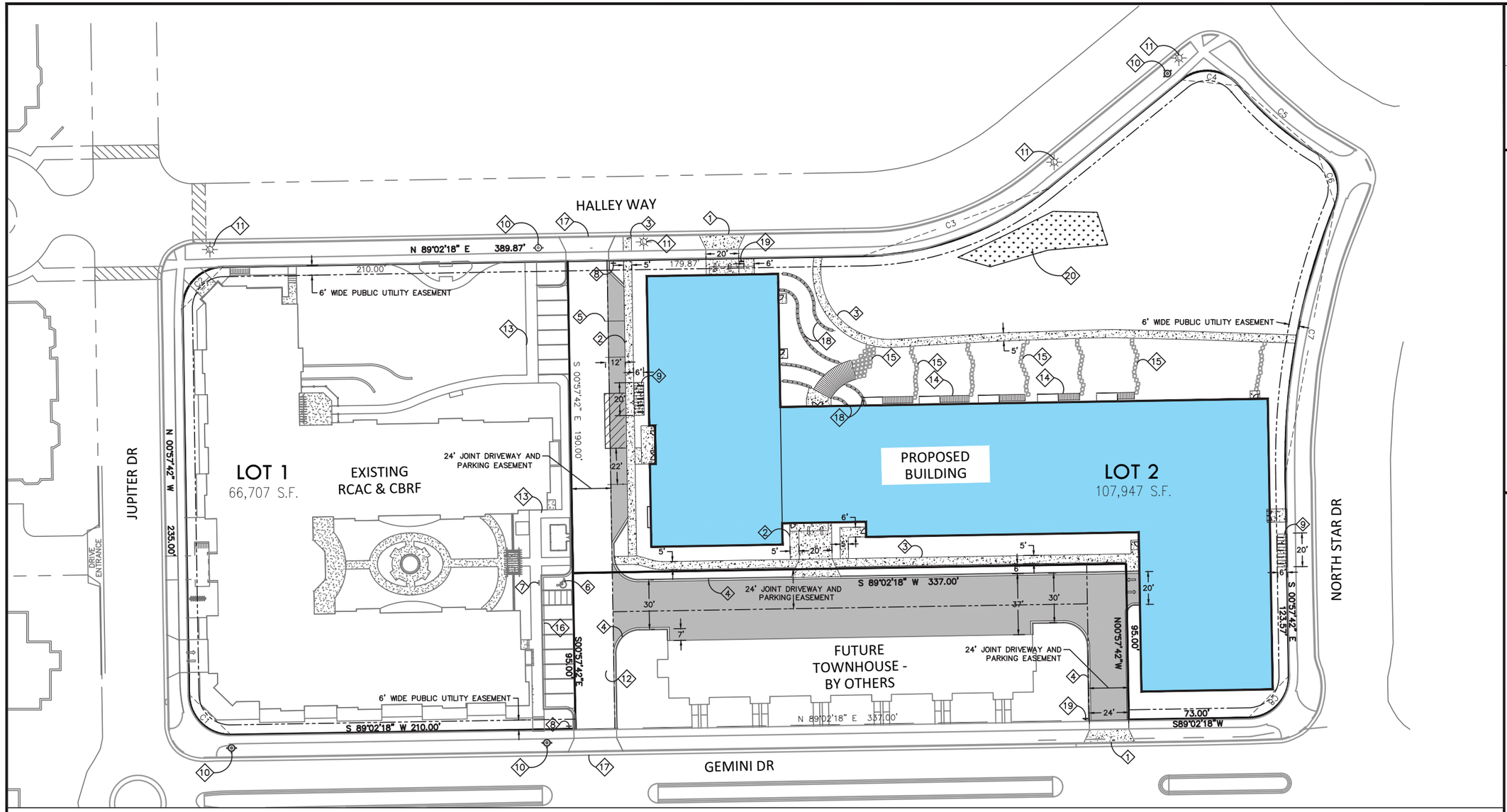


PLAN KEY

1. NEW DRIVEWAY APPROACH IN ACCORDANCE WITH M.G.O. 10.08 (F). CONTRACTOR TO OBTAIN PERMIT FROM CITY TO WORK IN THE RIGHT-OF-WAY
2. THICKENED EDGE SIDEWALK
3. SIDEWALK
4. 18" CURB AND GUTTER
5. PAVEMENT STRIPING
6. EX VAN ACCESSIBLE STALL, TYP.
7. EX VAN ACCESSIBLE PARKING SIGN, TYP. AERATING FOUNTAIN
8. EX STOP SIGN
9. BICYCLE RACK
10. EX HYDRANT
11. EX LIGHT POLE
12. EX ASPHALT
13. EX SIDEWALK
14. STAIRS, TYP. – SEE ARCHITECTURAL PLANS
15. STONE PATH, TYP.
16. EX CURB AND GUTTER
17. EX DRIVEWAY APRON
18. BOULDER RETAINING WALL, TYP.
19. STOP SIGN
20. RAINGARDEN

PAVEMENT KEY

- ASPHALT PAVEMENT
- CONCRETE
- PROPOSED BUILDING

SITE INFORMATION

SITE ADDRESS: 5817 HALLEY WAY
SITE ACREAGE TOTAL: 107,984 SF (2.48 ACRES)
NUMBER OF BUILDING STORIES = 4
BUIDING HEIGHT = 50'
BUILDING AREA = 175,225 SF (44,238 SF FOOTPRINT)
TYPE OF CONSTRUCTION: VA
NUMBER OF EXTERIOR PARKING STALLS: 5
NUMBER OF UNDERGROUND PARKING STALLS: 99 (3 HC)
TOTAL NUMBER OF PARKING STALLS: 104 (3 HC)

N W E S

0 30 60 90
SCALE : 1" = 30' (24 X 36)
1" = 60' (11 X 17)

ISSUANCE/REVISION	DATE
SITE PLAN SUBMITTAL	09-04-13

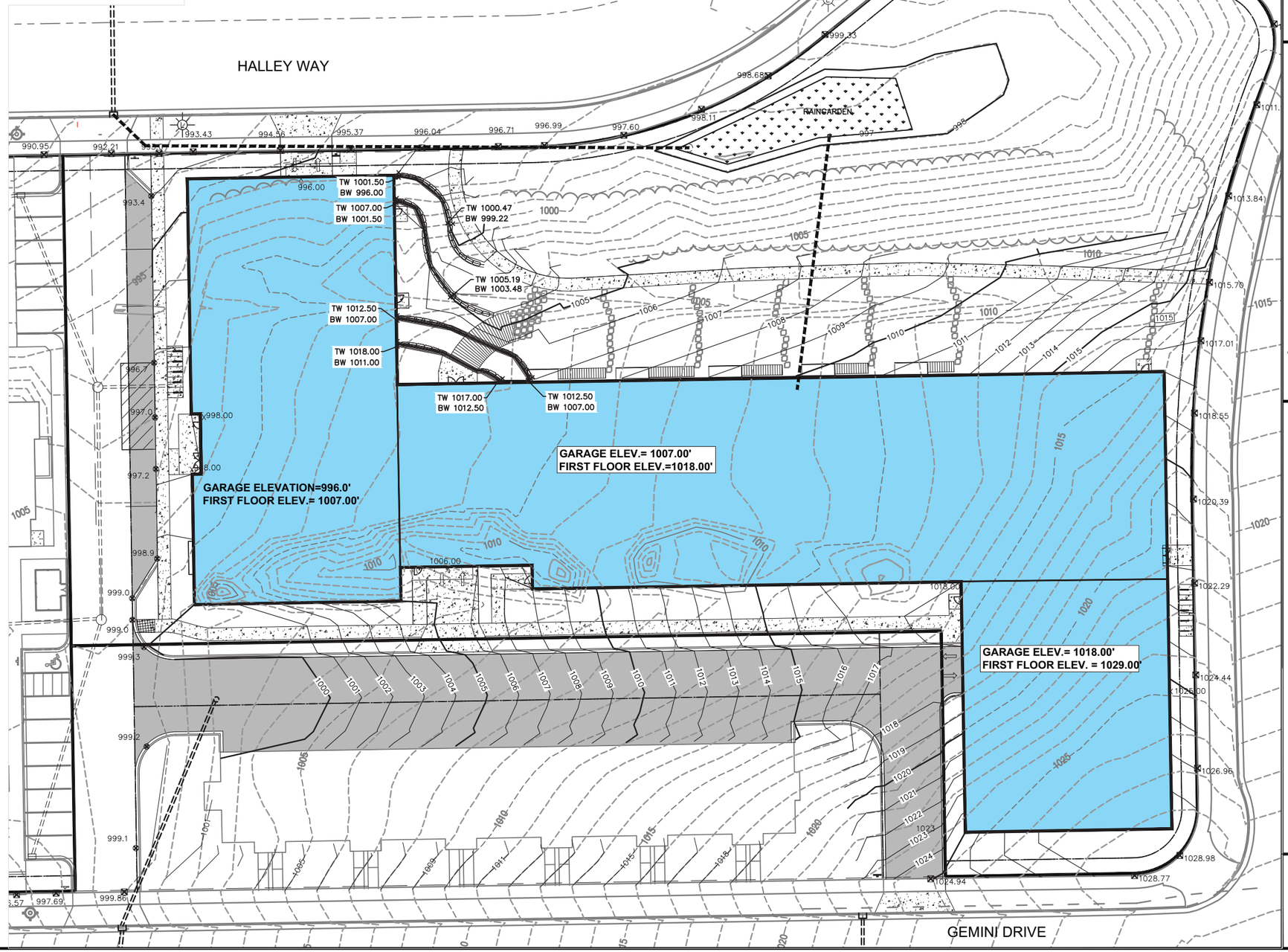
PROFESSIONAL ENGINEERING LLC
818 N Meadowbrook Ln
Waunakee, WI 53597
phone (608) 849-9378
fax (608) 237-2129

CAPITOL VIEW AT OAK PARK
SITE PLAN
5817 HALLEY WAY
MADISON, WISCONSIN

C100

BENCHMARKS

No.	ELEVATION	LOCATION
BENCHMARK 1	991.99'	TOP NUT OF HYDRANT, N.W. CORNER OF GEMINI DRIVE AT JUPITER DRIVE
BENCHMARK 2	999.28'	TOP NUT OF HYDRANT, NORTH SIDE OF GEMINI DRIVE, 230' EAST OF JUPITER DRIVE
BENCHMARK 3	1004.69'	TOP NUT OF HYDRANT N.E. CORNER OF HALLEY WAY AT HERCULES DRIVE



LEGEND

- 1000 — PROPOSED CONTOUR
- 1000 — EXISTING CONTOUR
- 1000.00 — EXISTING SIDEWALK ELEVATION
- 1000.00 — PAVEMENT/LAWN ELEVATION
- RETAINING WALL
- BIORETENTION/ RAIN GARDEN

N
W E
S

0 20 40 60

SCALE : 1" = 20' (24 X 36)
1" = 40' (11 X 17)

ISSUANCE/REVISION	DATE
SITE PLAN SUBMITTAL	09-04-13

PROFESSIONAL ENGINEERING LLC
818 N Meadowbrook Ln
Waunakee, WI 53597
phone (608) 849-9378
fax (608) 237-2129

CAPITOL VIEW AT OAK PARK
GRADING PLAN
5817 HALLEY WAY
MADISON, WISCONSIN

C200

P:\files\1006\Dwg\Design\1006 Grading.dwg | 9/4/2013 7:36:01 AM

UTILITY NOTES

1. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.

2.. ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE AND WERE FIELD LOCATED FROM GROUND MARKINGS PLACED BY THE UTILITY COMPANIES OR THEIR AGENT. THE LOCATIONS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.

3. ALL SITE UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST ADDITION.

4. CONTRACTOR SHALL OBTAIN ALL NECESSARY CONNECTION PERMITS FROM THE CITY PRIOR TO ANY UTILITY WORK. CONTRACTOR TO NOTIFY THE PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.

5. RESTORATION OF PAVEMENT, CURB & GUTTER, AND SIDEWALK WITHIN THE STREET RIGHT OF WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE UNDERGROUND IMPROVEMENTS.

6. ALL CURB INLETS CASTINGS TO BE NEENAH MODEL R-3067. AREA INLET CASTINGS TO BE NEENAH MODEL R1550 W/OPEN GRATE.

7. ALL STORM SEWER PIPE TO BE RCP CLASS III REINFORCED CONCRETE WITH RUBBER GASKETS OR ADS-N12 PIPE AS NOTED IN PIPE TABLE.

8. WATER MAIN AND SERVICES SHALL BE DUCTILE IRON, CLASS 52.

9. SANITARY SEWER SERVICES SHALL BE SDR-35 PVC.

10. CONTRACTOR TO COORDINATE NEW, RELOCATED AND/OR ABANDONED GAS, ELECTRIC, TELEPHONE, AND CABLE WITH APPROPRIATE UTILITY COMPANIES.

11. UTILITIES SERVING PROPOSED BUILDINGS SHALL BE STUBBED TO WITHIN 5 FEET OF THE PROPOSED BUILDING(S) AND MARKED WITH A 4"x4" HARDWOOD POST.

12. ALL ROOF DRAIN DISCHARGE LOCATIONS AND PIPING SHALL BE COORDINATED W/BUILDING PLUMBER.

EXISTING UTILITY LEGEND

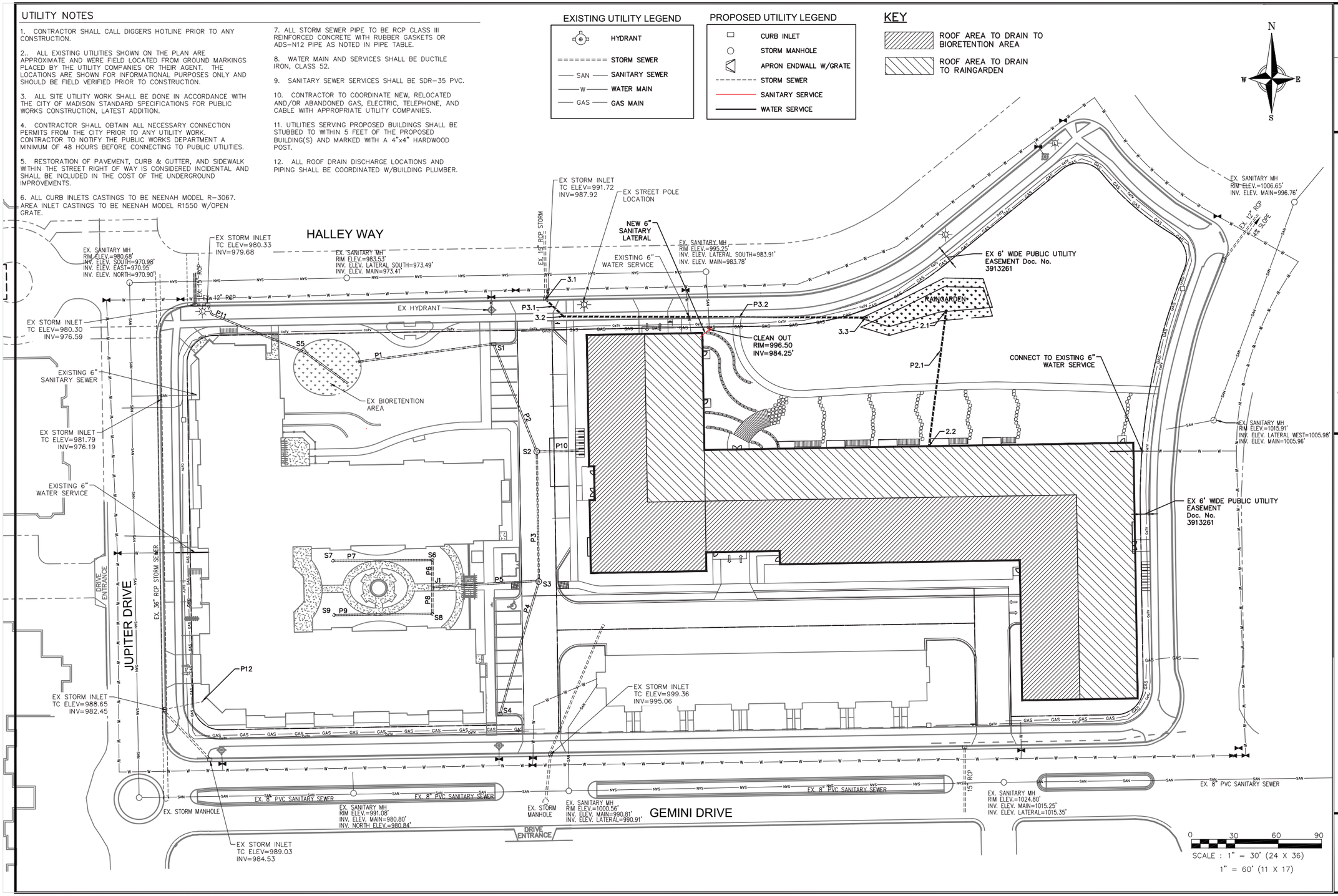
- HYDRANT
- STORM SEWER
- SAN — SANITARY SEWER
- W — WATER MAIN
- GAS — GAS MAIN

PROPOSED UTILITY LEGEND

- CURB INLET
- STORM MANHOLE
- APRON ENDWALL W/GRATE
- STORM SEWER
- SANITARY SERVICE
- WATER SERVICE

KEY

- ROOF AREA TO DRAIN TO BIORETENTION AREA
- ROOF AREA TO DRAIN TO RAINGARDEN

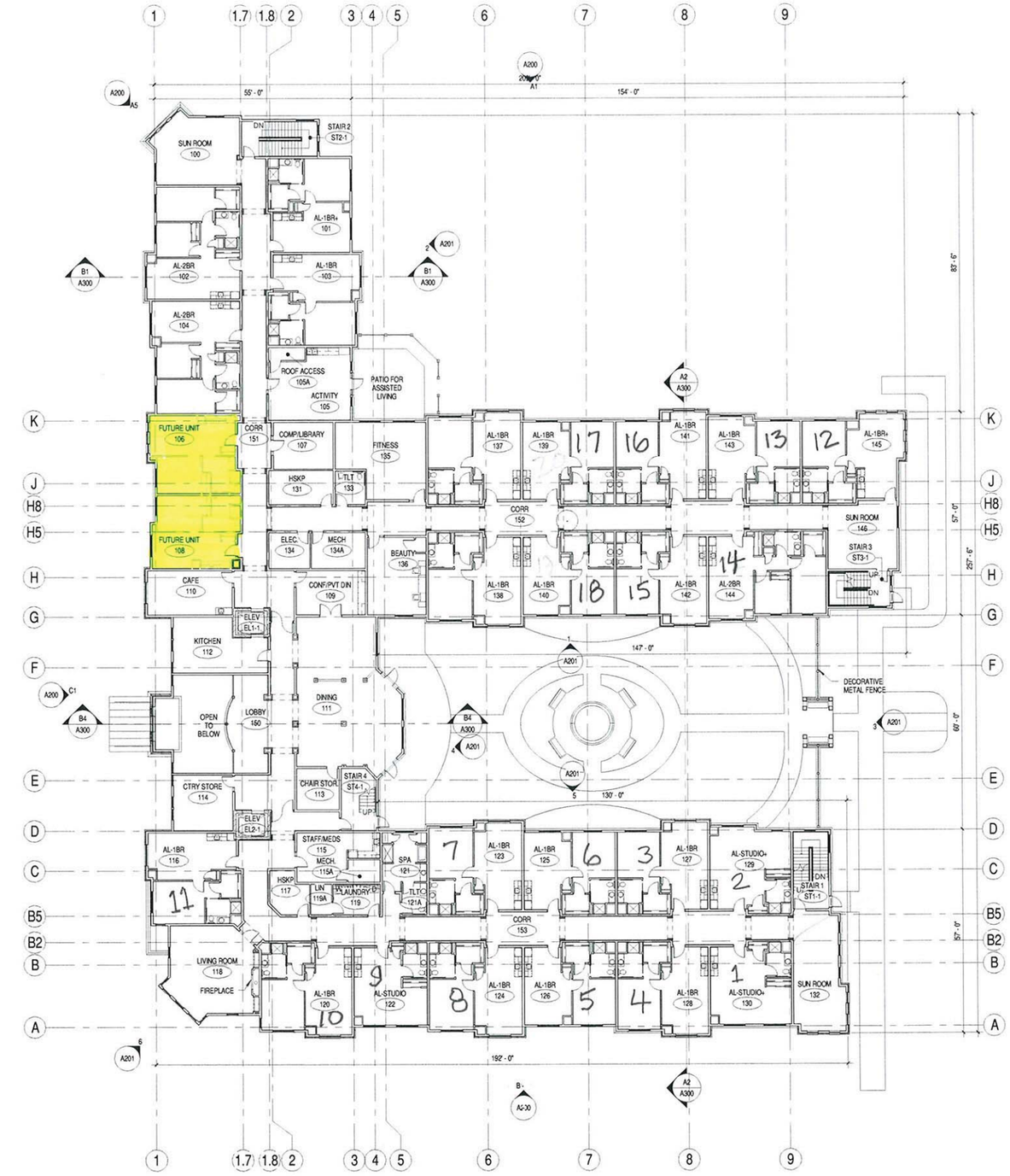


ISSUANCE/REVISION	DATE
SITE PLAN SUBMITTAL	09-04-13

PROFESSIONAL ENGINEERING LLC
818 N Meadowbrook Ln
Waunakee, WI 53597
phone (608) 849-9378
fax (608) 237-2129

CAPITOL VIEW AT OAK PARK
UTILITY PLAN
5817 HALLEY WAY
MADISON, WISCONSIN

C300



A3 1ST FLOOR - OVERALL
1/16" = 1'-0"

eu:a

eppstein uhen : architects
milwaukee 333 East Chicago Street Milwaukee, Wisconsin 53202 tel 414 271 5350 fax 414 271 7794
madison 222 West Washington Ave, Suite 650 Madison, Wisconsin 53703 tel 608 442 5350 fax 608 442 6680

PROJECT INFORMATION

OAK PARK PLACE II - ASSISTED LIVING

GRANDVIEW COMMONS
719 JUPITER DRIVE
MADISON, WI

ISSUANCE AND REVISIONS

DESIGN DEVELOPMENT (FINAL)

NORTH
SOUTH

REVISIONS

#	DATE	DESCRIPTION

SHEET INFORMATION

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

PROJECT MANAGER	SL
PROJECT NUMBER	106389-04
DATE	10-11-07

1ST FLOOR PLAN

A101

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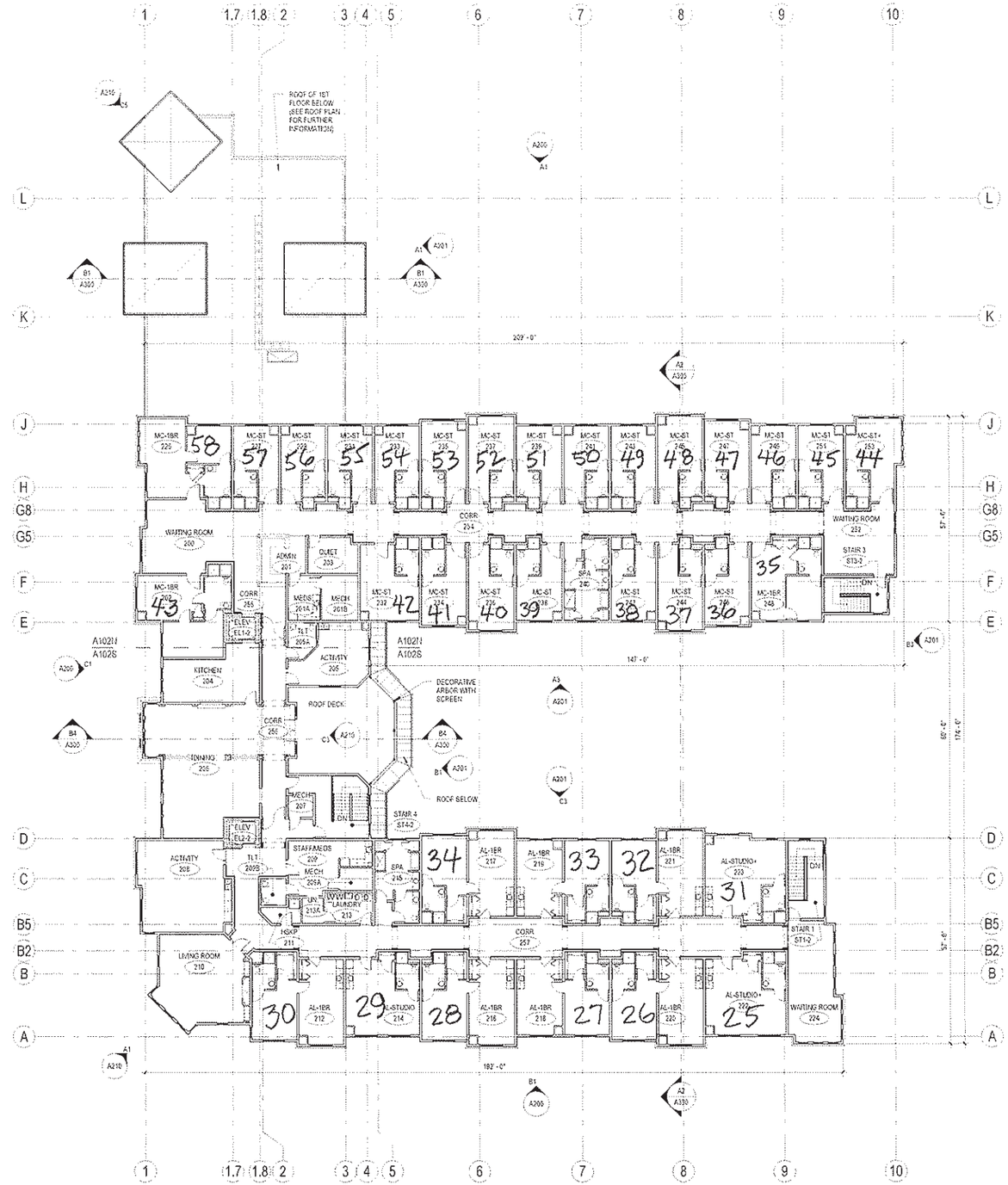
FLOOR PLAN NOTES

SEE A000 FOR GENERAL FLOOR PLAN NOTES



A3 2ND FLOOR - OVERALL
1/16" = 1'-0"

eppstein uhen : architects

milwaukee 333 East Chicago Street
Milwaukee, Wisconsin 53202
tel 414 271 5350 fax 414 271 7794

madison 222 West Washington Ave Suite 650
Madison Wisconsin 53703
tel 608 440 5350 fax 608 440 6086

PROJECT INFORMATION

OAK PARK PLACE II - ASSISTED LIVING

GRANDVIEW COMMONS
719 JUPITER DRIVE
MADISON, WI

ISSUANCE AND REVISIONS

BID DOCUMENTS

NORTH
SOUTH

REVISIONS

#	DATE	DESCRIPTION

SHEET INFORMATION

PROJECT MANAGER	SL
PROJECT NUMBER	106369-04
DATE	12-05-07

2ND FLOOR PLAN - OVERALL

A102

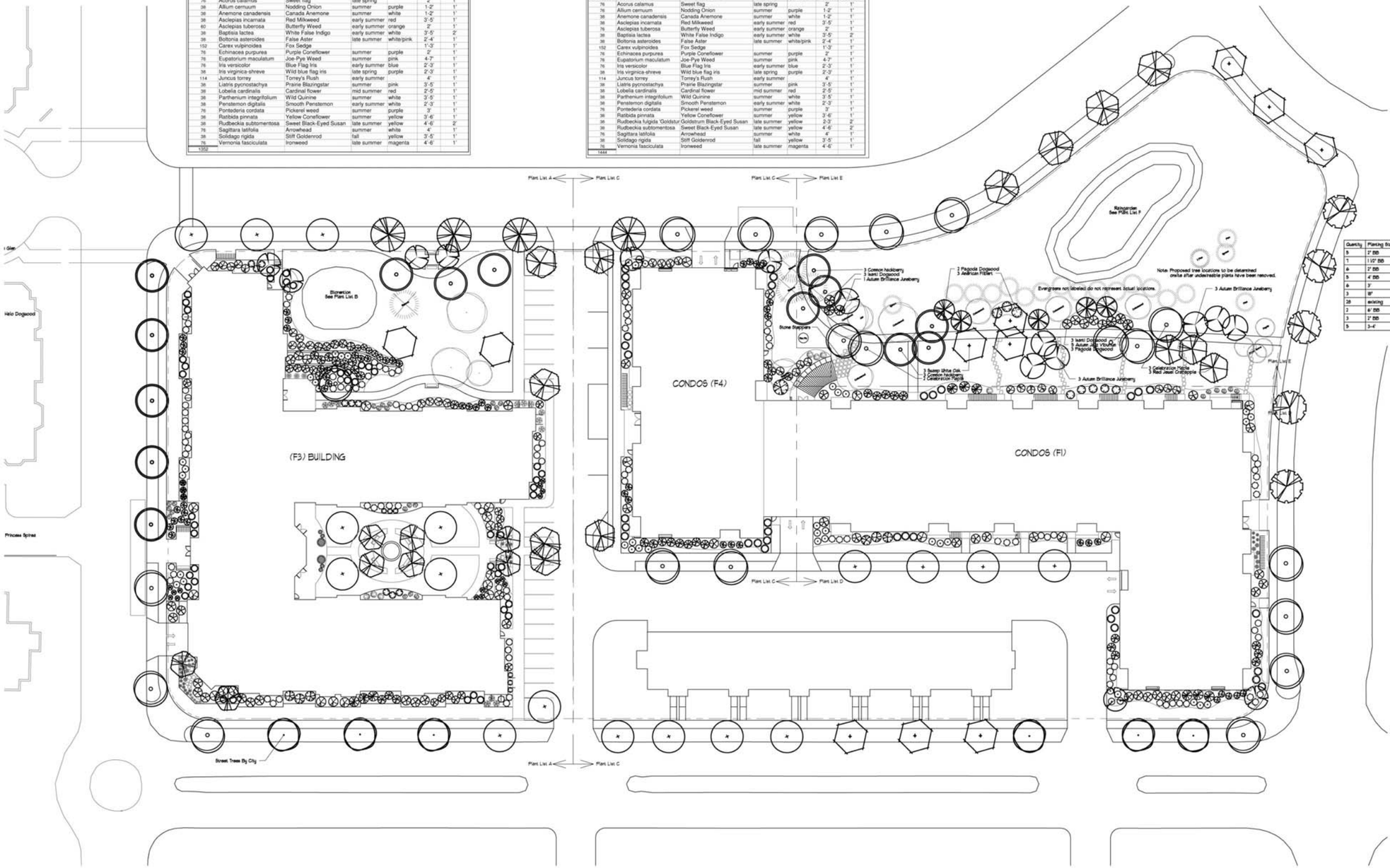
© Eppstein Uhen Architects, Inc.

Plant List B

QUANTITY	LATIN NAME	COMMON NAME	TIME	COLOR	HEIGHT	SPACING
76	Acorus calamus	Sweet flag	late spring		2'	1'
38	Allium cernuum	Nodding Onion	summer	purple	1-2'	1'
38	Anemone canadensis	Canada Anemone	summer	white	1-2'	1'
38	Asclepias incarnata	Red Milkweed	early summer	red	3'-5'	1'
60	Asclepias tuberosa	Butterfly Weed	early summer	orange	2'	1'
38	Baptisia lactea	White False Indigo	early summer	white	3'-5'	2'
38	Boltonia asteroides	False Aster	late summer	white/pink	2'-4'	1'
152	Carex vulpinoides	Fox Sedge			1'-3'	1'
76	Echinacea purpurea	Purple Coneflower	summer	purple	2'	1'
76	Eupatorium maculatum	Joe-Pye Weed	summer	pink	4-7'	1'
76	Iris versicolor	Blue Flag Iris	early summer	blue	2'-3'	1'
38	Iris virginica-shreve	Wild blue flag iris	late spring	purple	2'-3'	1'
114	Juncus torrey	Torrey's Rush	early summer		4'	1'
38	Liatris pycnostachya	Prairie Blazingstar	summer	pink	3'-5'	1'
38	Lobelia cardinalis	Cardinal flower	mid summer	red	2'-5'	1'
38	Parthenium integrifolium	Wild Quinine	summer	white	3'-5'	1'
38	Penstemon digitalis	Smooth Penstemon	early summer	white	2'-3'	1'
76	Pontederia cordata	Pickerel weed	summer	purple	3'	1'
38	Ratibida pinnata	Yellow Coneflower	summer	yellow	3'-6'	1'
38	Rudbeckia subtomentosa	Sweet Black-Eyed Susan	late summer	yellow	4'-6'	2'
76	Sagittara latifolia	Arrowhead	summer	white	4'	1'
38	Solidago rigida	Stiff Goldenrod	fall	yellow	3'-5'	1'
76	Vernonia fasciculata	Ironweed	late summer	magenta	4'-6'	1'
1368						

Plant List F

QUANTITY	LATIN NAME	COMMON NAME	TIME	COLOR	HEIGHT	SPACING
76	Acorus calamus	Sweet flag	late spring		2'	1'
76	Allium cernuum	Nodding Onion	summer	purple	1-2'	1'
38	Anemone canadensis	Canada Anemone	summer	white	1-2'	1'
38	Asclepias incarnata	Red Milkweed	early summer	red	3'-5'	1'
76	Asclepias tuberosa	Butterfly Weed	early summer	orange	2'	1'
38	Baptisia lactea	White False Indigo	early summer	white	3'-5'	2'
38	Boltonia asteroides	False Aster	late summer	white/pink	2'-4'	1'
152	Carex vulpinoides	Fox Sedge			1'-3'	1'
76	Echinacea purpurea	Purple Coneflower	summer	purple	2'	1'
76	Eupatorium maculatum	Joe-Pye Weed	summer	pink	4-7'	1'
76	Iris versicolor	Blue Flag Iris	early summer	blue	2'-3'	1'
38	Iris virginica-shreve	Wild blue flag iris	late spring	purple	2'-3'	1'
114	Juncus torrey	Torrey's Rush	early summer		4'	1'
38	Liatris pycnostachya	Prairie Blazingstar	summer	pink	3'-5'	1'
38	Lobelia cardinalis	Cardinal flower	mid summer	red	2'-5'	1'
38	Parthenium integrifolium	Wild Quinine	summer	white	3'-5'	1'
38	Penstemon digitalis	Smooth Penstemon	early summer	white	2'-3'	1'
76	Pontederia cordata	Pickerel weed	summer	purple	3'	1'
38	Ratibida pinnata	Yellow Coneflower	summer	yellow	3'-6'	1'
38	Rudbeckia fulgida 'Goldstur	Goldstrum Black-Eyed Susan	late summer	yellow	2-3'	2'
38	Rudbeckia subtomentosa	Sweet Black-Eyed Susan	late summer	yellow	4'-6'	2'
76	Sagittara latifolia	Arrowhead	summer	white	4'	1'
38	Solidago rigida	Stiff Goldenrod	fall	yellow	3'-5'	1'
76	Vernonia fasciculata	Ironweed	late summer	magenta	4'-6'	1'
1444						



Plant List E

Quantity	Planting Size	Scientific Name	Common Name
9	2" BB	Acer x freemanii 'Celebration'	Celebration Maple
1	1 1/2" BB	Amelanchier x grandiflora 'Autum Brilliance'	Autum Brilliance Juneberry
6	2" BB	Celtis occidentalis	Common hackberry
5	4' BB	Cornus Alternifolia	Pagoda Dogwood
6	3'	Cornus sericea 'Ivanti'	Ivanti Dogwood
3	8"	Corylus americana	American Filbert
28	existing	Existing Tree	Existing Tree
2	6' BB	Malus 'Red Jewel'	Red Jewel Crabapple
3	2" BB	Quercus bicolor	Swamp White Oak
5	3-4'	Viburnus dentatum 'Autum Jazz'	Autum Jazz Viburnus

LANDSCAPE ARCHITECTURE, LLC
Artistic Landscape Design and Project Management
5806 South Hill Drive
Madison, Wisconsin 53705
Phone 608.798.1840 Fax 608.798.1653

LANDSCAPE PLAN OAK PARK
UDC SUBMITTAL

OAK PARK CAPITOL OVERALL LANDSCAPE PLAN

MADISON, WISCONSIN

NORTH

SCALE 1"=30'-0"

DATE 7.10.07
DESIGN jch
REVISION 7.25.07
7.30.07
8.14.07
9.11.07

L-100

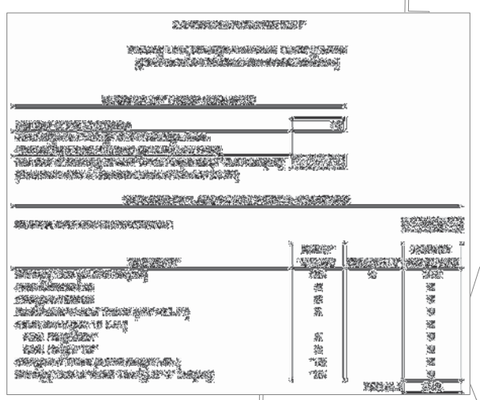
EUAOAKPARK

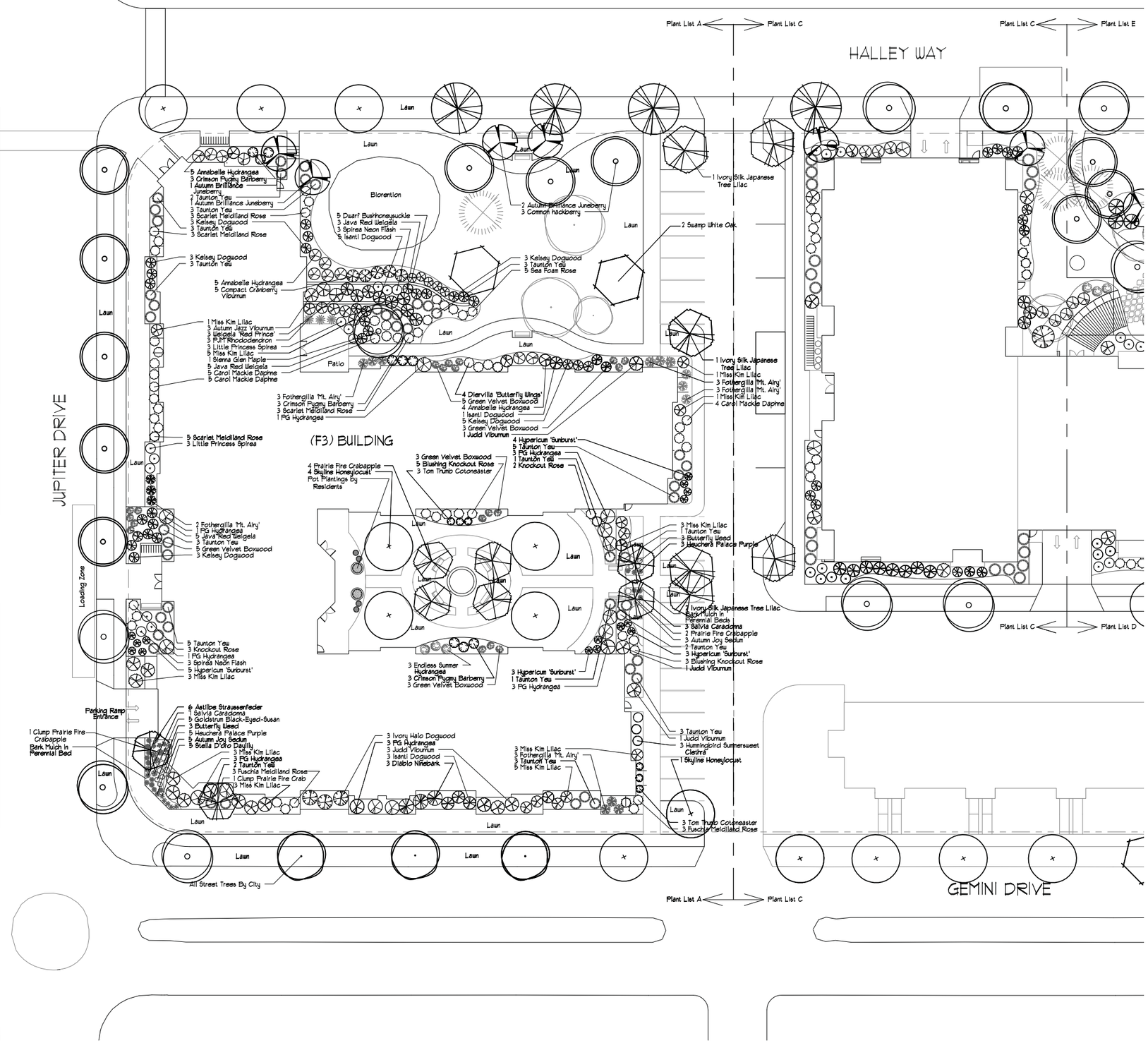
NOTES:

1. All plant beds to be edged with black vinyl edging.
2. Plant beds to be mulched with #2 washed stone and weed barrier.
3. Trees planted in lawn areas to recieve a 6' diameter shredded hardwood mulch ring.
4. Contractor is responsible for verifing all plant quantities. Plan shall preside over the plant list.

Plant List A

Quantity	Planting Size	Scientific Name	Common Name
1	2" BB	Acer 'Sienna Glen'	Sienna Glen
4	6-7' BB	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Juneberry
6	4" pot	Asclepius tuberosa	Butterfly Weed
6	4" pot	Astilbe thunbergii 'Straussenfeder'	Astilbe Straussenfeder
9	24"	Berberis thunbergii 'Crimson Pygmy'	Crimson Pygmy Barberry
9	#2	Buxus sempervirens 'Green Velvet'	Green Velvet Boxwood
3	2" BB	Celtis occidentalis	Common hackberry
3	3 Gal	Clethra alnifolia 'Hummingbird'	Hummingbird Summersweet
3	18"	Cornus alba 'Bailhalo'	Ivory Halo Dogwood
9	3'	Cornus sericea 'Isanti'	Isanti Dogwood
17	15"	Cornus sericea 'Kelsey'	Kelsey Dogwood
6	#2	Cotoneaster 'Tom Thumb'	Tom Thumb Cotoneaster
14	12-15"	Daphne x burkwoodii 'Carol Mackie'	Carol Mackie Daphne
9	24"	Diervilla lonicera 'Butterfly Wings'	Diervilla 'Butterfly Wings'
12	5-Gal	Fothergilla gardenii	Fothergilla 'Mt. Airy'
5	2" BB	Gleditsia triacanthos 'Skycole'	Skyline Honeylocust
5	4" pot	Hemerocallis 'Stella D'oro'	Stella D'oro Daylily
8	4" pot	Heuchera micrantha 'Palace Purple'	Heuchera Palace Purple
14	¶ Grade	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea
3	¶ Grade	Hydrangea macrophylla 'Endless Summer'	Endless Summer
15	2-3'	Hydrangea paniculata 'Grandiflora'	PG Hydrangea
15	#2	Hypericum frondosum 'Sunburst'	Hypericum 'Sunburst'
2	6-7' BB	Malus 'Prairie Fire' Clump Form	Clump Form Crabapple
6	6-7' BB	Malus 'Prairie Fire'	Prairie Fire Crabapple
3	3-4'	Physocarpus opulifolius 'Diablo'	Diablo Ninebark
2	2" BB	Quercus bicolor	Swamp White Oak
3	#2	Rhododendron PJM	PJM Rhododendron
8	2 Gal	Rosa 'Blushing Knockout'	Blushing Knockout Rose
6	2 gal	Rosa 'Fuschia Meidiland'	Fuschia Meidiland Rose
5	2 gal	Rosa 'Knockout'	Knockout Rose
14	2 gal	Rosa 'Scarlet Meidiland'	Scarlet Meidiland Rose
5	2 Gal	Rosa 'Sea Foam'	Sea Foam Rose
5	4" pot	Rudbeckia hirta 'Goldstrum'	Goldstrum Black-Eyed-Susan
10	4" pot	Salvia superba 'Caradonna'	Salvia Caradonna
8	4" Pot	Sedum spectabile 'Autumn Joy'	Autumn Joy Sedum
6	12-15"	Spirea japonica 'Little Princess'	Little Princess Spirea
6	15-18"	Spiraea bumalda 'Neon Flash'	Spirea Neon Flash
26	2-3'	Syringa patula 'Miss Kim'	Miss Kim Lilac
4	2" BB	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac
45	15"	Taxus media 'Taunton'	Taunton Yew
3	3-4'	Viburnum dentatum 'Autumn Jazz'	Autumn Jazz Viburnum
5	18"	Viburnum opulus compactum	Compact Cranberry Viburnum
6	24"	Viburnum x juddii	Judd Viburnum
3	24"	Weigela florida 'Java Red'	Java Red Weigela





LANDSCAPE ARCHITECTURE, LLC
Artistic Landscape Design and Project Management
5806 South Hill Drive
Madison, Wisconsin 53705
Phone 608.798.1840 Fax 608.798.1653

LANDSCAPE PLAN F3 BUILDING
UDC SUBMITTAL

OAK PARK II ASSISTED LIVING APARTMENTS

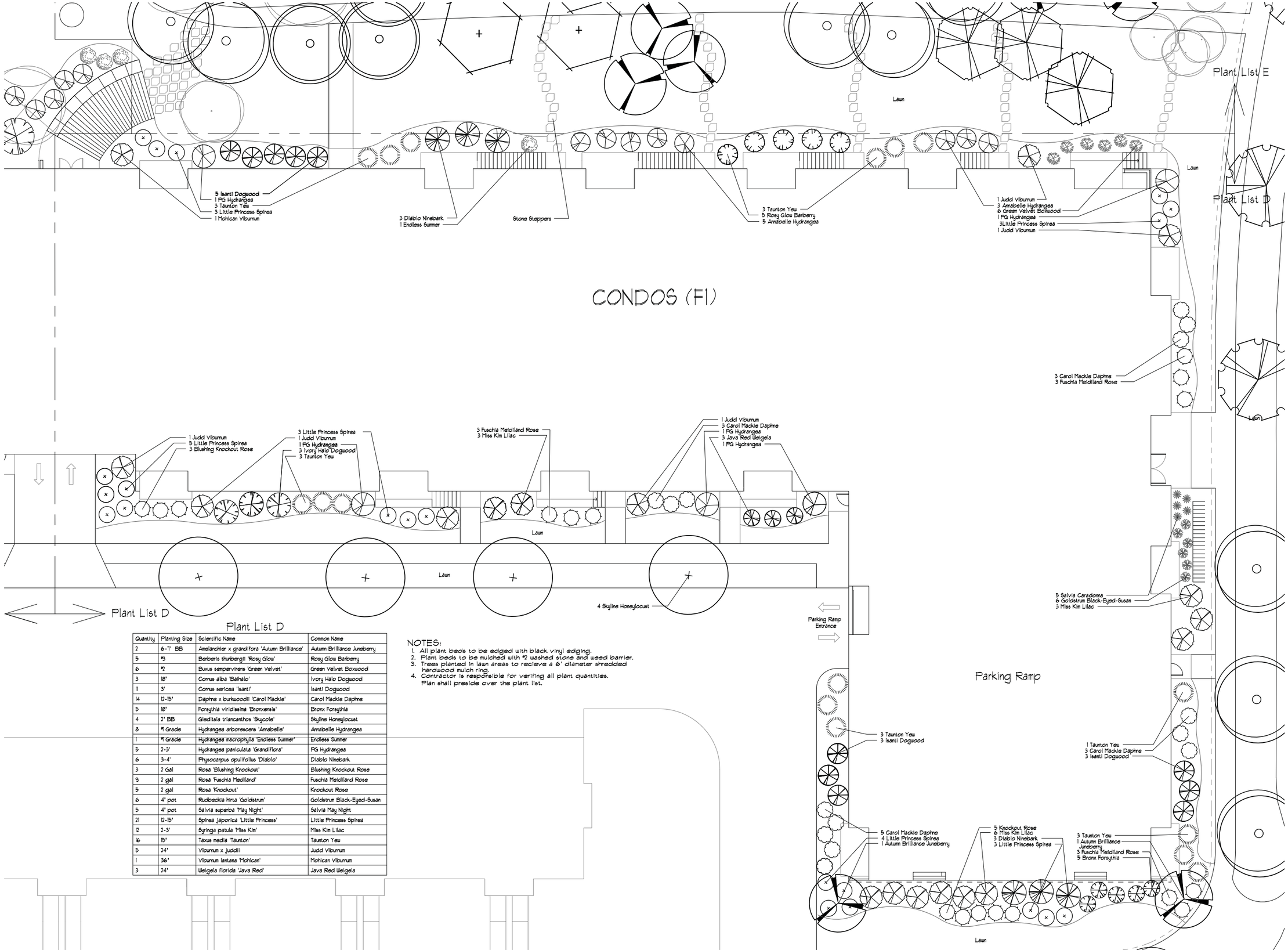
MADISON, WISCONSIN

NORTH

SCALE	1"=20'-0"
DATE	7.10.07
DESIGN	jch
REVISION	7.25.07 9.05.07 7.30.07 9.11.07 8.14.07

L-101

EUAOAKPARK



Plant List D

Quantity	Planting Size	Scientific Name	Common Name
2	6-7' BB	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Juneberry
5	#3	Berberis thunbergii 'Rosy Glow'	Rosy Glow Barberry
6	#2	Buxus sempervirens 'Green Velvet'	Green Velvet Boxwood
3	18"	Cornus alba 'Bailhalo'	Ivory Halo Dogwood
11	3'	Cornus sericea 'Isanti'	Isanti Dogwood
14	12-15"	Daphne x burkwoodii 'Carol Mackie'	Carol Mackie Daphne
5	18"	Forsythia viridissima 'Bronxensis'	Bronx Forsythia
4	2" BB	Gleditsia triacanthos 'Skycole'	Skyline Honeylocust
8	#1 Grade	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea
1	#1 Grade	Hydrangea macrophylla 'Endless Summer'	Endless Summer
5	2-3'	Hydrangea paniculata 'Grandiflora'	PG Hydrangea
6	3-4'	Physocarpus opulifolius 'Diablo'	Diablo Ninebark
3	2 Gal	Rosa 'Blushing Knockout'	Blushing Knockout Rose
9	2 gal	Rosa 'Fuschia Meidiland'	Fuschia Meidiland Rose
5	2 gal	Rosa 'Knockout'	Knockout Rose
6	4" pot	Rudbeckia hirta 'Goldstrum'	Goldstrum Black-Eyed-Susan
5	4" pot	Salvia superba 'May Night'	Salvia May Night
21	12-15"	Spirea japonica 'Little Princess'	Little Princess Spirea
12	2-3'	Syringa patula 'Miss Kim'	Miss Kim Lilac
16	15"	Taxus media 'Taunton'	Taunton Yew
5	24"	Viburnum x juddii	Judd Viburnum
1	36"	Viburnum lantana 'Mohican'	Mohican Viburnum
3	24"	Weigela florida 'Java Red'	Java Red Weigela

NOTES:
1. All plant beds to be edged with black vinyl edging.
2. Plant beds to be mulched with #2 washed stone and weed barrier.
3. Trees planted in lawn areas to recieve a 6' diameter shredded hardwood mulch ring.
4. Contractor is responsible for verifying all plant quantities. Plan shall preside over the plant list.

LANDSCAPE ARCHITECTURE, LLC
Artistic Landscape Design and Project Management
5806 South Hill Drive
Madison, Wisconsin 53705
Phone 608.798.1840 Fax 608.798.1653

LANDSCAPE PLAN F1 BUILDING
UDC SUBMITTAL

OAK PARK CAPITOL CONDOMINIUMS

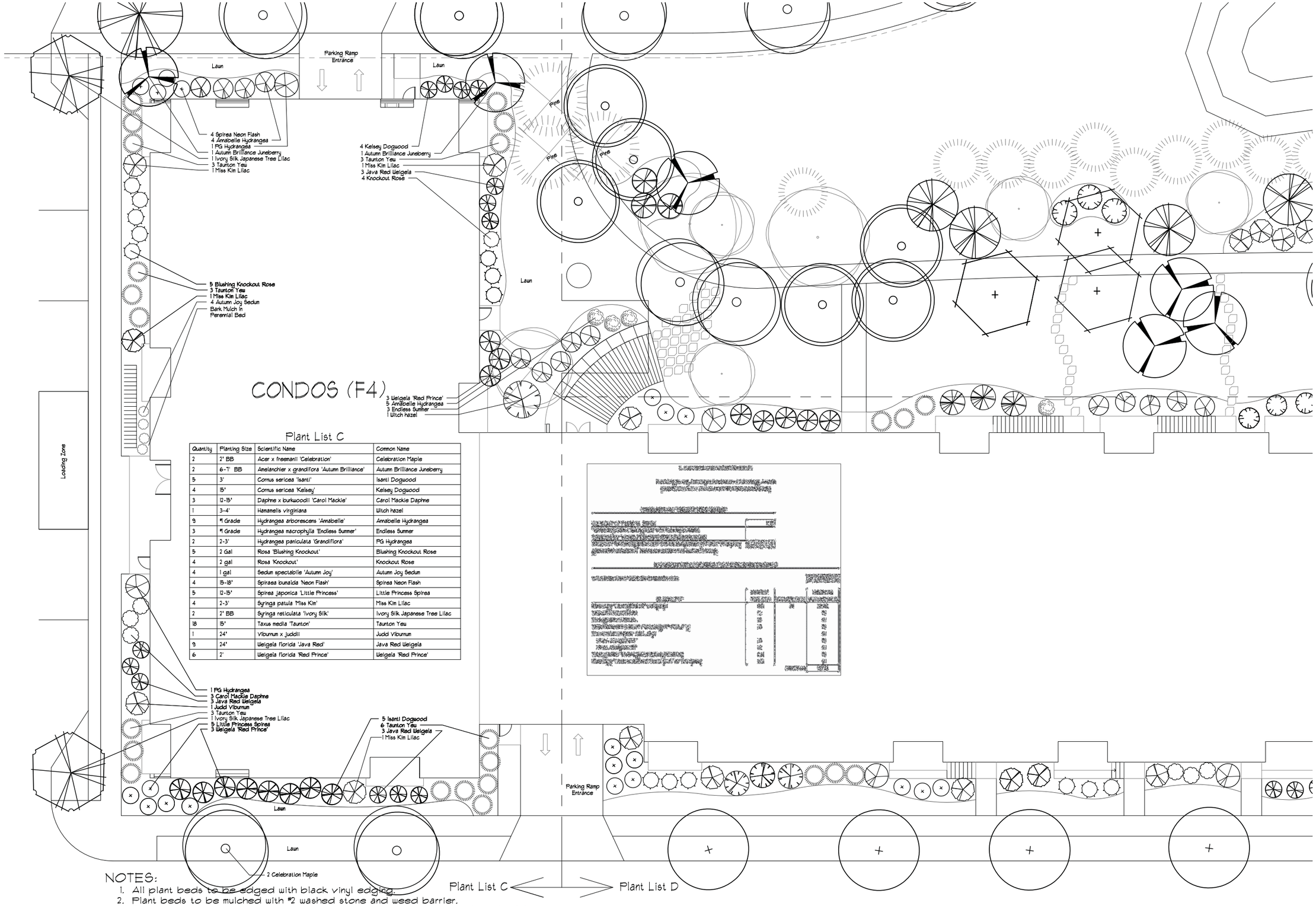
MADISON, WISCONSIN

NORTH

SCALE	1" = 10' - 0"
DATE	7.10.07
DESIGN	jch
REVISION	7.25.07 9.11.07 7.30.07 8.14.07

L-102

EUAOAKPARK



Plant List C

Quantity	Planting Size	Scientific Name	Common Name
2	2" BB	Acer x freemanii 'Celebration'	Celebration Maple
2	6-7' BB	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Juneberry
5	3'	Cornus sericea 'Isanti'	Isanti Dogwood
4	15'	Cornus sericea 'Kelsey'	Kelsey Dogwood
3	12-15'	Daphne x burkwoodii 'Carol Mackie'	Carol Mackie Daphne
1	3-4'	Hamamelis virginiana	Witch hazel
9	#1 Grade	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea
3	#1 Grade	Hydrangea macrophylla 'Endless Summer'	Endless Summer
2	2-3'	Hydrangea paniculata 'Grandiflora'	PG Hydrangea
5	2 Gal	Rosa 'Blushing Knockout'	Blushing Knockout Rose
4	2 gal	Rosa 'Knockout'	Knockout Rose
4	1 gal	Sedum spectabile 'Autumn Joy'	Autumn Joy Sedum
4	15-18"	Spiraea bumalda 'Neon Flash'	Spirea Neon Flash
5	12-15"	Spirea japonica 'Little Princess'	Little Princess Spirea
4	2-3'	Syringa patula 'Miss Kim'	Miss Kim Lilac
2	2" BB	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac
18	15"	Taxus media 'Taunton'	Taunton Yew
1	24"	Viburnum x juddii	Judd Viburnum
9	24"	Weigela florida 'Java Red'	Java Red Weigela
6	2'	Weigela florida 'Red Prince'	Weigela 'Red Prince'

NOTES:

1. All plant beds to be edged with black vinyl edging.
2. Plant beds to be mulched with #2 washed stone and weed barrier.
3. Trees planted in lawn areas to recieve a 6' diameter shredded hardwood mulch ring.
4. Contractor is responsible for verifying all plant quantities. Plan shall preside over the plant list.

LANDSCAPE ARCHITECTURE, LLC
Artistic Landscape Design and Project Management
5806 South Hill Drive
Madison, Wisconsin 53705
Phone 608.798.1840 Fax 608.798.1653

LANDSCAPE PLAN F4 BUILDING
UDC SUBMITTAL

OAK PARK CAPITOL CONDOMINIUMS

MADISON, WISCONSIN

NORTH

SCALE	1" = 10'-0"
DATE	7.10.07
DESIGN	jch
REVISION	7.25.07 9.11.07 7.30.07 8.14.07

L-103

EUAOAKPARK

LUMINAIRE SCHEDULE

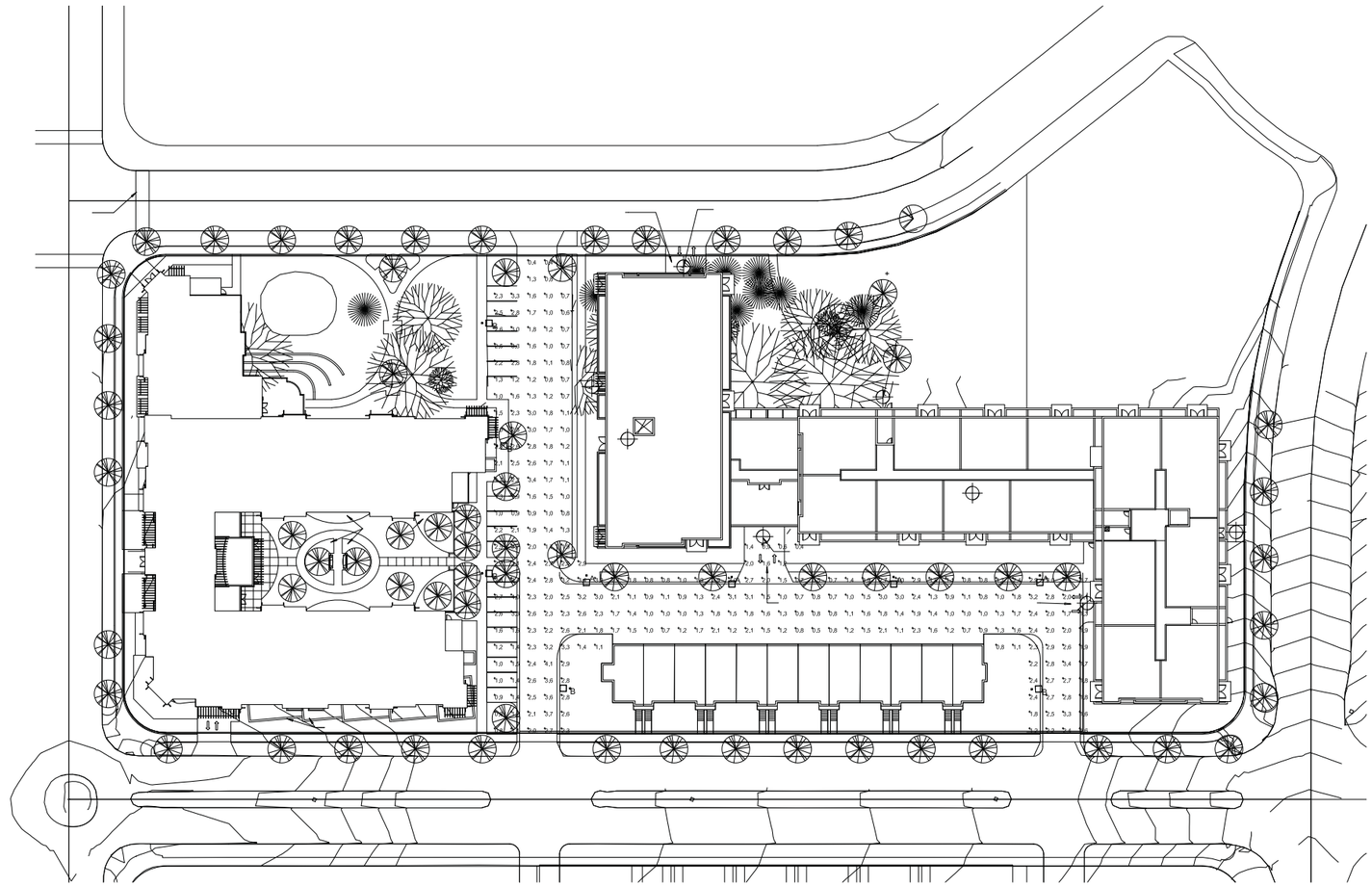
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
□ *	A	4	AS2 250M SR4W	ARCHITECTURAL ARM-MOUNTED CUTOFF LUMINAIRE WITH SR4W REFLECTOR.	ONE 250-WATT CLEAR ED-28 METAL HALIDE, HORIZONTAL POSITION.	L810415.ies	20500	0.72	297
□ *	B	5	AS2 250M SR4SC	ARCHITECTURAL ARM-MOUNTED CUTOFF LUMINAIRE WITH SR4SC REFLECTOR.	ONE 250-WATT CLEAR ED-28 METAL HALIDE, HORIZONTAL POSITION.	L810399.ies	20500	0.72	297

LUMINAIRE LOCATIONS

		Location						Aim		
No.	Label	X	Y	Z	MH	Orientation	Tilt	X	Y	Z
1	A	935.1	-76.3	22.0	22.0	179.4	0.0	935.1	-77.7	0.0
2	A	847.7	-77.2	22.0	22.0	179.4	0.0	847.7	-78.6	0.0
3	A	750.8	-77.2	22.0	22.0	179.4	0.0	750.9	-78.6	0.0
4	A	663.9	-76.3	22.0	22.0	179.4	0.0	663.9	-77.7	0.0
5	B	601.5	74.7	22.0	22.0	90.8	0.0	602.9	74.7	0.0
6	B	654.2	-143.8	22.0	22.0	-89.2	0.0	652.8	-143.7	0.0
7	B	930.3	-144.2	22.0	22.0	88.4	0.0	931.7	-144.2	0.0
8	B	610.4	1.3	22.0	22.0	90.8	0.0	611.8	1.2	0.0
9	B	601.5	-75.0	22.0	22.0	90.8	0.0	602.9	-75.0	0.0

STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.8 fc	4.1 fc	0.4 fc	10.3:1	4.5:1



PHOTOMETRIC DIAGRAM & SCHEDULE

Scale: 1" = 40'

PARKING LEVEL ONE

SCALE: 1/16" = 1'-0"

PRELIMINARY PLANS NOT FOR CONSTRUCTION

Capitol View at Oak Park

OVERALL PARKING LEVEL ONE

Drawn By:	RDM
Architect:	MRDBACK
Date:	9-4-2013
Scale:	AS NOTED
Job Number:	12-100

SHEET NUMBER

A1.0

ADCI Architectural Design Consultants, Inc.
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REVISION

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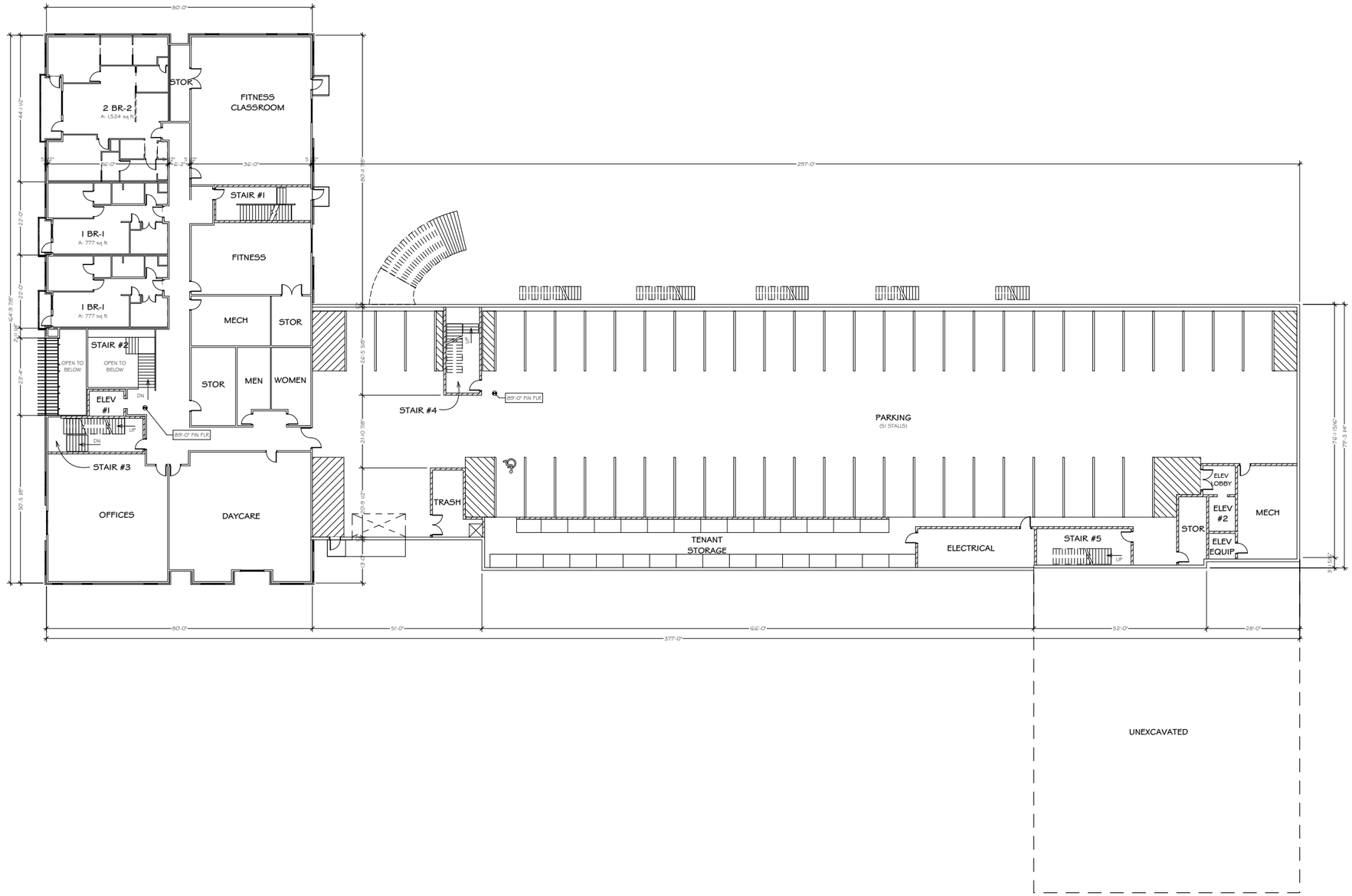

PARKING LEVEL TWO

SCALE: 1/16" = 1'-0"

PRELIMINARY PLANS NOT FOR CONSTRUCTION

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Capitol View at Oak Park

OVERALL PARKING LEVEL TWO

Drawn By:	RDM
Architect:	M.ROBACK
Date:	9-4-2013
Scale:	AS NOTED
Job Number:	12-100

SHEET NUMBER

A2.0

OVERALL FIRST FLOOR PLAN

SCALE: 1/16" = 1'-0"

PRELIMINARY PLANS NOT FOR CONSTRUCTION

Capitol View at Oak Park

OVERALL FIRST FLOOR PLAN

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Architect:	MRODACK
Date:	9-4-2013
Scale:	AS NOTED
Job Number:	12-100

SHEET NUMBER

A3.0

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PRELIMINARY PLANS NOT FOR CONSTRUCTION

Capitol View at Oak Park

OVERALL SECOND FLOOR PLAN

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Architect:	MRDBACK
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Job Number:	12-100

SHEET NUMBER

A4.0

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PRELIMINARY PLANS NOT FOR CONSTRUCTION

Capitol View at Oak Park

OVERALL THIRD FLOOR PLAN

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Architect:	MRODACK
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Scale:	AS NOTED
Job Number:	12-100

SHEET NUMBER

A5.0

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FOURTH FLOOR

SCALE: 1/16" = 1'-0"

PRELIMINARY PLANS NOT FOR CONSTRUCTION

Capitol View at Oak Park

OVERALL FOURTH FLOOR PLAN

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Drawn By:	RDM
Architect:	MRDBACK
Date:	9-4-2013
Scale:	AS NOTED
Job Number:	12-100

SHEET NUMBER

A6.0

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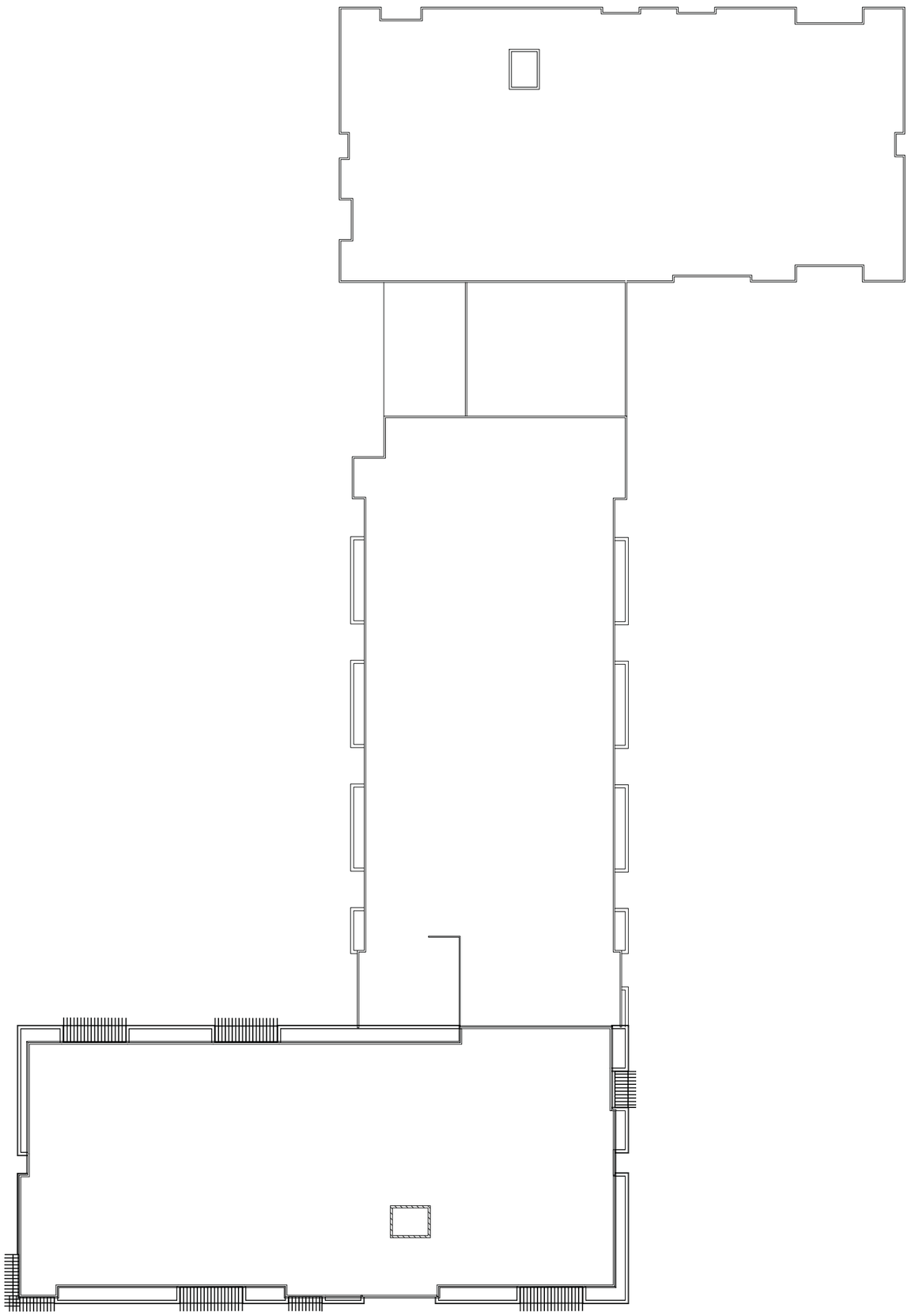
Wednesday, September 04, 2013 8:34 AM C:\2012 Projects\12-100\ADCI\Roof Plans\12-100 Roof Plans.dwg

ROOF PLAN

SCALE: 1/16" = 1'-0"



PRELIMINARY PLANS NOT FOR CONSTRUCTION

SHEET NUMBER A7.0	Drawn By: RDM Architect: MARDBACK Date: 9-4-2013 Scale: AS NOTED Job Number: 12-100	Capitol View at Oak Park OVERALL ROOF PLAN	ADCI Architectural Design Consultants, Inc. 30 Wisconsin Dells Parkway • P.O. Box 580 Lake Delton, WI 53940 Phone: (608) 254-6181 Fax: (608) 254-2139 This document contains confidential or proprietary information of Architectural Design Consultants, Inc. Neither this document nor the information herein is to be reproduced, distributed, used or disclosed either in whole or in part except as specifically authorized by Architectural Design Consultants, Inc.

REVISION

EAST ELEVATION

SCALE: 1/16" = 1'-0"

SOUTH ELEVATION

SCALE: 1/16" = 1'-0"

PRELIMINARY PLANS NOT FOR CONSTRUCTION

Capitol View at Oak Park

ELEVATIONS

Drawn By: RDM
Architect: MRDBACK
Date: 9-4-2013
Scale: AS NOTED
Job Number: 12-100

SHEET NUMBER
A-201

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Capitol View at Oak Park

ELEVATIONS

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Architect:	MRDBACK
Date:	9-4-2013
Scale:	AS NOTED
Job Number:	12-100

SHEET NUMBER
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