

- EXISTING SITE PLAN -
Not To Scale

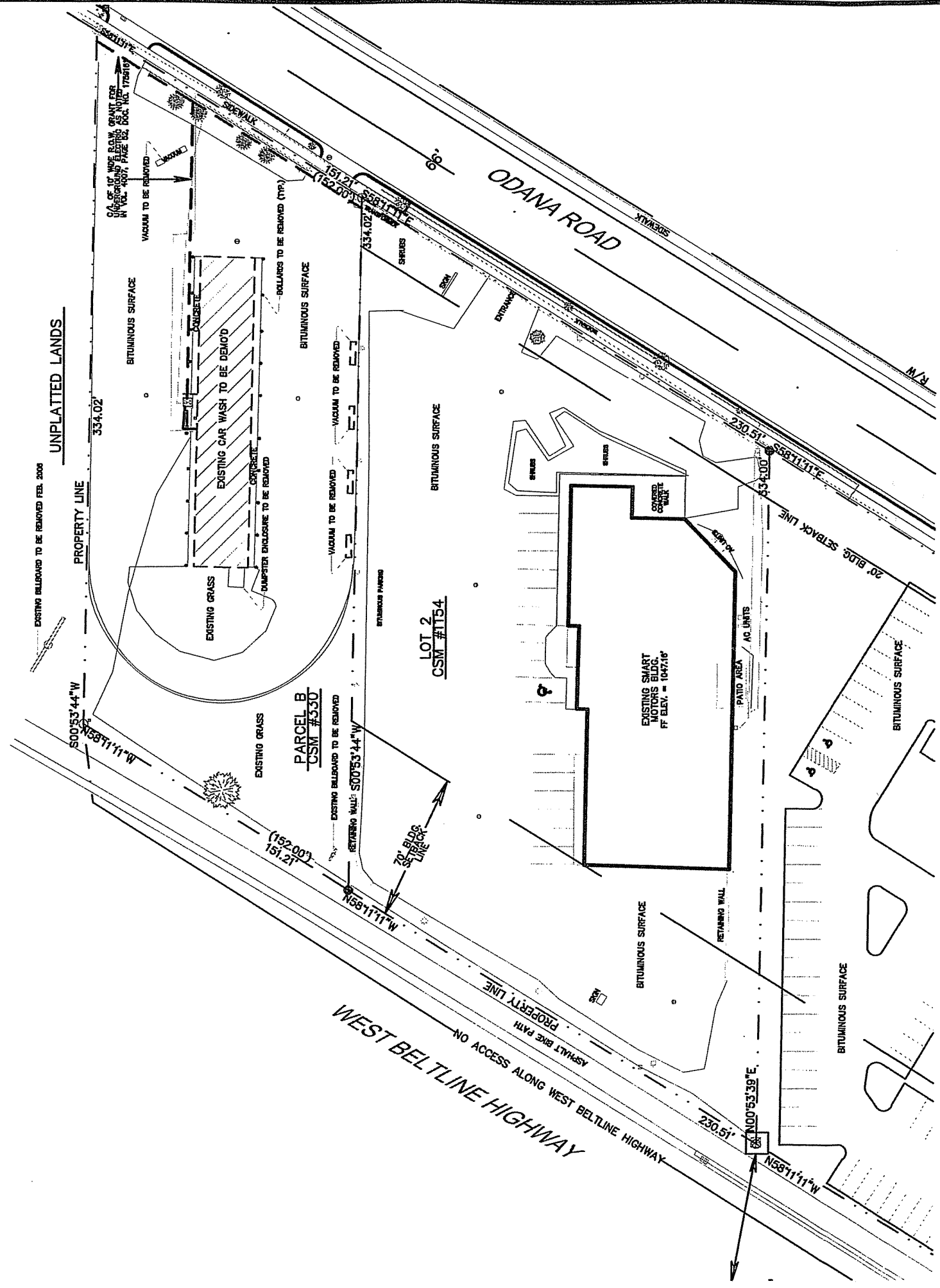
REV.	DESCRIPTION	DATE

JOB NUMBER	05 - 07
DATE	4.07.05
SHEET NUMBER	

C1.1

Proposed Demo. Of:
Whale of a Wash
5837 Odana Road
Madison, WI 53719

Owner:
Smart Motors, Inc.
5901 Odana Road
Madison, WI 53719



- PROPOSED DEMO PLAN -
Not To Scale

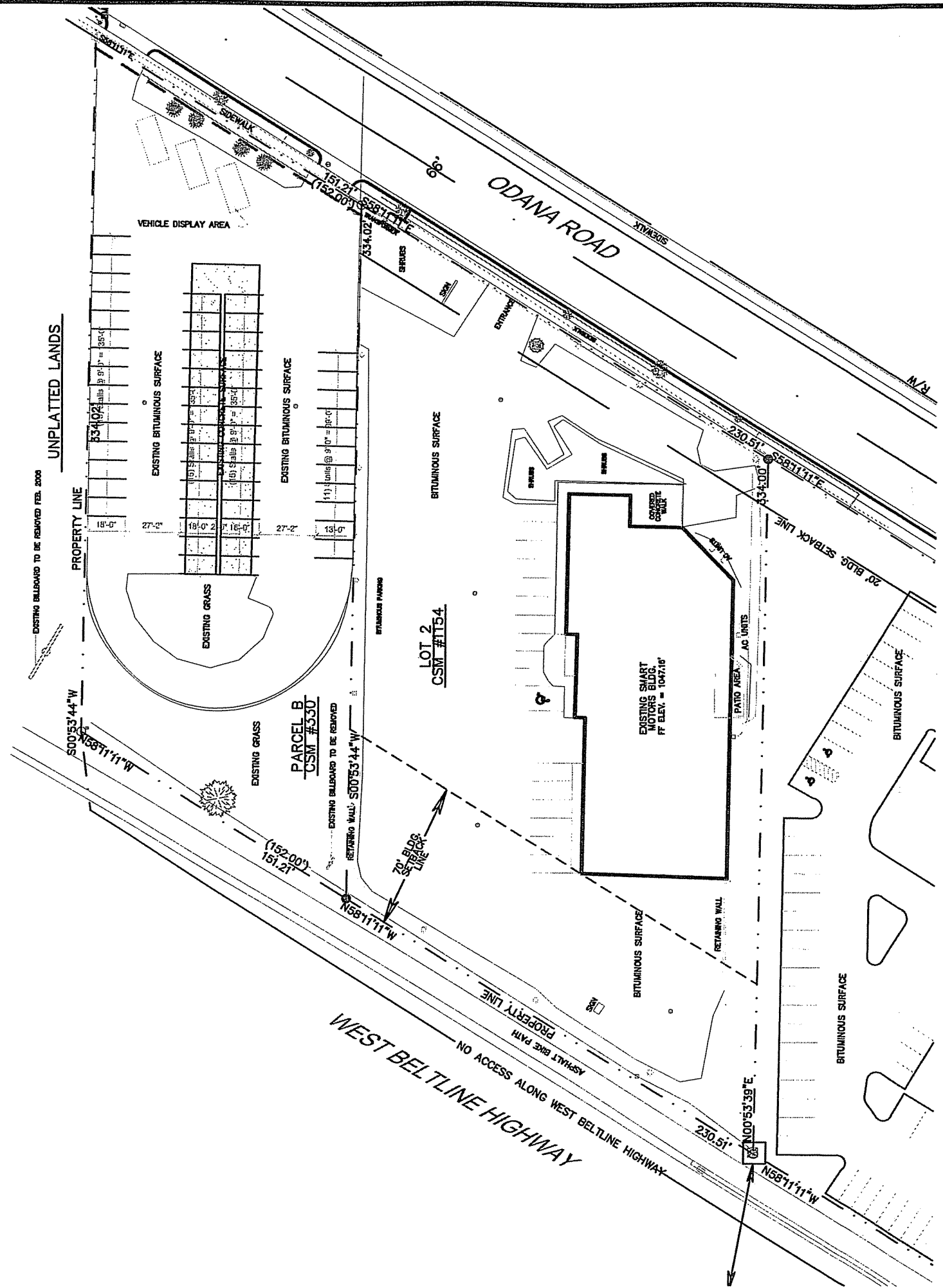
NO.	REVISIONS	DATE

JCA NUMBER	05 - 07
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SHEET NUMBER	C1.2

Proposed Demo. Of:
Whale of a Wash
5837 Odana Road
Madison, WI 53719

Owner:
Smart Motors, Inc.
5901 Odana Road
Madison, WI 53719

HARMONY
Construction Management, Inc.
905 Jonathan Drive
Madison, WI 53713
Phone: 608.224.4310
Fax: 608.224.4392



- PROPOSED SITE PLAN -
Not To Scale

Site Information	
SITE ADDRESS: 5837 Odana Road	
SITE AREA: .99 Acres	
ZONED: C3-L	
NUMBER OF STORIES: One	
BUILDING HEIGHT: 14'-0" Top of Mansard	
TYPE OF CONSTRUCTION: IIB	
TOTAL SQUARE FOOTAGE: 3822 SF.	
USE OF PROPERTY: Car Dealership	
NUMBER OF BIKE STALLS: NA	
NUMBER OF PARKING STALLS:	
Small Car - 0	
Large Car - 59	
Accessible - 0	
Total - 59	
NUMBER OF TREES SHOWN: Total of (8) Trees	

REVISIONS	
NO.	DESCRIPTION

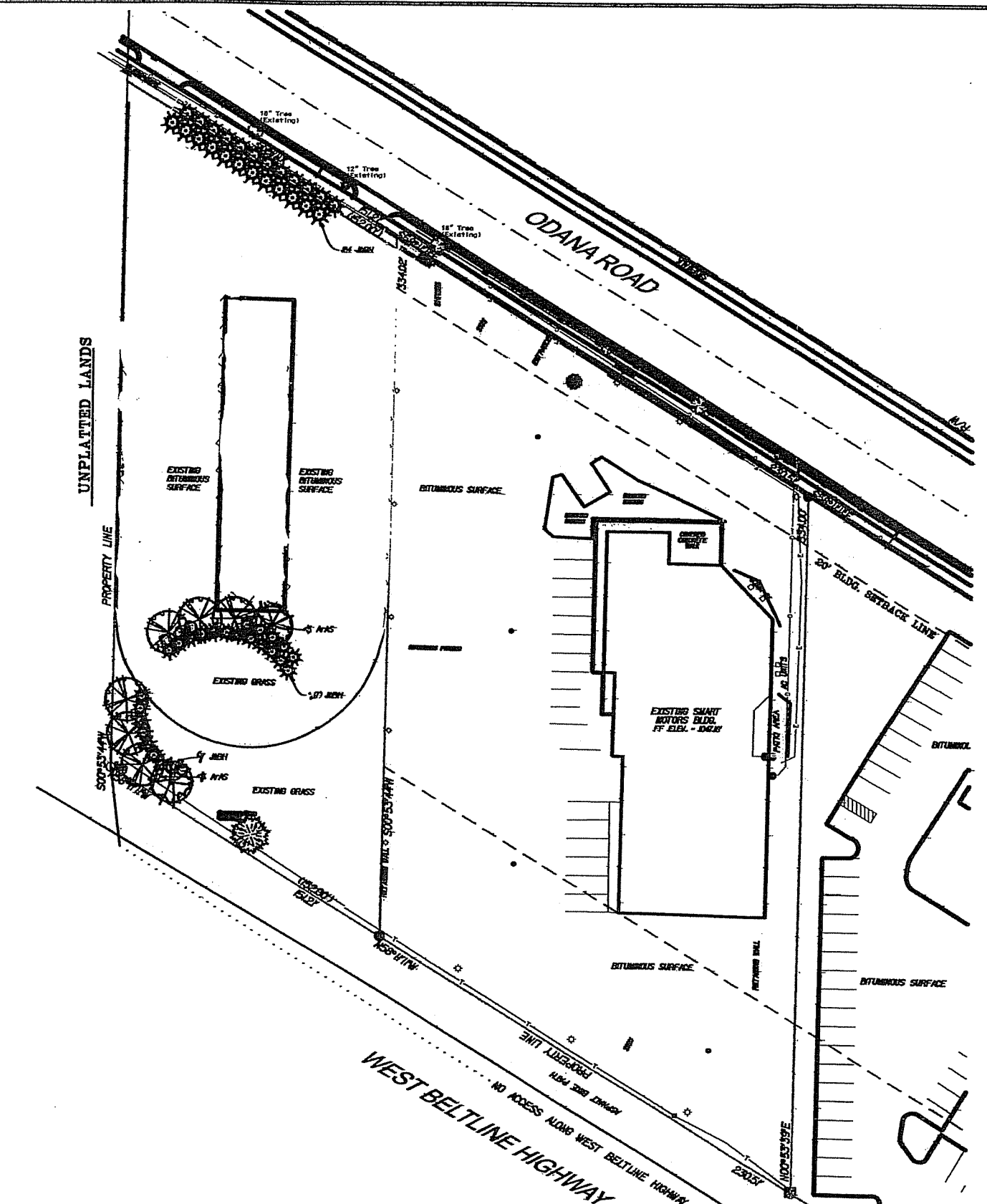
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Proposed Demo. Of:
Whale of a Wash
5837 Odana Road
Madison, WI 53719

Owner:
Smart Motors, Inc.
5901 Odana Road
Madison, WI 53719

C1.3

HARMONY
Construction Management, Inc.
906 Junction Drive
Madison, WI 53713
Phone: 608.224.3310
Fax: 608.224.4392



LANDSCAPE WORKSHEET
 Parking Lots, Storage Areas and Loading Areas
 (Section 28.04 Madison General Ordinance)

Project Location/Address: **5837 ODANA ROAD**
 Name of Project: **DEMO OF WHALE OF A WASH**
 Owner/Contact: **SMART MOTORS, INC.**
 Address: **5901 ODANA ROAD**

FOR PARKING LOTS WITH GREATER THAN 20 STALLS, LANDSCAPE PLANS MUST BE STAMPED BY A REGISTERED LANDSCAPE ARCHITECT

I. Number of Trees Required
 The number of trees required for a parking lot is based on the number of parking stalls. Using the Schedule for Required Trees on the reverse side of this worksheet, determine the number of trees required. (Example: One tree is required for 10 parking stalls).

Landscape requirements for storage areas are determined by dividing the total square footage of the storage area by (300) square feet. This converts sqft to stalls. (Example: 10,000 square feet is equivalent to (33) stalls or (3) trees and (160) points).

Number of Parking Stalls: 59

Total Square Footage of the Storage Area: NA
 Divided by Three Hundred (300) Square Feet

Number of Canopy Shade Trees Required (2" - 2 1/2" Caliper)
 (See Schedule on reverse side): 5

II. Number of Landscape Points Required
 The number of points required is also based on the number of parking stalls. Using the Point Schedule for Landscape Elements on the reverse side of this worksheet, determine the number of points required. (Example: 49.5 points are required for 10 stalls). A point fraction of (.5) or less may be disregarded, while a fraction in excess of (.5) must be counted as one point. Thus: 49.5 points would be rounded down to 49.0 points required.

The number of points required for loading areas is (75) points for each loading berth. (See Schedule on reverse side): NA

Number of Points Required (See Schedule on reverse side): 279

TOTAL
279

Tabulation of Points and Credits

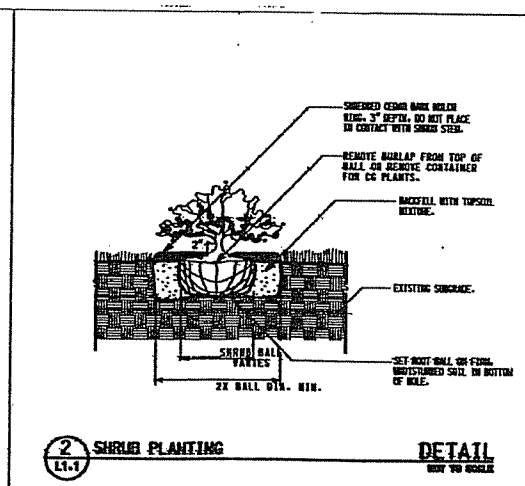
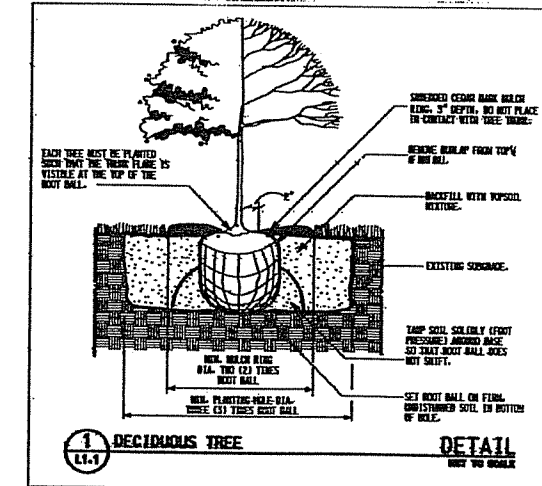
Indicate below the quantity and points for all pertinent landscape elements. Also, credit information for boundary screening and any existing elements to be retained.

ELEMENT	POINT VALUE	QUANTITY	POINTS		
			ACHIEVED	POINTS	
Canopy Tree 2" - 2 1/2"	35	3	105		
Deciduous Shrub	2				
Evergreen Shrub	3	53	159		
Decorative Wall or Fence (per 10 L.F.)	5				
Earth Berm (per 10 L.F.)					
Avg. Height 30"	5				
Avg. Height 15"	2				
Evergreen Trees 2' height minimum	15			15	
Canopy Tree or Small Tree 1 1/2" - 2" Caliper (i.e., Crab, Hawthorn)	15				
Sub Totals			264	+ 15	
				TOTAL	279

*Trees required in Part I above, are not to be included in the point count.

Total No. of Points Provided (Equal to or greater than points required)

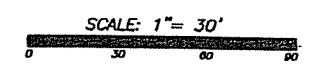
Approved by: _____ Date: _____



Plant Schedule

Detail	Key	Qty	Botanical Name	Common name	Root	Size	Spacing	Comments
Deciduous Trees								
1	ArAB	3	Acer rubrum 'Autumn Spire'	Autumn Spire Red Maple	BB	2-2 1/2" cal	As shown	Straight leader, matched
Evergreen Shrubs								
2	JRH	53	Juniperus horz. 'Bar Harbor'	Bar Harbor Juniper	Cont	15'	As shown	Full plants, matched

- PROPOSED LANDSCAPE PLAN -



State of Wisconsin
 DEPARTMENT OF REGULATION AND LICENSING
 Commission on Equal Opportunity in Employment and Licensing

Richard L. Clayton
 824 W. Lakeside St.
 Madison, WI 53715

05-07
 4.07.05

HARMONY
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 908 Jonathan Drive
 Madison, WI 53713
 Phone: 608.223.4370
 Fax: 608.223.4392

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