



610 JOHN NOLEN DR.
MADISON, WISCONSIN

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URBAN DESIGN COMMISSION
JUNE 19, 2013

OWNER:
NOLEN HOTEL INVESTMENT LLC
245 HORIZON DRIVE, SUITE 106
VERONA, WISCONSIN 53593
PHONE: (608) 443-1973
PRINCIPAL CONTACT: KEVIN PAGE

ARCHITECT:
GARY BRINK & ASSOCIATES, INC.
8401 EXCELSIOR DRIVE
MADISON, WISCONSIN 53717
PHONE: (608) 829-1750
FAX: (608) 829-3056
PRINCIPAL CONTACT: JOSH WILCOX

CIVIL/SITE ENGINEER:
SCS ENGINEERS
2830 DAIRY DRIVE
MADISON, WISCONSIN
PHONE: (608) 224-2830
PRINCIPAL CONTACT: MARK HUBER

LANDSCAPE DESIGNER:
THE BRUCE COMPANY
2830 PARMENTER STREET
MIDDLETON, WISCONSIN
PHONE: (608) 836-7041
FAX: (608) 410-2284
PRINCIPAL CONTACT: RICHARD STROHMENGER

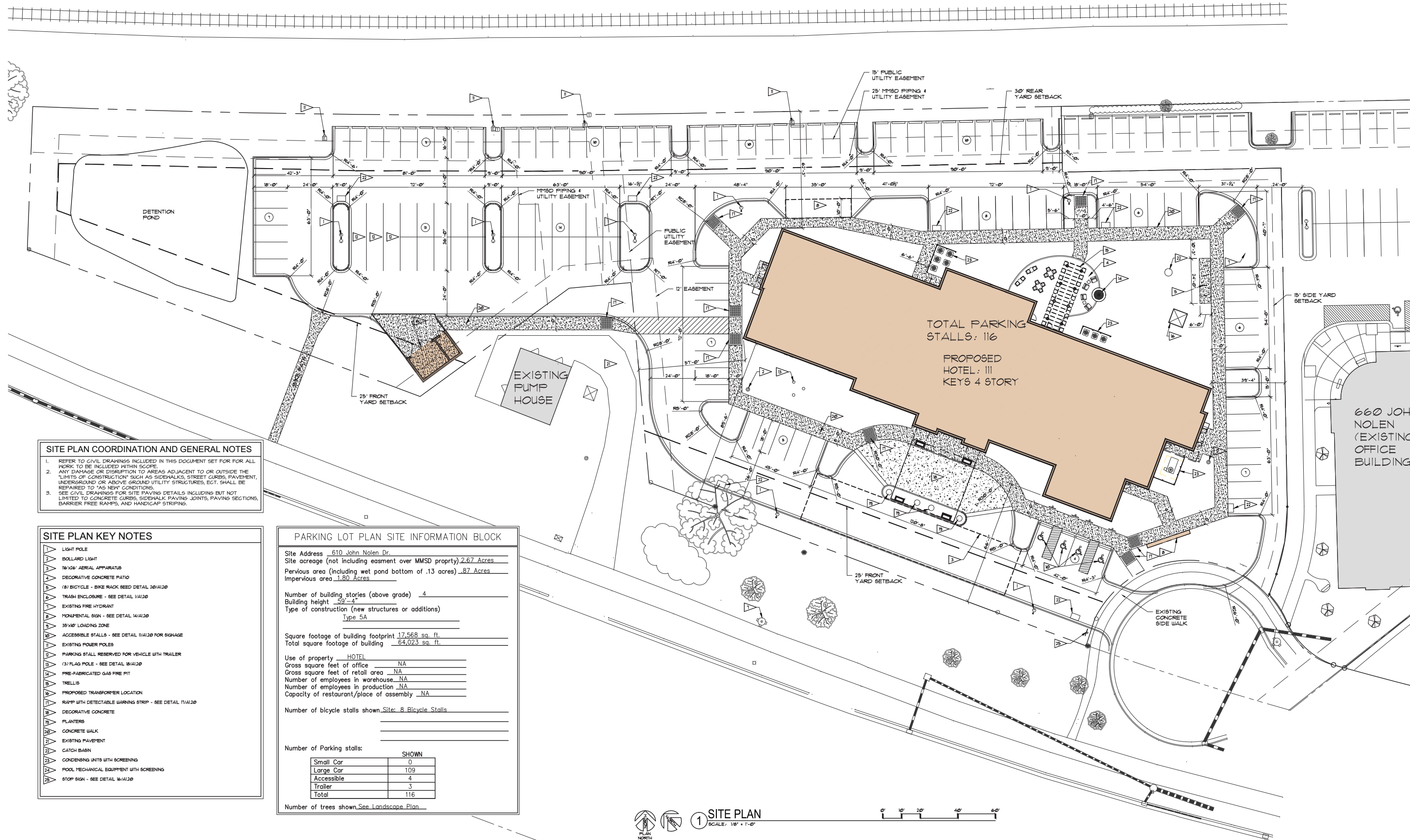


PROJECT:
HOLIDAY INN EXPRESS & SUITES
610 JOHN NOLEN DRIVE, MADISON WI
CLIENT:
NOLEN HOTEL INVESTMENT LLC
245 HORIZON DRIVE, SUITE 106, VERONA, WI 53593

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PROJECT: 201306
DRAWN BY: BP
DATE:
SCALE: AS NOTED
PC / UDC SUBMISSION: 06/19/2013



GARY BRINK & ASSOCIATES
ARCHITECTS
8401 EXCELSIOR DRIVE
MADISON, WI 53717
608-829-1750
608-829-3056 (FAX)



SITE PLAN COORDINATION AND GENERAL NOTES

1. REFER TO CIVIL DRAWINGS INCLUDED IN THIS DOCUMENT SET FOR ALL WORK TO BE INCLUDED WITHIN SCOPE.
2. ANY DAMAGE OR DISRUPTION TO AREAS ADJACENT TO OR OUTSIDE THE "LIMITS OF CONSTRUCTION" SUCH AS SIDEWALKS, STREET CURBS, PAVEMENT, UNDERGROUND OR ABOVE GROUND UTILITY STRUCTURES, ECT. SHALL BE REPAIRED TO "AS NEW" CONDITIONS.
3. SEE CIVIL DRAWINGS FOR SITE PAVING DETAILS INCLUDING BUT NOT LIMITED TO CONCRETE CURBS, SIDEWALK PAVING JOINTS, PAVING SECTIONS, BARRIER FREE RAMPS, AND HANDICAP STRIPING.

SITE PLAN KEY NOTES

1. LIGHT POLE
2. BOLLARD LIGHT
3. 16'x26' AERIAL APPARATUS
4. DECORATIVE CONCRETE PATIO
5. (8) BICYCLE - BIKE RACK (SEE DETAIL 20/A120)
6. TRASH ENCLOSURE - SEE DETAIL 16/A120
7. EXISTING FIRE HYDRANT
8. MONUMENTAL SIGN - SEE DETAIL 14/A120
9. 38'x10' LOADING ZONE
10. ACCESSIBLE STALLS - SEE DETAIL 11/A120 FOR SIGNAGE
11. EXISTING POWER POLES
12. PARKING STALL RESERVED FOR VEHICLE WITH TRAILER
13. (3) FLAG POLE - SEE DETAIL 18/A120
14. PRE-FABRICATED GAS FIRE PIT
15. TRELLIS
16. PROPOSED TRANSFORMER LOCATION
17. RAMP WITH DETECTABLE WARNING STRIP - SEE DETAIL 17/A120
18. DECORATIVE CONCRETE
19. PLANTERS
20. CONCRETE WALK
21. EXISTING PAVEMENT
22. CATCH BASIN
23. CONDENSING UNITS WITH SCREENING
24. POOL MECHANICAL EQUIPMENT WITH SCREENING
25. STOP SIGN - SEE DETAIL 16/A120

PARKING LOT PLAN SITE INFORMATION BLOCK

Site Address 610 John Nolen Dr.
Site acreage (not including easement over MMSD property) 2.67 Acres
Pervious area (including wet pond bottom of .13 acres) .87 Acres
Impervious area 1.80 Acres

Number of building stories (above grade) 4
Building height 59'-4"
Type of construction (new structures or additions)
Type 5A

Square footage of building footprint 17,568 sq. ft.
Total square footage of building 64,023 sq. ft.

Use of property HOTEL
Gross square feet of office NA
Gross square feet of retail area NA
Number of employees in warehouse NA
Number of employees in production NA
Capacity of restaurant/place of assembly NA

Number of bicycle stalls shown Site: 8 Bicycle Stalls

Number of Parking stalls:

	SHOWN
Small Car	0
Large Car	109
Accessible	4
Trailer	3
Total	116

Number of trees shown See Landscape Plan

PROJECT: **HOLIDAY INN EXPRESS & SUITES**
610 JOHN NOLEN DRIVE, MADISON, WI

CLIENT: **NOLEN HOTEL INVESTMENT LLC**
245 HORIZON DRIVE, SUITE 106, VERONA, WI 53593

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PROJECT: 201306
DRAWN BY: **BP**
DATE:
SCALE: **AS NOTED**

PC / UDC SUBMITTAL: 06.19.2013

SITE
PLAN

A1.01



GARY BRINK & ASSOCIATES
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8401 EXCELSIOR DRIVE
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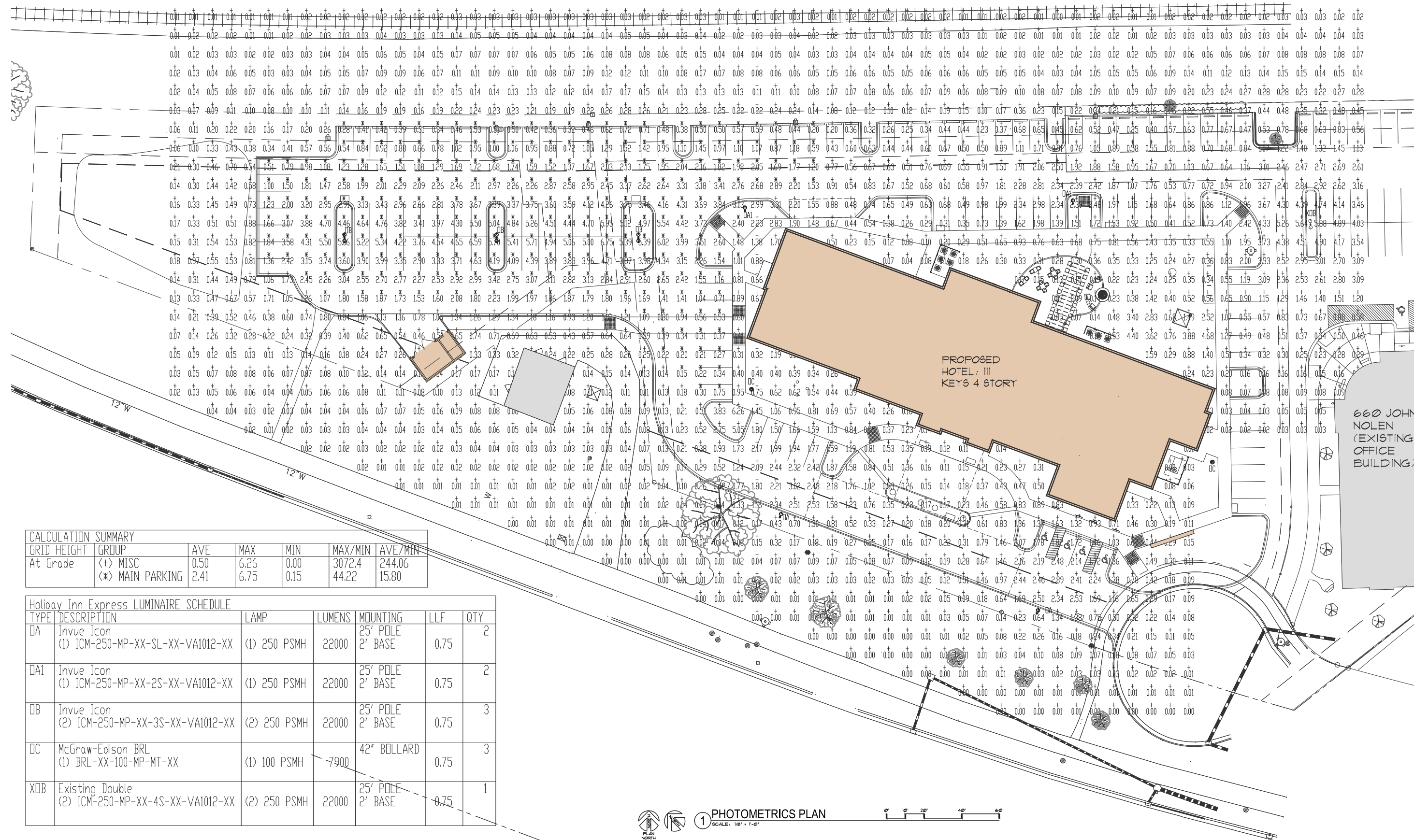
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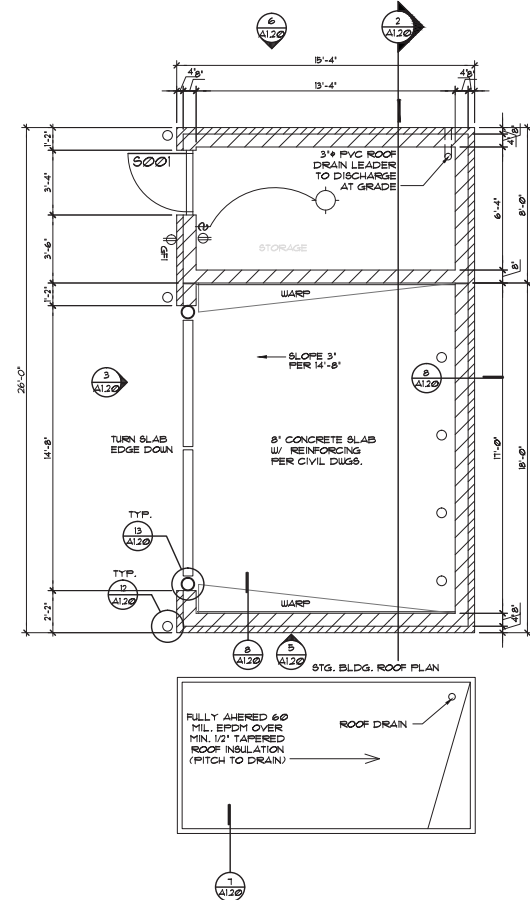
PHOTOMETRICS
PLAN

A1.02

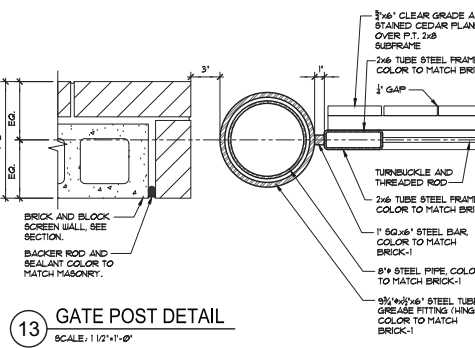


CALCULATION SUMMARY						
GRID HEIGHT	GROUP	AVE	MAX	MIN	MAX/MIN	AVE/MIN
At Grade	(+) MISC	0.50	6.26	0.00	3072.4	244.06
	(*) MAIN PARKING	2.41	6.75	0.15	44.22	15.80

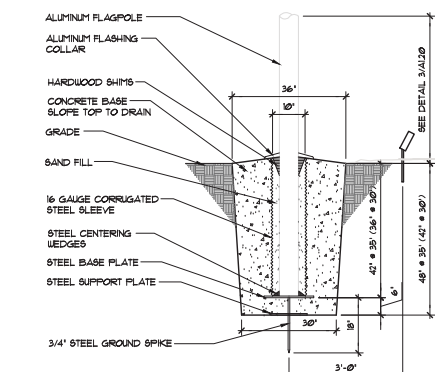
Holiday Inn Express LUMINAIRE SCHEDULE						
TYPE	DESCRIPTION	LAMP	LUMENS	MOUNTING	LLF	QTY
DA	Invue Icon (1) ICM-250-MP-XX-SL-XX-VA1012-XX	(1) 250 PSMH	22000	25' POLE 2' BASE	0.75	2
DA1	Invue Icon (1) ICM-250-MP-XX-2S-XX-VA1012-XX	(1) 250 PSMH	22000	25' POLE 2' BASE	0.75	2
DB	Invue Icon (2) ICM-250-MP-XX-3S-XX-VA1012-XX	(2) 250 PSMH	22000	25' POLE 2' BASE	0.75	3
DC	McGraw-Edison BRL (1) BRL-XX-100-MP-MT-XX	(1) 100 PSMH	7900	42" BOLLARD	0.75	3
XOB	Existing Double (2) ICM-250-MP-XX-4S-XX-VA1012-XX	(2) 250 PSMH	22000	25' POLE 2' BASE	0.75	1



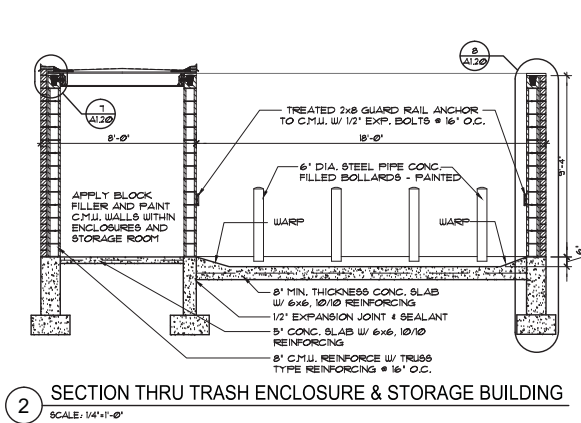
1 TRASH ENCLOSURE & STORAGE BUILDING PLAN
SCALE: 1/4"=1'-0"



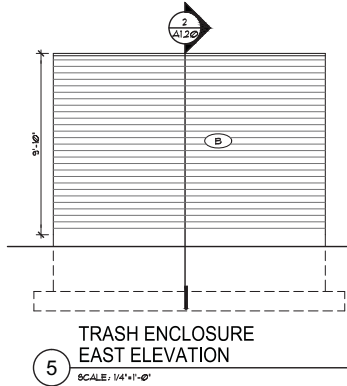
13 GATE POST DETAIL
SCALE: 1/2"=1'-0"



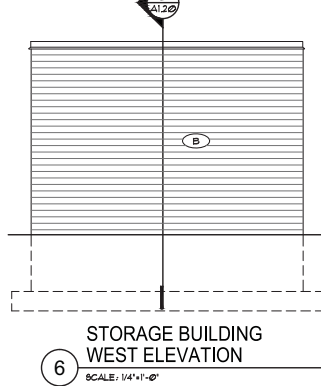
19 FLAG POLE BASE DETAIL
SCALE: N.T.S.



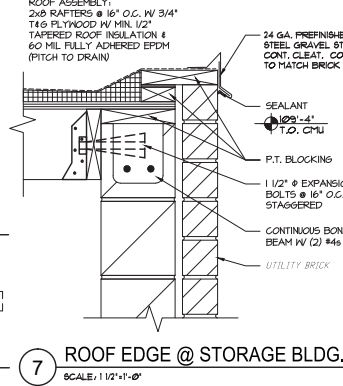
2 SECTION THRU TRASH ENCLOSURE & STORAGE BUILDING
SCALE: 1/4"=1'-0"



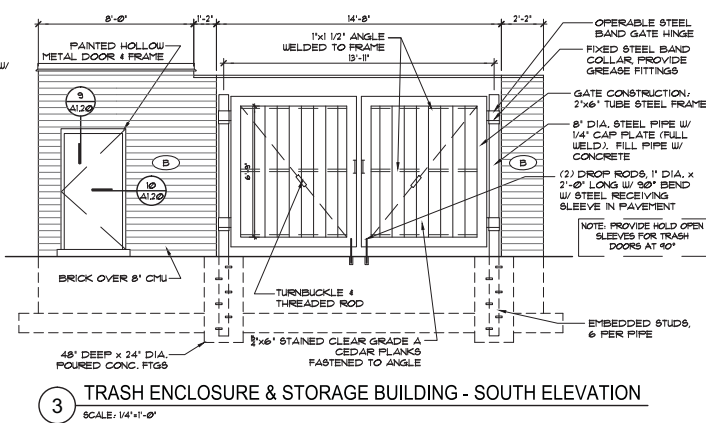
5 TRASH ENCLOSURE EAST ELEVATION
SCALE: 1/4"=1'-0"



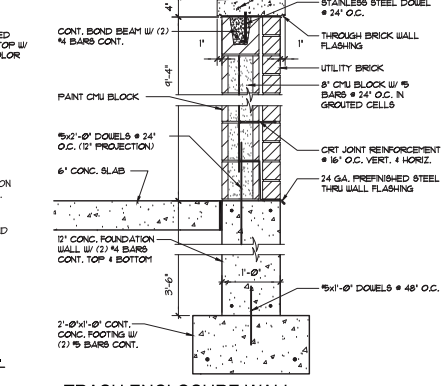
6 STORAGE BUILDING WEST ELEVATION
SCALE: 1/4"=1'-0"



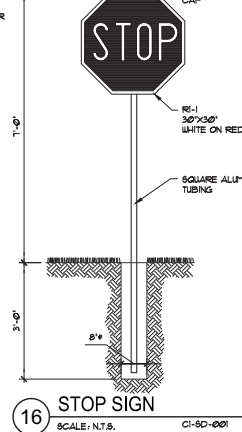
7 ROOF EDGE @ STORAGE BLDG.
SCALE: 1 1/2"=1'-0"



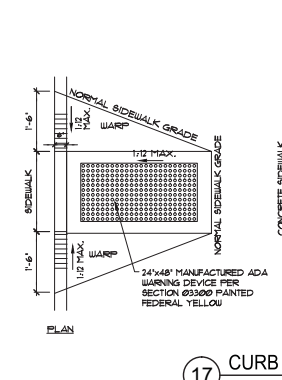
3 TRASH ENCLOSURE & STORAGE BUILDING - SOUTH ELEVATION
SCALE: 1/4"=1'-0"



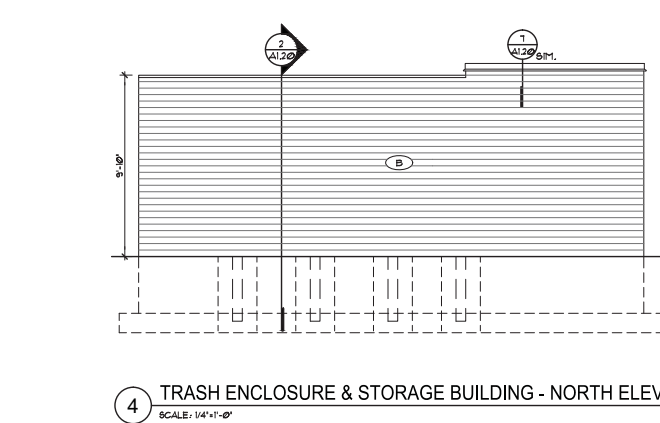
8 TRASH ENCLOSURE WALL
SCALE: 3/4"=1'-0"



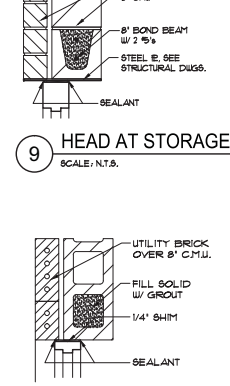
16 STOP SIGN
SCALE: N.T.S.



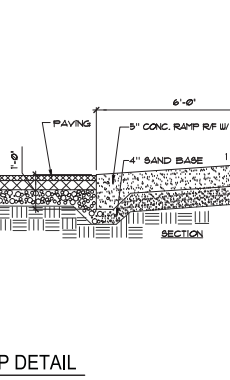
17 CURB RAMP DETAIL
SCALE: N.T.S.



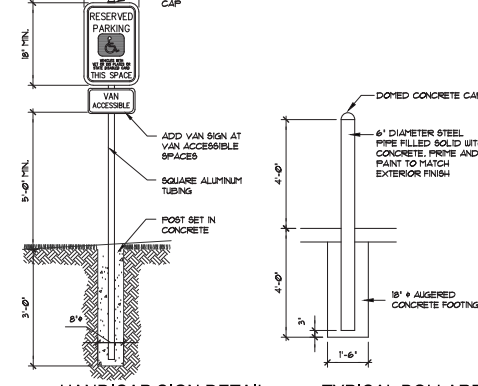
4 TRASH ENCLOSURE & STORAGE BUILDING - NORTH ELEVATION
SCALE: 1/4"=1'-0"



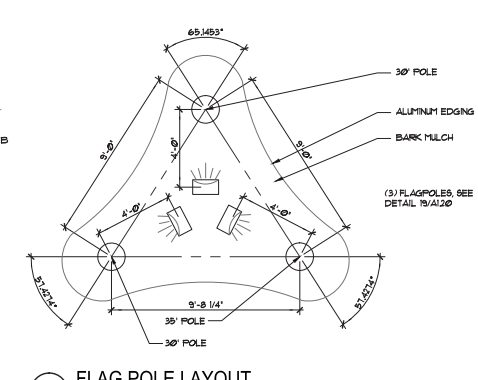
9 HEAD AT STORAGE
SCALE: N.T.S.



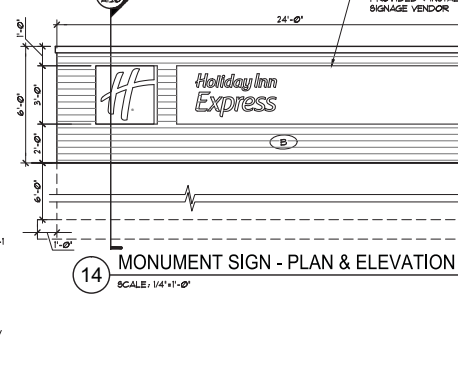
10 JAMB AT STORAGE
SCALE: N.T.S.



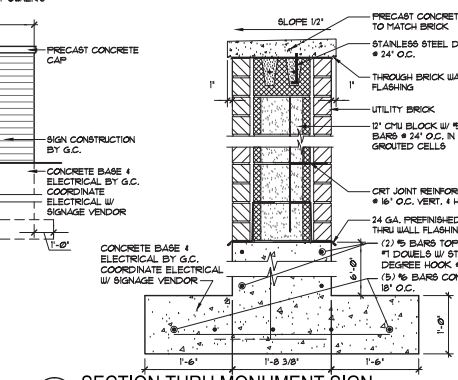
11 HANDICAP SIGN DETAIL
SCALE: N.T.S.



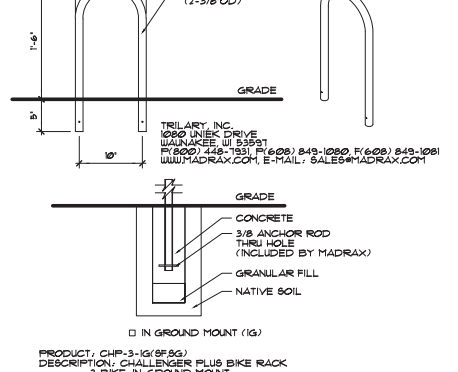
18 FLAG POLE LAYOUT
SCALE: 1/4"=1'-0"



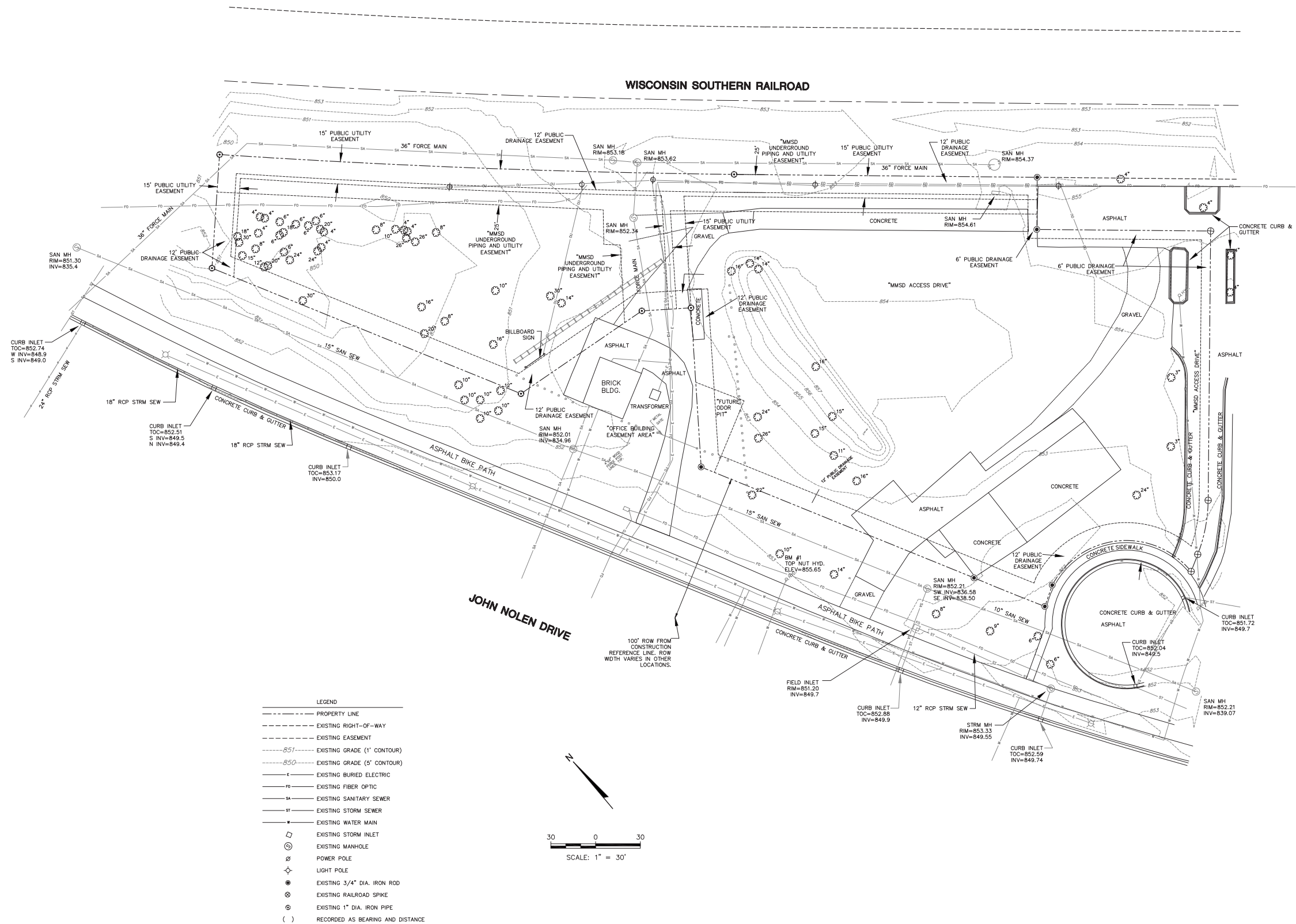
14 MONUMENT SIGN - PLAN & ELEVATION
SCALE: 1/4"=1'-0"



15 SECTION THRU MONUMENT SIGN
SCALE: 3/4"=1'-0"



20 DETAIL - TYPICAL BIKE RACK
SCALE: NONE

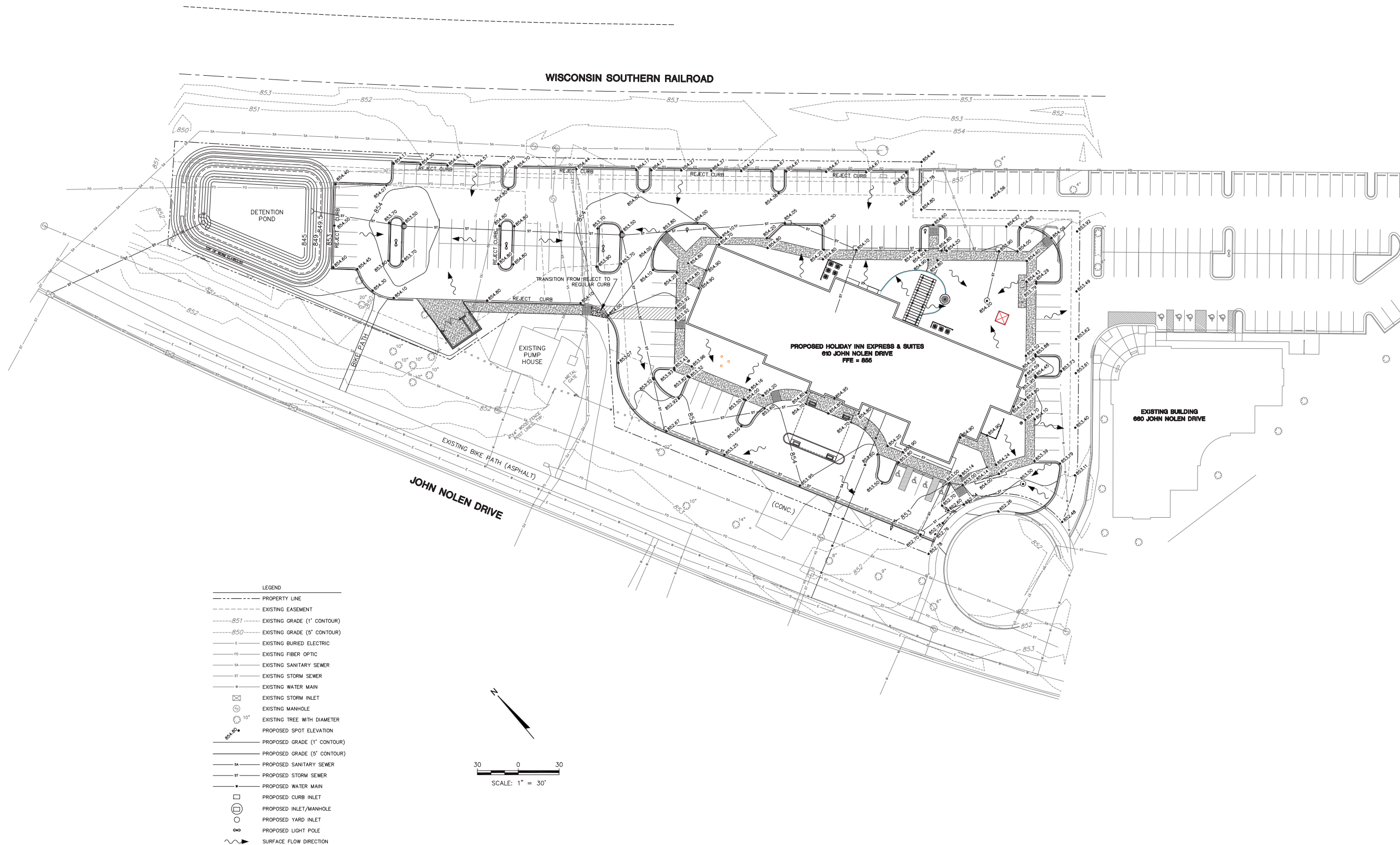


PROJECT: HOLIDAY INN EXPRESS & SUITES
610 JOHN NOLEN DRIVE, MADISON WI
CLIENT: NOLEN HOTEL INVESTMENT LLC
245 HORIZON DRIVE, SUITE 106, VERONA, WI 53593

PROJECT: 25213114.00
DRAWN BY: KP/AHB
DATE: 06/19/13
SCALE: AS NOTED

EXISTING
CONDITIONS

C1.01

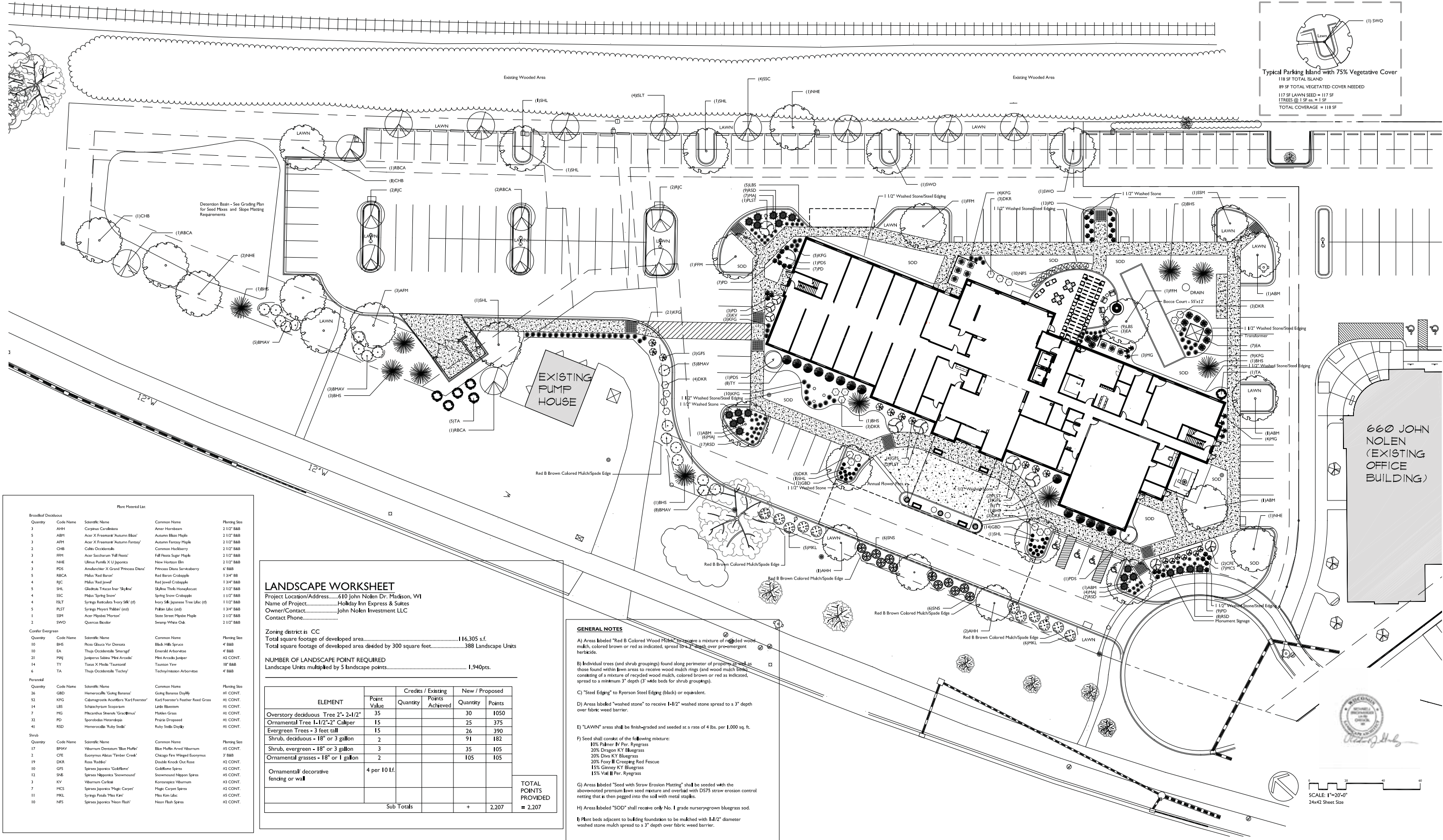


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GRADING AND
UTILITY PLAN

C1.02



Plant Material List				
Quantity	Code Name	Scientific Name	Common Name	Planting Size
3	ABH	Caryopteris Canadensis	Aster Honeysuckle	2 1/2" B&B
5	ABH	Acer X Freeman 'Autumn Blaze'	Autumn Blaze Maple	2 1/2" B&B
3	AFM	Acer X Freeman 'Autumn Fantasy'	Autumn Fantasy Maple	2 1/2" B&B
2	CHB	Celastrus occidentalis	Common Hackberry	2 1/2" B&B
3	FFM	Acer Saccharum 'Fall Fiesta'	Fall Fiesta Sugar Maple	2 1/2" B&B
4	NHE	Ulmus Parviflora X U. Japonica	New Horizon Elm	2 1/2" B&B
3	PDS	Aucubacter X Grand 'Princess Diana'	Princess Diana Sanicula	4" B&B
5	RBCA	Malus 'Red Baron'	Red Baron Crabapple	1 3/4" B&B
4	RJC	Malus 'Red Jewel'	Red Jewel Crabapple	1 3/4" B&B
5	SHL	Gleditsia triacanthos Iner 'Skyline'	Skyline Tree Honeylocust	2 1/2" B&B
4	SSC	Malus 'Spring Snow'	Spring Snow Crabapple	1 1/2" B&B
4	HLT	Syringa Reticulata Tree 'Sib' (H)	Ivory Silk Japanese Tree Lilac (H)	1 1/2" B&B
5	PLST	Syringa Proferta 'Palmer' (S)	Palmer Lilac (S)	1 3/4" B&B
1	SPH	Acer 'Mystic Moon'	Star Spaced Maple	2 1/2" B&B
2	SWO	Quercus bicolor	Swamp White Oak	2 1/2" B&B
Conifer/Evergreen				
Quantity	Code Name	Scientific Name	Common Name	Planting Size
10	BHS	Picea Glauca Vir. Densata	Black Hills Spruce	4" B&B
10	EA	Thuja Occidentalis 'Smaragd'	Emerald Arborvitae	4" B&B
21	MAJ	Juniperus Sabina 'Mini Arcadia'	Mini Arcadia Juniper	#2 CONT.
14	TY	Taxus X Media 'Tussock'	Tussock Tree	18" B&B
4	TA	Thuja Occidentalis 'Trophy'	Trophy Arborvitae	4" B&B
Perennial				
Quantity	Code Name	Scientific Name	Common Name	Planting Size
26	GBD	Hemerocallis 'Golfing Banana's'	Golfing Banana Daylily	#1 CONT.
52	KFG	Calamagrostis Canadensis 'Karl Foerster'	Karl Foerster's Feather Reed Grass	#1 CONT.
14	LBS	Schizanthus Scapularis	Larkspur	#1 CONT.
7	MG	Miscanthus Sinensis 'Gracillimus'	Golden Grass	#1 CONT.
32	PD	Sporobolus Horridus	Prairie Dropseed	#1 CONT.
4	RSD	Hemerocallis 'Ruby Slits'	Ruby Slits Daylily	#1 CONT.
Shrub				
Quantity	Code Name	Scientific Name	Common Name	Planting Size
17	BHAV	Viburnum Dentatum 'Blue Muffin'	Blue Muffin Arbutus	#5 CONT.
2	CPE	Eunonymus Alatus 'Timber Creek'	Chicago Fire Winged Euonymus	3" B&B
19	DKR	Rosa 'Knob'	Double Knock Out Rose	#2 CONT.
10	QPS	Spiraea Japonica 'Goldflame'	Goldflame Spiraea	#3 CONT.
12	SAS	Spiraea Nipponica 'Snowmound'	Snowmound Nippon Spiraea	#3 CONT.
3	KV	Viburnum Carleii	Korean Viburnum	#3 CONT.
7	MCS	Spiraea Japonica 'Magic Carpet'	Magic Carpet Spiraea	#2 CONT.
11	MKL	Spiraea Parviflora 'Miss Kim'	Miss Kim Lilac	#5 CONT.
10	NFS	Spiraea Japonica 'Neon Flash'	Neon Flash Spiraea	#2 CONT.

LANDSCAPE WORKSHEET
Project Location/Address.....610 John Nolen Dr. Madison, WI
Name of Project.....Holiday Inn Express & Suites
Owner/Contact.....John Nolen Investment LLC
Contact Phone.....
Zoning district is CC
Total square footage of developed area.....116,305 s.f.
Total square footage of developed area divided by 300 square feet.....388 Landscape Units
NUMBER OF LANDSCAPE POINT REQUIRED
Landscape Units multiplied by 5 landscape points.....1,940pts.

ELEMENT	Point Value	Credits / Existing		New / Proposed	
		Quantity	Points Achieved	Quantity	Points
Overstory deciduous Tree 2"- 2-1/2"	35			30	1050
Ornamental Tree 1-1/2"-2" Calliper	15			25	375
Evergreen Trees - 3 feet tall	15			26	390
Shrub, deciduous - 18" or 3 gallon	2			91	182
Shrub, evergreen - 18" or 3 gallon	3			35	105
Ornamental grasses - 18" or 1 gallon	2			105	105
Ornamental/ decorative fencing or wall	4 per 10 Lf.				
Sub Totals				+	2,207

TOTAL POINTS PROVIDED
= 2,207

GENERAL NOTES

- A) Areas labeled "Red B Colored Wood Mulch" to receive a mixture of recycled wood mulch, colored brown or red as indicated, spread to a 3" depth over pre-emergent herbicide.
- B) Individual trees (and shrub groupings) found along perimeter of property as well as those found within lawn areas to receive wood mulch rings (and wood mulch beds) consisting of a mixture of recycled wood mulch, colored brown or red as indicated, spread to a minimum 3" depth (3" wide beds for shrub groupings).
- C) "Steel Edging" to Ryerson Steel Edging (black) or equivalent.
- D) Areas labeled "washed stone" to receive 1-1/2" washed stone spread to a 3" depth over fabric weed barrier.
- E) "LAWN" areas shall be finish-graded and seeded at a rate of 4 lbs. per 1,000 sq. ft.
- F) Seed shall consist of the following mixture:
10% Palmer IV Per. Ryegrass
20% Dragon KY Bluegrass
20% Diva KY Bluegrass
20% Foxy II Creeping Red Fescue
15% Ginny KY Bluegrass
15% Vail II Per. Ryegrass
- G) Areas labeled "Seed with Straw Erosion Matting" shall be seeded with the above-noted premium lawn seed mixture and overlaid with D875 straw erosion control matting that is then pegged into the soil with metal staples.
- H) Areas labeled "SOD" shall receive only No. 1 grade nursery-grown bluegrass sod.
- I) Plant beds adjacent to building foundation to be mulched with 1-1/2" diameter washed stone mulch spread to a 3" depth over fabric weed barrier.



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8401 EXCELSIOR DRIVE
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PROJECT: 201306

DRAWN BY: BP

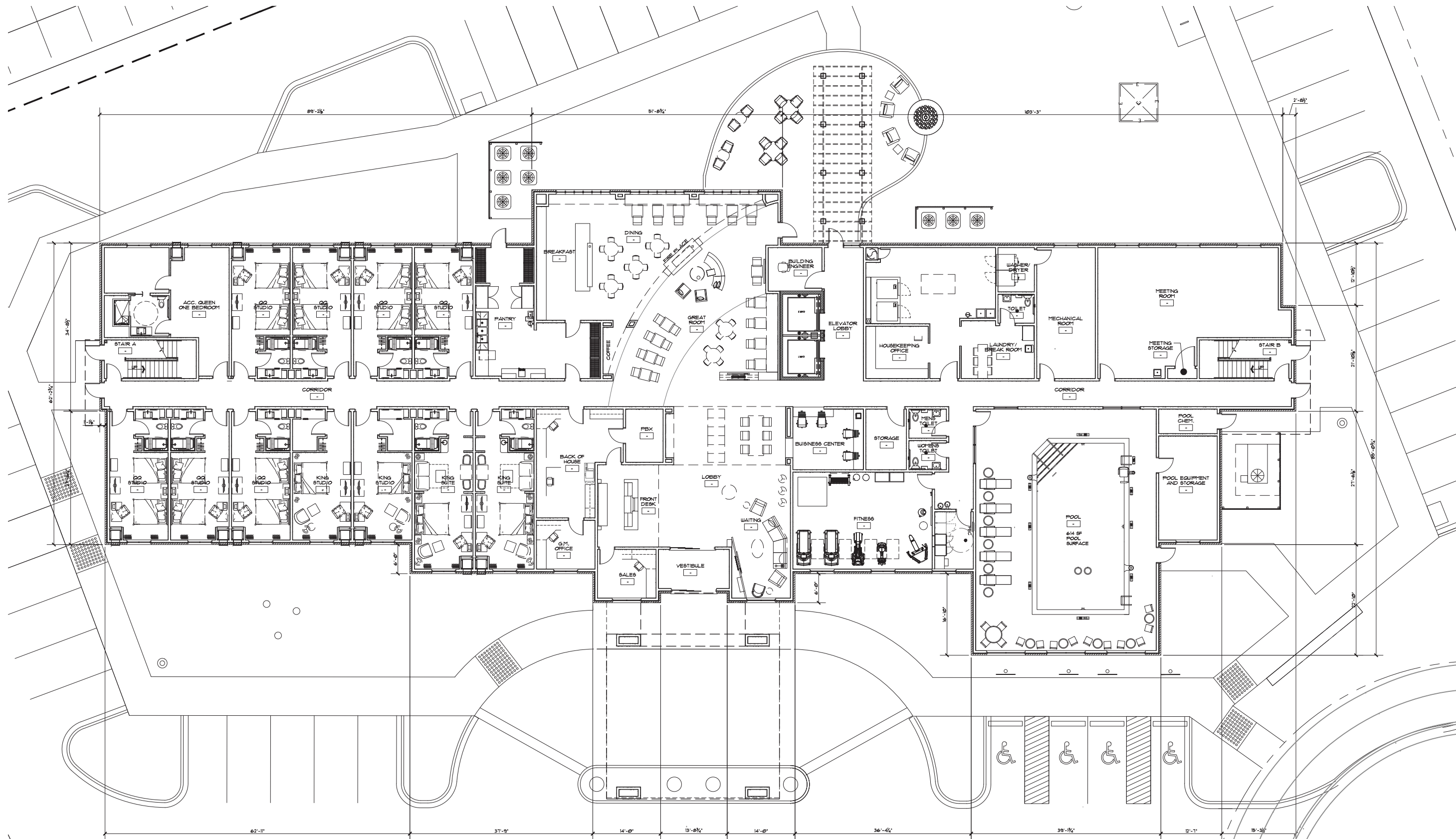
DATE:

SCALE: AS NOTED

PC / UDC SUBMISSION: 06.19.2013

FIRST
FLOOR
PLAN

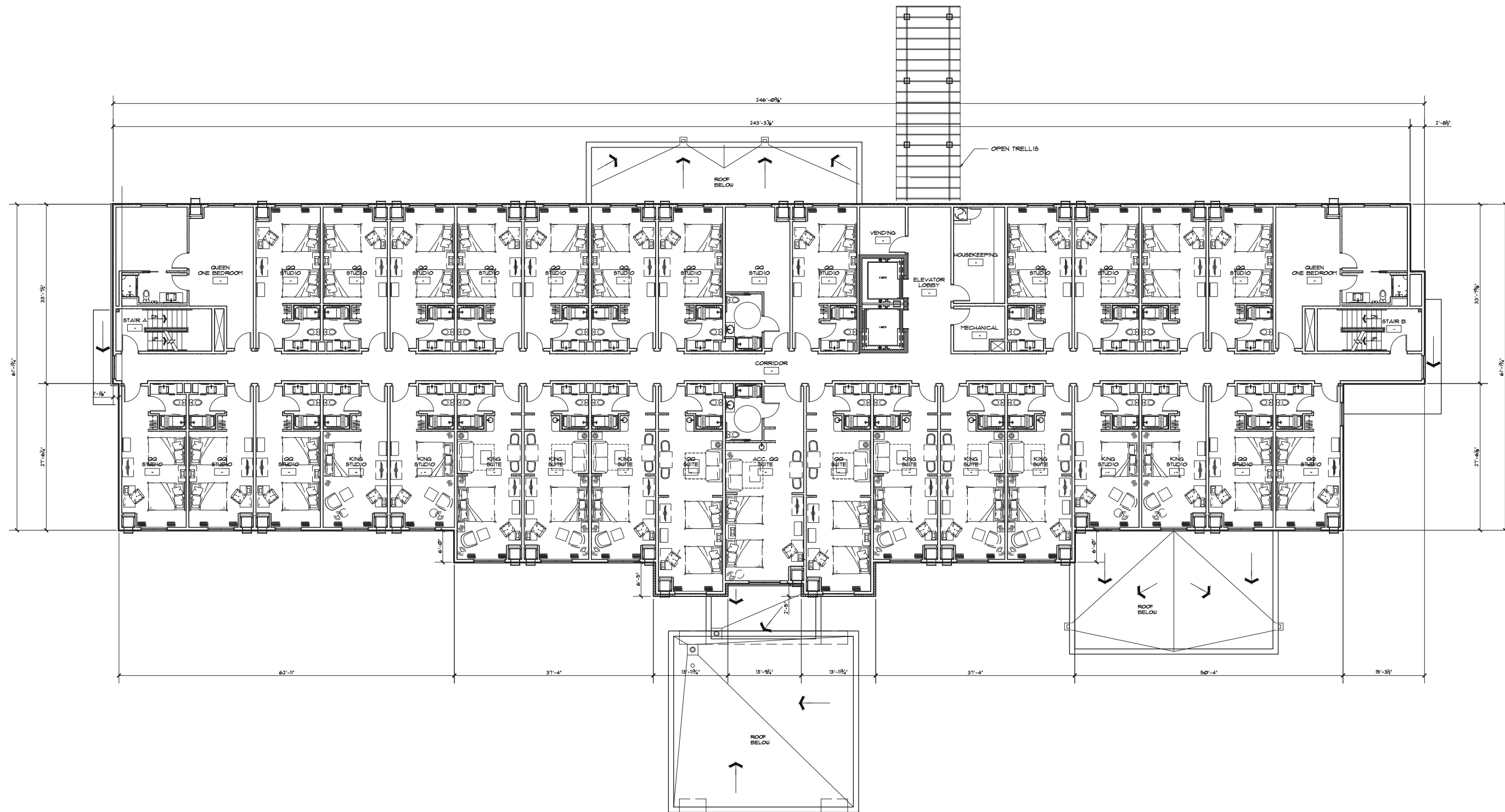
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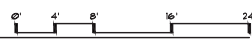
1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



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SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



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PC / UDC SUBMISSION: 06.15.2013

FIRST
FLOOR
PLAN
A2.02



FC / UDC SUBMISSION: 06.09.2013

THIRD
FLOOR
PLAN

A2.03

2. ALL DIMENSIONS ARE TO FACE-OF-STUD, UNLESS NOTED OTHERWISE.
3. EXTERIOR DIMENSIONS ARE TO FACE-OF-EXTERIOR SHEATHINGS (OR MASONRY).
4. DIMENSIONS SHOULD NOT TAKE INTO ACCOUNT THE VARYING LAYERS OF GYPSUM BOARD APPLIED TO ACHIEVE LISTED WALL TYPES ADJUSTMENT STUD FACE IF NECESSARY TO ACHIEVE UNPAKEN LINE.
5. SEE 1/4" PLANS FOR DIMENSIONING OF SPECIFIC AREAS.
6. SEE SHEET A2.10 FOR WALL TYPE CONSTRUCTION.
7. SEE 1/4" PLANS FOR ALL COMMUNICATING GUESTROOM DOOR LOCATIONS, ORIENTATION OF GUESTROOM LAYOUT AND WALL TYPE CONDITIONS TO SPECIFIC AREAS AT GUESTROOMS.
8. WHEN RATED-WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD WALL FRAMING, SUBMIT TYPE 5-B TYPE "X" RATED-GLASS SHEATHING IN FIRE-RATED WALL ASSEMBLY. IF THERE IS NO SHEATHING THERE WILL BE CONTINUED PRIOR TO BUILDING BEING IN THE DRY.
9. SEE 1/4" PLANS FOR DOOR SWEIGHTS, RATINGS ARE NOT SHOWN ON THESE PLANS FOR CLARITY.
10. OWNER SHALL PROVIDE ALL CODES REQUIRED ROOM SIGNAGE INCLUDING OCCUPANCY SIGNS IN ALL REQUIRED ROOMS.

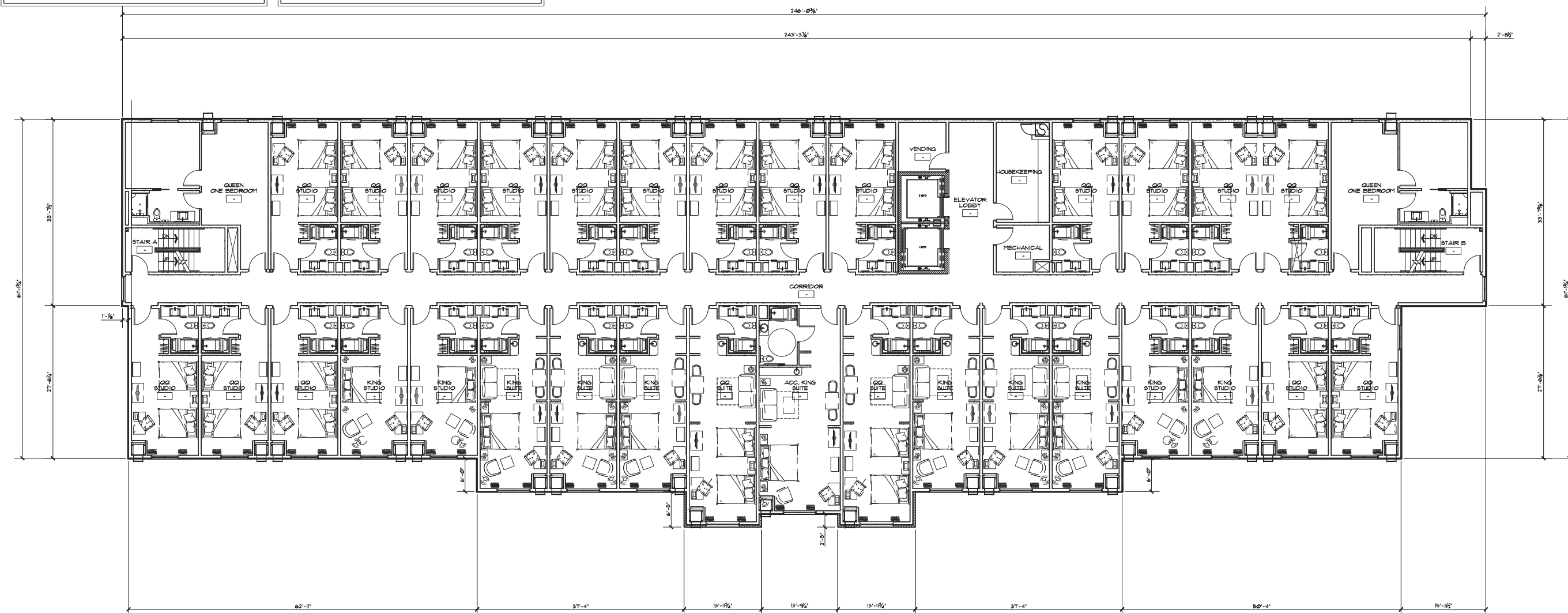
 WALL-MOUNTED FIRE EXTINGUISHER 4-A 80BC, 10-15 NOMINAL CAPACITY WITH MOUNTING BRACKET BY LARSEN MANUFACTURING COMPANY, OR APPROVED EQUAL.

 RECESSIBLE FIRE EXTINGUISHER CABINET, MODEL NO. 2409-R2, AND FIRE EXTINGUISHER 4-A 80BC, 10-15 NOMINAL CAPACITY BY LARSEN MANUFACTURING COMPANY, OR APPROVED EQUAL.

 INDICATES WALL TYPE, REFER TO DRAWING FOR WALL TYPE CONSTRUCTION
 FLOOR DRAIN

 DOOR TYPE, REFER TO DRAWING A.B.1 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.

 DOOR/INTERIOR OPENING NUMBER, REFER TO DRAWING A.B.1 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.

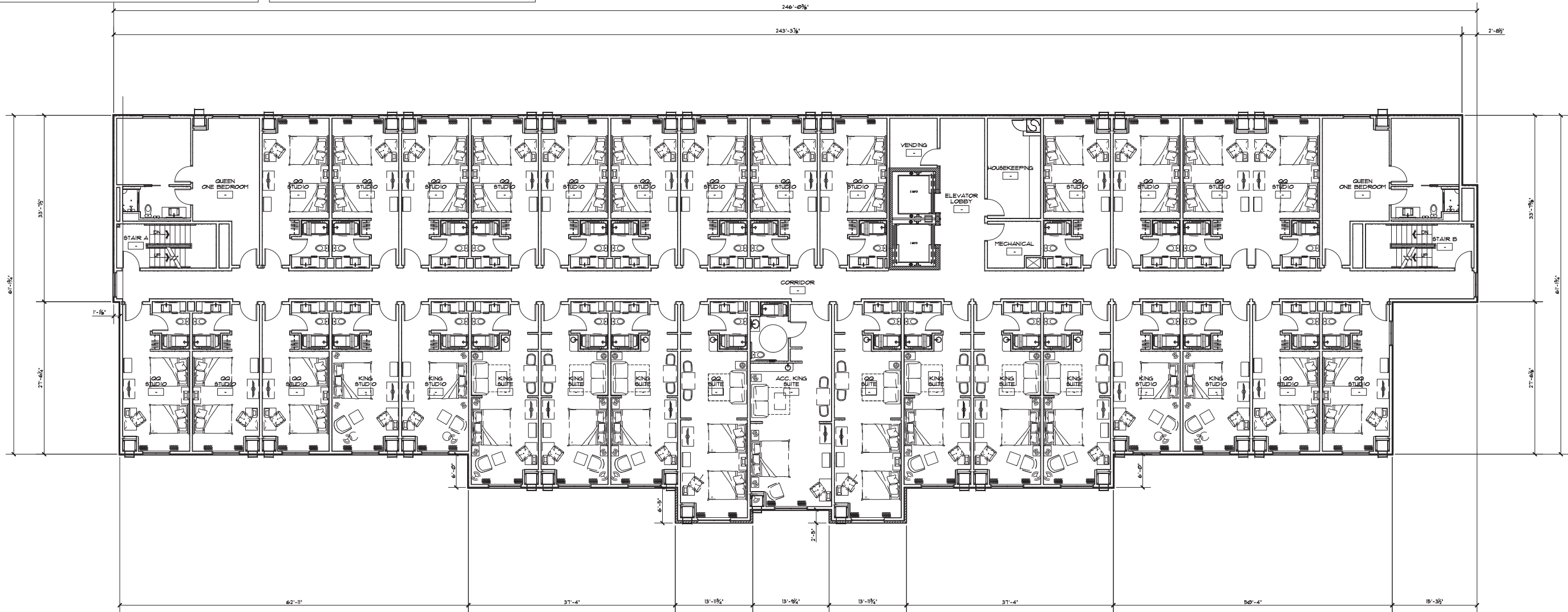


GENERAL PLAN NOTES

1. ALL DIMENSIONS ARE TO FACE-OF-STUD, UNLESS NOTED OTHERWISE.
2. EXTERIOR DIMENSIONS ARE TO FACE-OF-EXTERIOR SHEATHING (OR MASONRY).
3. DIMENSIONS SHOWN DO NOT TAKE INTO ACCOUNT THE VARYING LAYER(S) OF GYPSUM WALL BOARD. TO ACHIEVE LISTED WALL TYPES ADJUST/OFFSET STUD FACE IF NECESSARY TO ACHIEVE UNBROKEN LINE.
4. SEE 1/4" PLANS FOR DIMENSIONING OF SPECIFIC AREAS.
5. SEE SHEET A320 FOR WALL TYPE CONSTRUCTION.
6. SEE 1/8" PLANS FOR ALL COMMUNICATING GUESTROOM DOOR LOCATIONS, ORIENTATION OF GUESTROOM LAYOUT AND WALL TYPE CONDITIONS TO SPECIFIC AREAS AT GUESTROOMS.
7. WHEN RATED WALL ASSEMBLIES WILL BE COVERED OVER BY ADDITIONAL STUD WALL FRAMING, SUBSTITUTE 5/8" TYPE "X" DENGLASS SHEATHING IN FIRE-RATED WALL ASSEMBLY. IF NECESSARY, WHERE WALL FRAMING WILL CONTINUE PRIOR TO BUILDING BEING IN THE DRY.
8. SEE SHEET T2 FOR WALL RATINGS. RATINGS ARE NOT SHOWN ON THESE PLANS FOR CLARITY.
9. OWNER SHALL PROVIDE ALL CODE REQUIRED ROOM SIGNAGE INCLUDING OCCUPANCY SIGNS IN ALL REQUIRED ASSEMBLY ROOMS.

PLAN SYMBOLS

- WALL-MOUNTED FIRE EXTINGUISHER, 4-A BOPC, 10-16 NOMINAL CAPACITY WITH MOUNTING BRACKET BY LARSEN MANUFACTURING COMPANY, OR APPROVED EQUAL.
- FULLY-RECESSED FIRE EXTINGUISHER CABINET, MODEL NO. 2409-R2, AND FIRE EXTINGUISHER 4-A BOPC, 10-16 NOMINAL CAPACITY BY LARSEN MANUFACTURING COMPANY, OR APPROVED EQUAL.
- INDICATES WALL TYPE, REFER TO DRAWING FOR WALL TYPE CONSTRUCTION
- FLOOR DRAIN
- DOOR TYPE, REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.
- DOOR/INTERIOR OPENING NUMBER, REFER TO DRAWING A8.01 FOR DOOR AND INTERIOR OPENINGS SCHEDULE.



FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"



GARY BRINK & ASSOCIATES
ARCHITECTS
8401 EXCELSIOR DRIVE
MADISON, WI 53717
608-829-1750
608-829-3056 (FAX)



PROJECT: HOLIDAY INN EXPRESS & SUITES
610 JOHN NOLEN DRIVE, MADISON WI
CLIENT: NOLEN HOTEL INVESTMENT LLC
245 HORIZON DRIVE, SUITE 106, VERONA, WI 53593

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PROJECT: 201306
DRAWN BY: BP
DATE:
SCALE: AS NOTED

PC / UDC SUBMISSION: 06/25/2013

FOURTH
FLOOR
PLAN

A2.04



GARY BRINK & ASSOCIATES
ARCHITECTS
9401 EXCELSIOR DRIVE
MADISON, WI 53717
608-429-1750
608-429-3556 (FAX)



SOUTH
SCALE: 1/8" = 1'-0"



WEST
SCALE: 1/8" = 1'-0"

GRAPHIC	EXTERIOR FINISH KEY
	(M-1) METAL NO. 1 #4 CORNING FIBERGLAS AND STONEPOINT COLOR: DARK BRONZE
	(E-1) EIFS NO. 1 FINISH: RED SAND COLOR: BARNET BEIGE
	(B-1) BRICK NO. 1 SIZE: 4"X8" COLOR: INTERSTATE COPPERSTONE
	(C-1) CAST STONE NO. 1 SIZE: 4"X8" AND 4"X4" COLOR: HERITAGE BLOCKING

PROJECT: PROPOSED SEVEN LEVEL PARKING STRUCTURE
HIGGINS RD. & DES PLAINES RIVER ROAD
ROSEMONT, ILLINOIS 60018
CLIENT: RAYMOND MANAGEMENT COMPANY
8333 GREENWAY BLVD., SUITE 200
MIDDLETON, WI 53562

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PROJECT: 201214
DRAWN BY: BP
DATE:
SCALE: AS NOTED

ELEVATIONS

A6.01



GARY BRINK & ASSOCIATES
ARCHITECTS
9401 EXCELSIOR DRIVE
MADISON, WI 53717
608-829-1750
608-829-3056 (FAX)



NORTH
SCALE: 1" = 1'-0"



EAST
SCALE: 1" = 1'-0"

GRAPHIC	EXTERIOR FINISH KEY
	(M-1) METAL NO. 1 #4 CORNING RIBS AND STONEPOINT COLOR: DARK BRONZE
	(E-1) EIFS NO. 1 FINISH COLOR: BARKET BEIGE
	(B-1) BRICK NO. 1 COLOR: INTERSTATE COPPERSTONE
	(C-1) CAST STONE NO. 1 COLOR: HERITAGE BLOCKING

PROJECT:

PROPOSED SEVEN LEVEL PARKING STRUCTURE

HIGGINS RD. & DES PLAINES RIVER ROAD
ROSEMONT, ILLINOIS 60018

CLIENT:

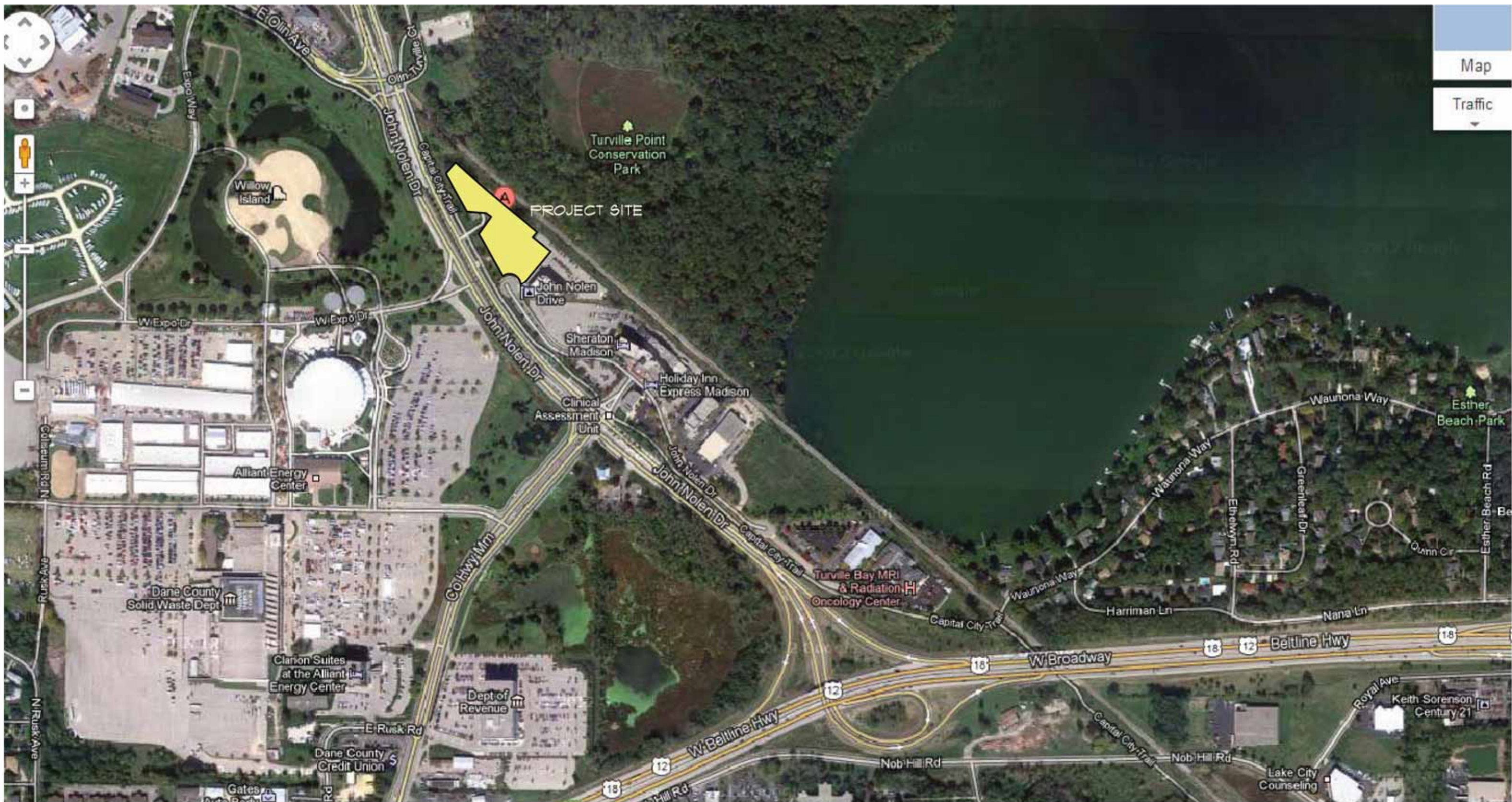
RAYMOND MANAGEMENT COMPANY
8333 GREENWAY BLVD., SUITE 200
MIDDLETON, WI 53662

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ELEVATIONS

A6.02



AERIAL MAP
N.T.S.

PROPOSED HOLIDAY INN EXPRESS & SUITES FOR NOLEN HOTEL INVESTMENT, LLC **610 JOHN NOLEN DR., MADISON WI**

1
JUNE 19,
2013
201306



EXISTING 660 JOHN NOLEN DRIVE OFFICE BUILDING



ENTETRANCE TO EXISTING OFFICE BUILDING



SITE LOOKING NORTH



SITE LOOKING NORTH DOWN JOHN NOLEN



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& ASSOCIATES
ARCHITECTS



PROPOSED HOLIDAY INN EXPRESS & SUITES FOR NOLEN HOTEL INVESTMENT, LLC

610 JOHN NOLEN DR., MADISON WI

JUNE 19,
2013
201306



SITE LOOKING NORTH AT EXISTING PUMP HOUSE



SITE LOOKING SOUTH DOWN JOHN NOLEN



SITE LOOKING SOUTH AT EXISTING OFFICE



SITE LOOKING WEST @ ALLIANT ENRGY CENTER / COLISEUM

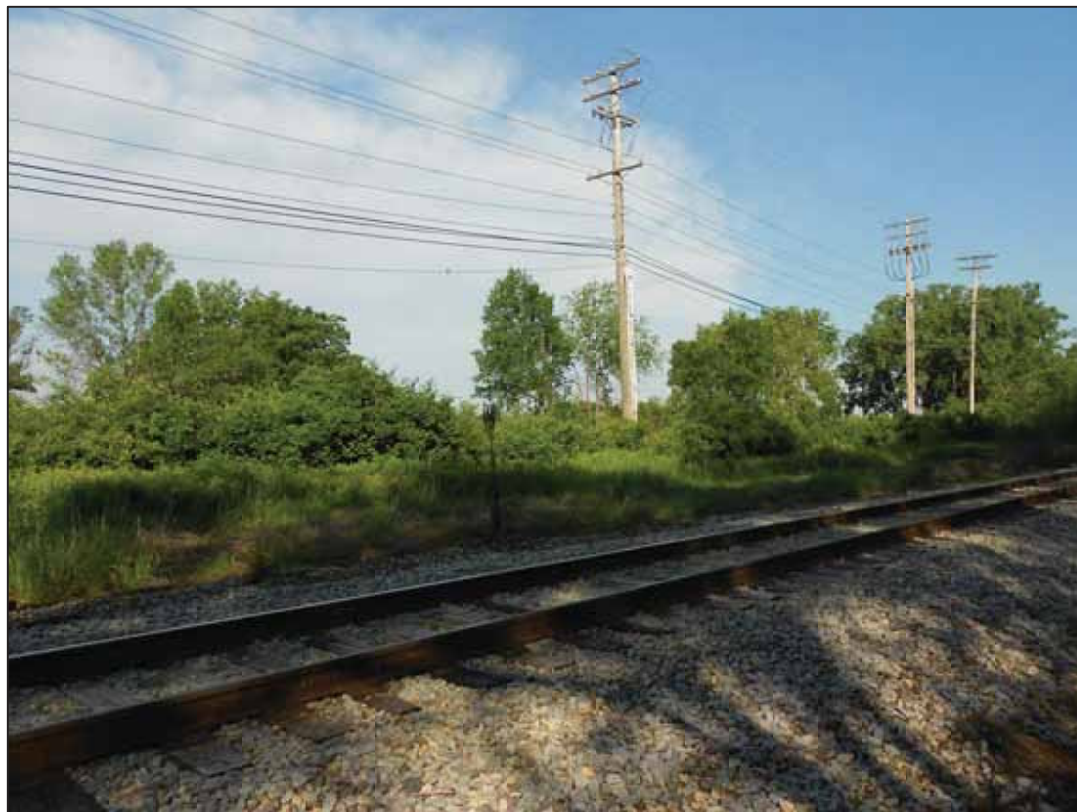


GARY BRINK
& ASSOCIATES
ARCHITECTS



PROPOSED HOLIDAY INN EXPRESS & SUITES FOR NOLEN HOTEL INVESTMENT, LLC **610 JOHN NOLEN DR., MADISON WI**

JUNE 19,
2013
201306



SITE LOOKING NORTH AT OVER HEAD POWER LINE



SITE LOOKING WEST AT BACK OF EXISTING PUMP HOUSE



SITE LOOKING @ OVER HEAD POWER LINE TOWARDS OLIN PARK



SITE LOOKING WEST @ ALLIANT ENRGY CENTER / COLISEUM