

1. MAXIMUM SLOPE AT ALL HANDICAP ACCESSIBLE RAMP 1:20. MAXIMUM SLOPE AT HANDICAP RAMP 1:12. RAMP OVERSLOPE MORE THAN 4" CHANGE IN ELEVATION TO HAVE HANDRAILS ON BOTH SIDES.
2. ALL DRIVEWAYS, CURBS ADJACENT TO DRIVEWAYS, AND SIDEWALK CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLETED IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION BY A CONTRACTOR CURRENTLY LICENSED BY THE CITY.
3. ALL NEW DRIVEWAYS TO BE CONSTRUCTED WITH CLASS II INTERLOCKING IN ACCORDANCE WITH MADISON GENERAL ORDINANCE SECTION 10.20(4).
4. ALL TRASH TO BE COLLECTED IN UNDERGROUND PARKING GARAGES. RECYCLING AREAS TO BE PROVIDED IN TRASH ROOM.
5. SEE GRADING AND UTILITY PLANS FOR ADDITIONAL INFORMATION.
6. COMH 02.050000 REQUIRED FIRE LANES SHALL BE PROVIDED PRIOR TO THE PLACEMENT OF CONCRETE MATERIALS AT THE BUILDING SITE, OR THE CONSTRUCTION OF ANY PORTION OF A BUILDING ABOVE THE FOOTING AND FOUNDATION.
7. BIKE STALLS TO BE IN ACCORDANCE TO MADISON GENERAL ORDINANCE 20.1. FOR THE TYPES OF RACKS ESPECIALLY SEE SUBSECTIONS (D) AND (E) OF THE CITY OF MADISON GENERAL ORDINANCE 20.1.

ISSUED - DEC. 18, 2005
Neighborhood Meeting - March 01, 2006
Issued - April 3, 2006

The Colony

Site Plan

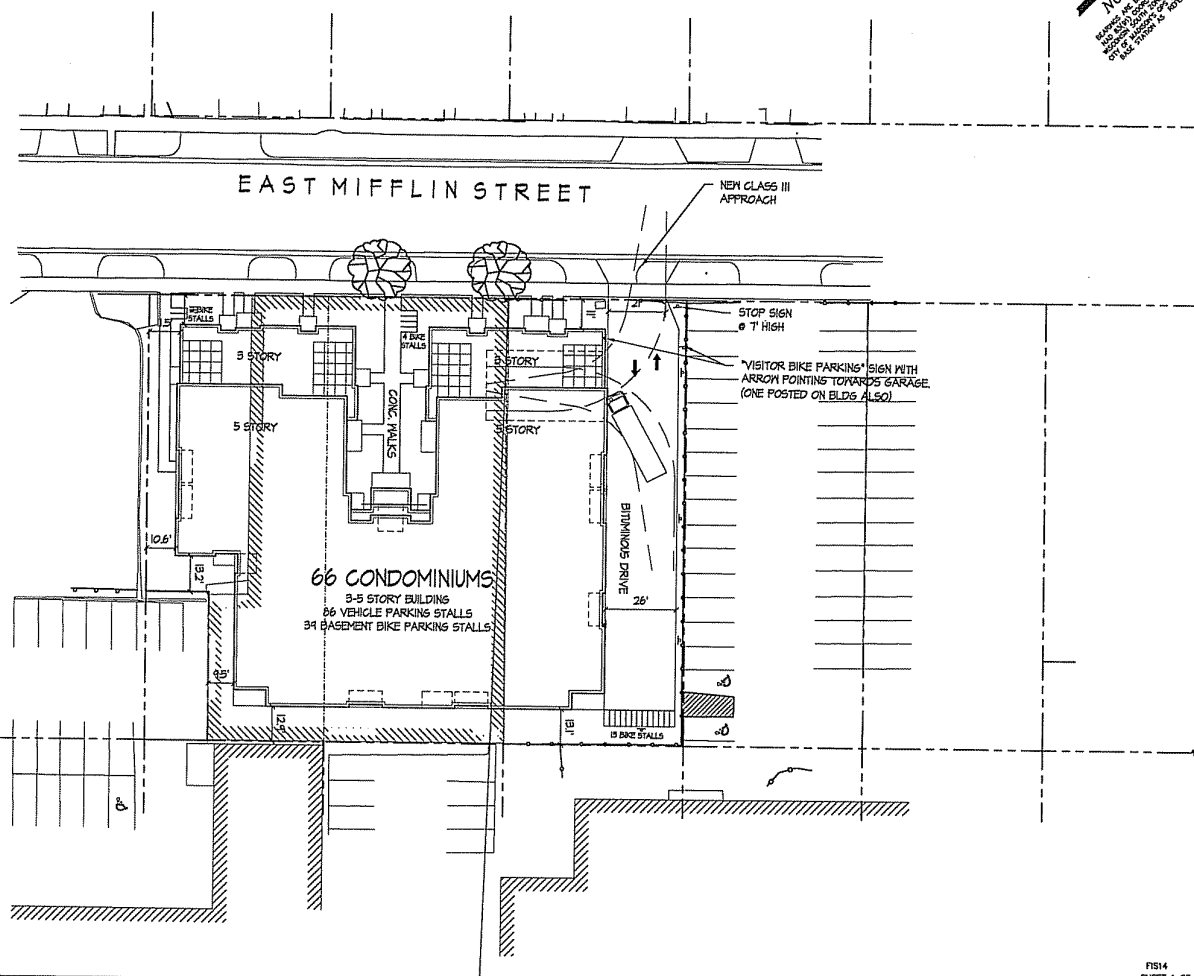
0548

C-1.1

SITE MAP

PART OF LOT 3, AND ALL OF LOTS 4 AND 5, ORIGINAL PLAT OF MADISON, AS RECORDED IN VOLUME A OF PLATS, ON PAGE 3, AS DOCUMENT NUMBER 102, DANE COUNTY REGISTRY, ALSO LOCATED IN THE SOUTHWEST QUARTER (¼) OF SECTION 13, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN

SCALE 1" ONE HUNDRED FEET



Consultant

Notes



○ FRONT ELEVATION ALONG E. MIFFLIN STREET
1/8" = 1'-0"



○ NORTHEAST SIDE ELEVATION
1/8" = 1'-0"

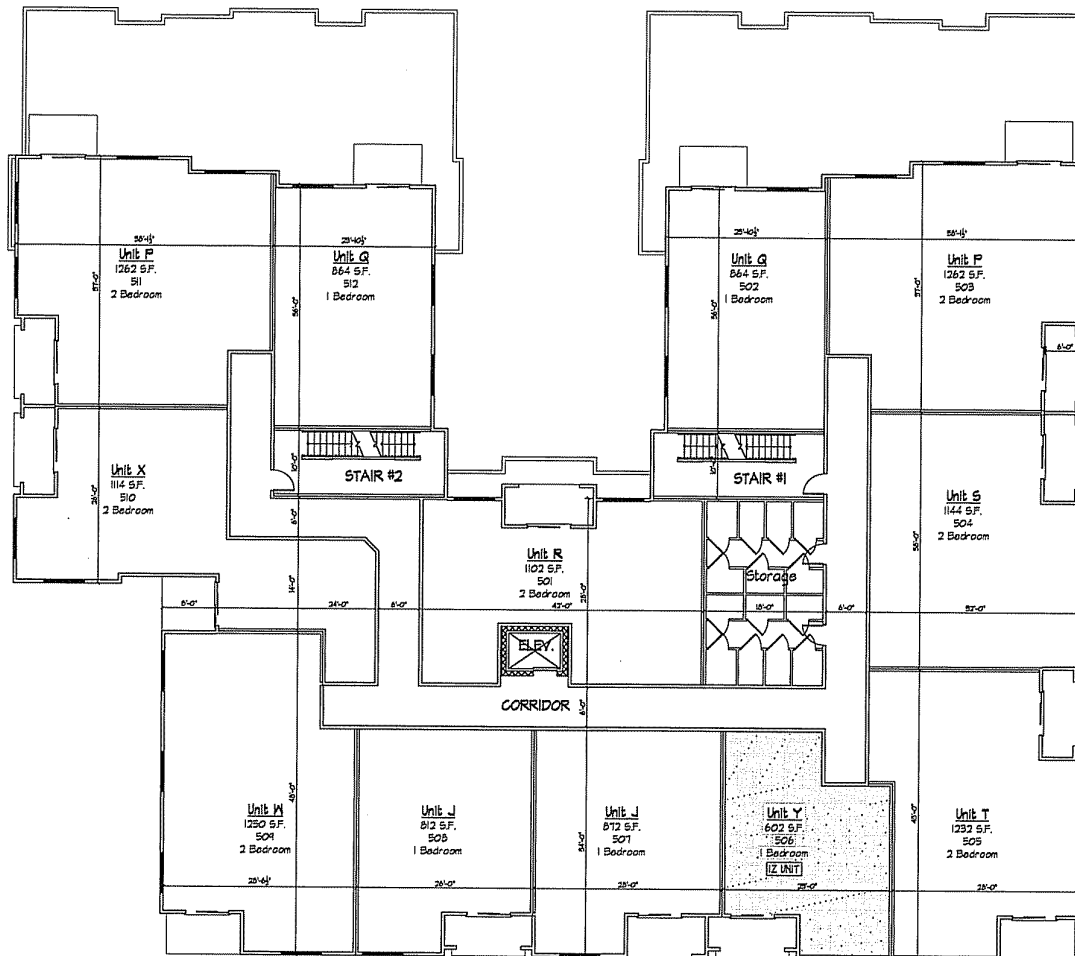
Revisions
Plan Commission Submittal - April 12, 2006

Project Title
The Colony

625 E. Mifflin Street
Drawing Title
Elevations

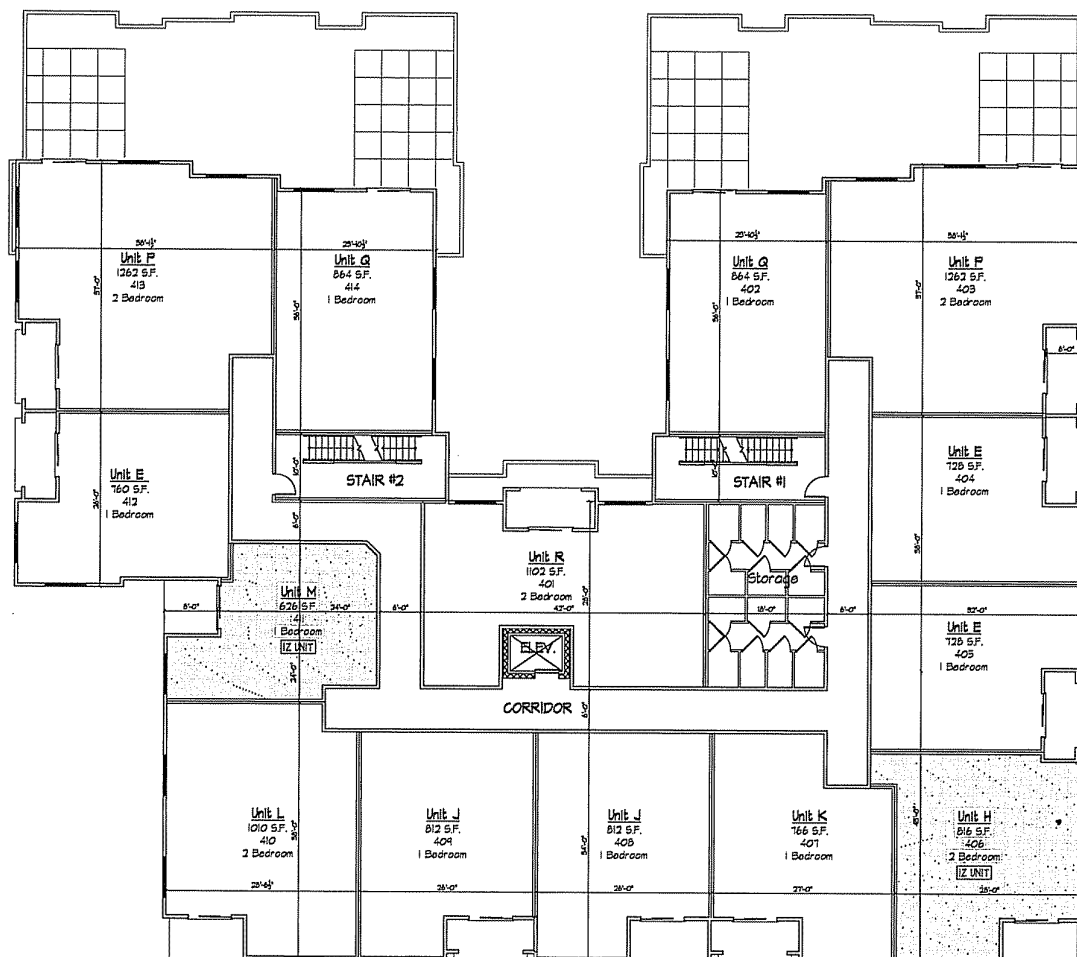
Project No. Drawing No.
0548 A-2.1

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FIFTH FLOOR PLAN TOTAL AREA 14,142 S.F.
1/8" = 1'-0"





Revisions
Plan Commission Submittal - April 12, 2006

Project Title
The Colony

625 E. Mifflin Street
Drawing Title
Fourth Floor Plan

Project No.
0548

Drawing No.
A-15

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FOURTH FLOOR PLAN
TOTAL AREA 14,142 S.F.



Consultant

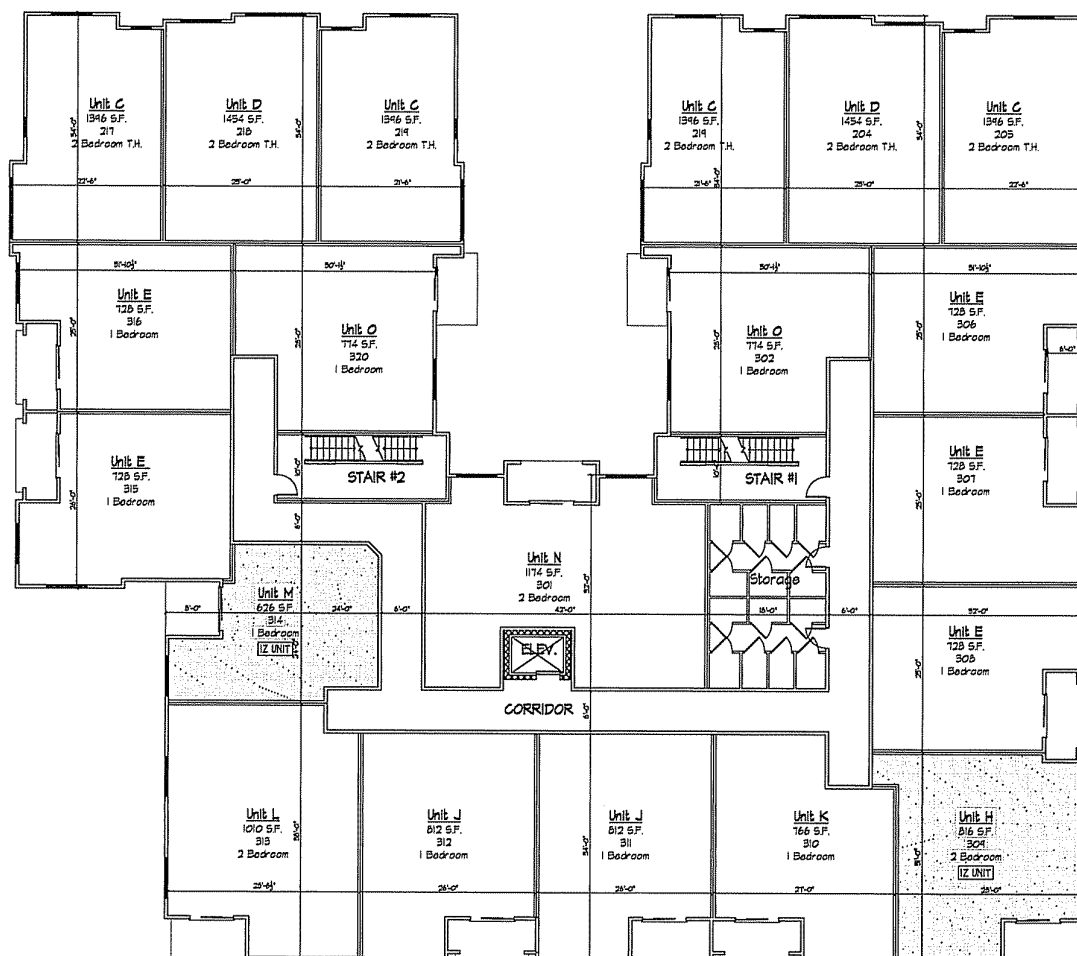
Notes

Revisions
Plan Commission Submittal - April 12, 2006

Project Title
The Colony

625 E. Mifflin Street
Drawing Title
Third Floor Plan

Project No.
0548
Drawing No.
A-1.4



THIRD FLOOR PLAN TOTAL AREA 17,904 S.F.
1/8" = 1'-0"



Consultant

Notes

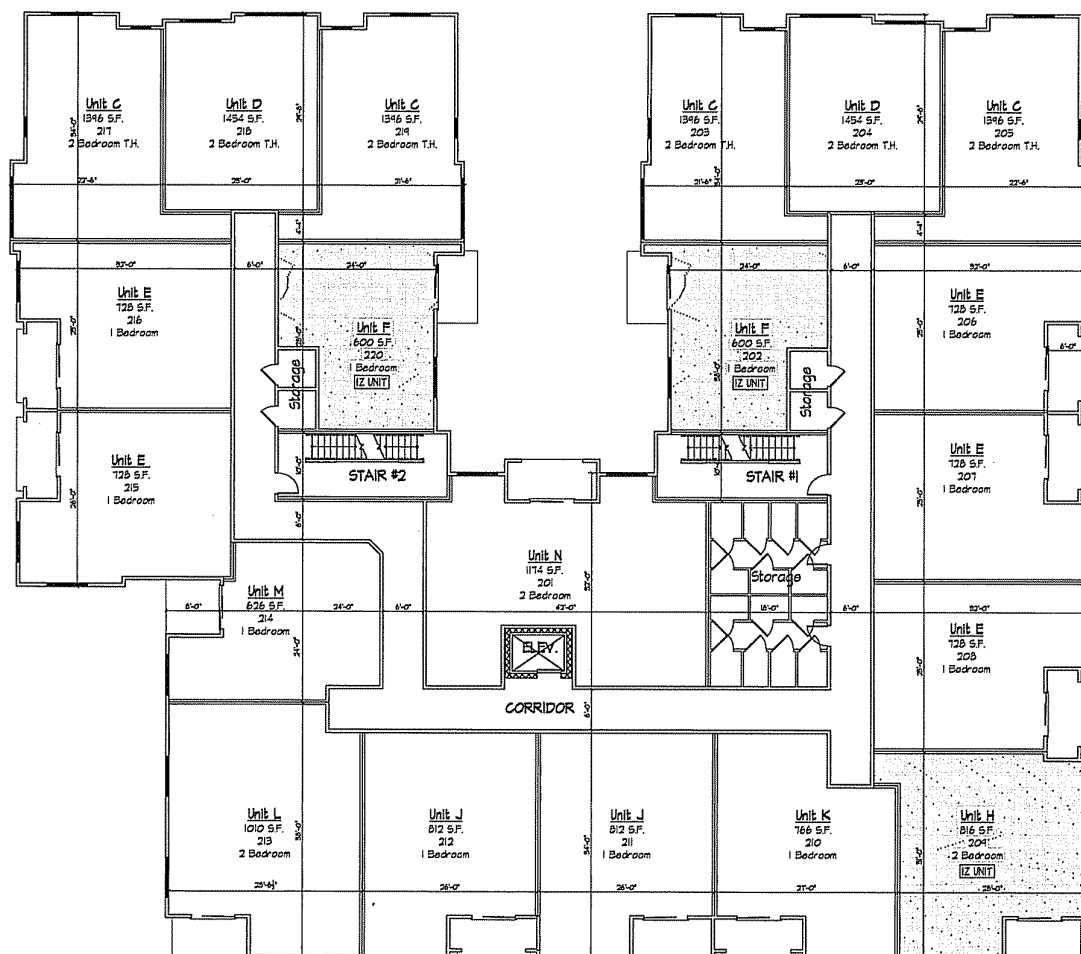
Revisions
Plan Commission Submittal - April 12, 2006

Project Title
The Colony

625 E. Mifflin Street
Drawing Title
Second Floor Plan

Project No. 0548 Drawing No. A-1.3

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SECOND FLOOR PLAN
1/8" = 1'-0"

TOTAL AREA 17,904 S.F.



Consultant

Notes

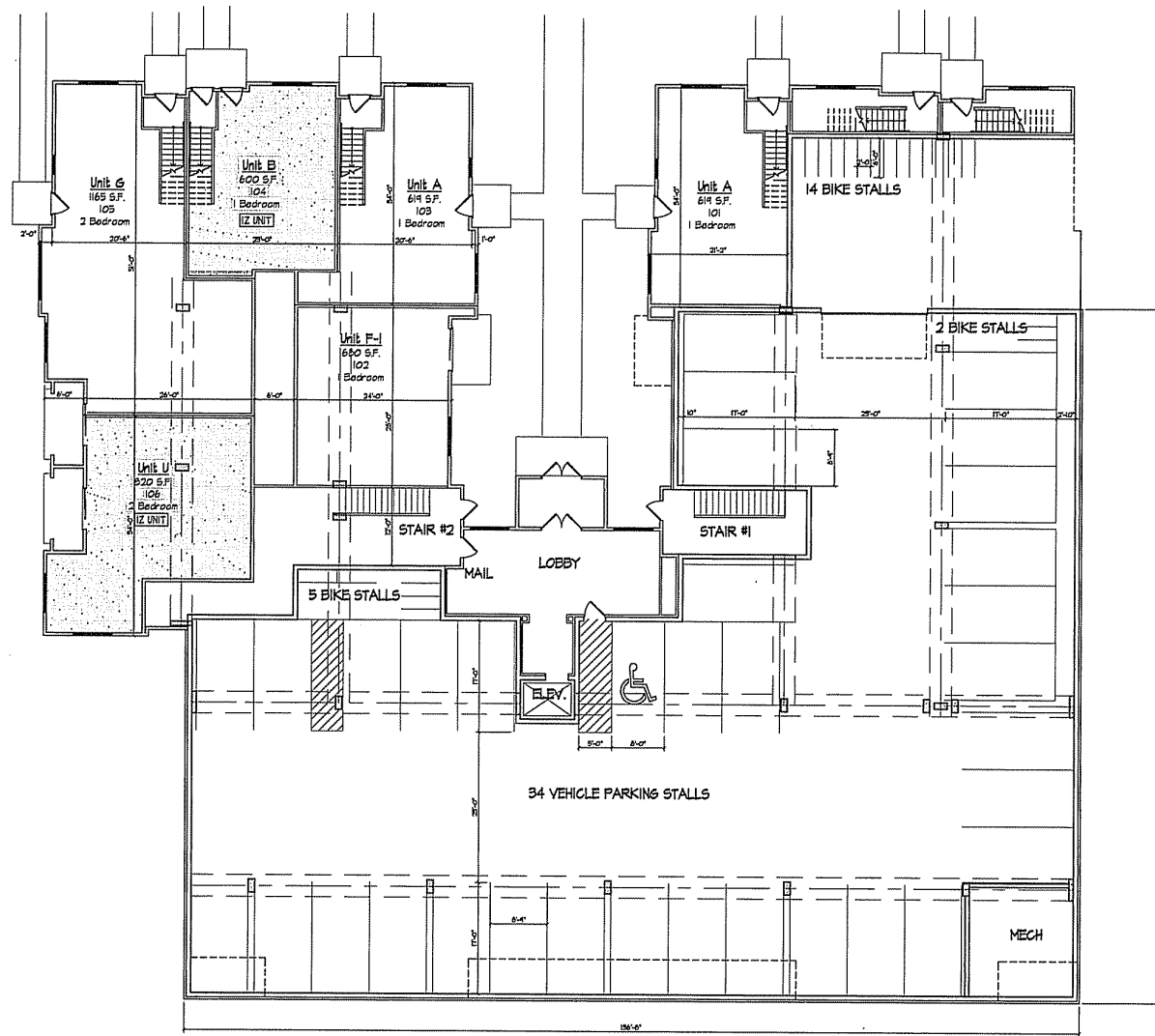
Revisions
Plan Commission Submittal - April 12, 2006

Project Title
The Colony

625 E. Mifflin Street
Drawing Title
First Floor Plan

Project No. 0548 Drawing No. A-1.2

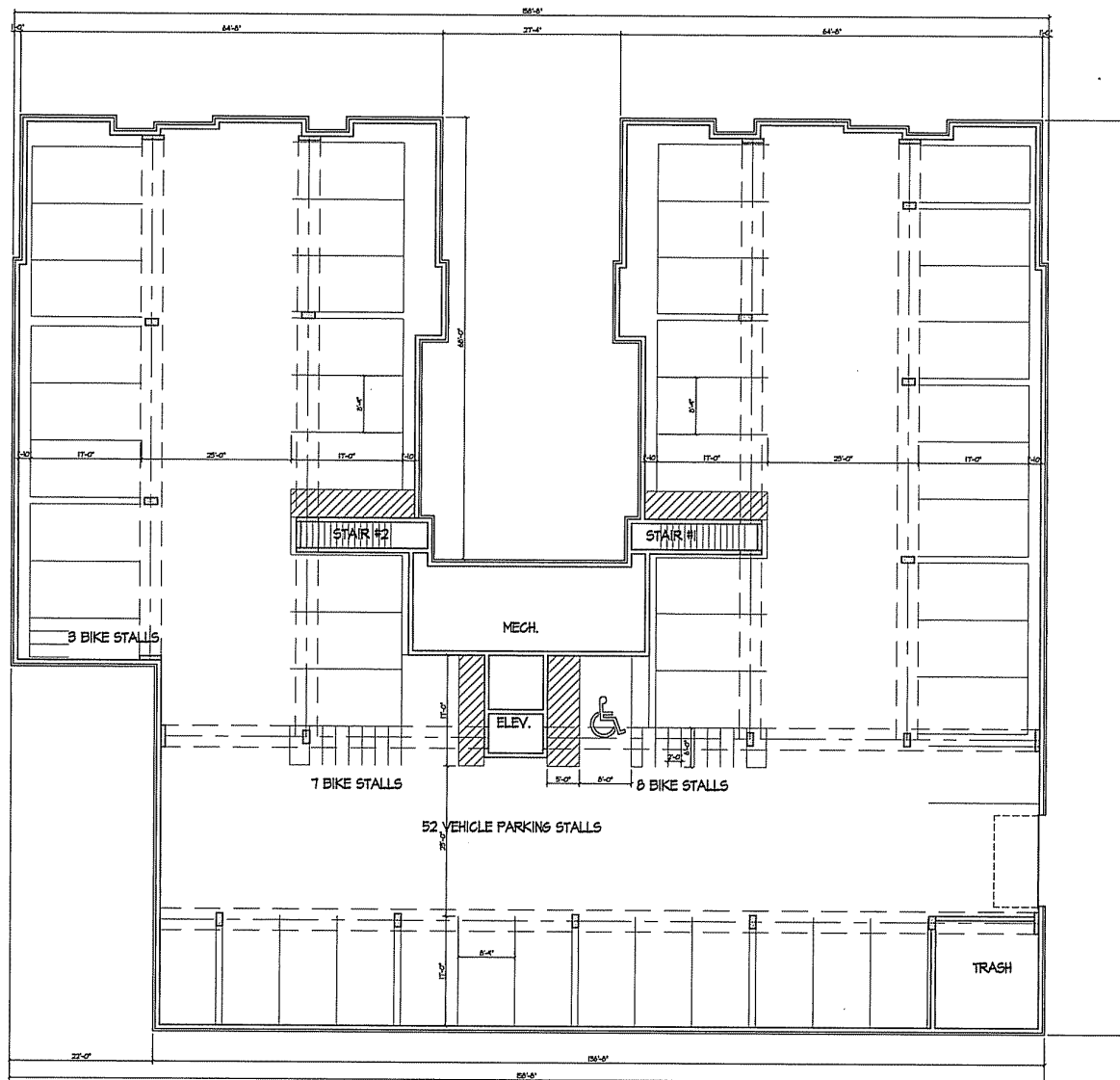
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FIRST FLOOR PLAN
1/8" = 1'-0"

AREAS:
FINISHED 6,826 S.F.
UNFINISHED 10,724 S.F.
TOTAL 17,550 S.F.





BASEMENT PLAN
1/8" = 1'-0"

**KNOTHE
& BRUCE**
ARCHITECTS
7401 University Avenue Suite 201
Middleton, Wisconsin 53562
608-836-3690 Fax 608-6934

Consultant

Notes

Revisions
Plan Commission Submittal - April 12, 2006

Project Title
The Colony

625 E. Mifflin Street
Drawing Title
Basement Plan

Project No. Drawing No.
0548 A-1.1

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KNOTHE & BRUCE ARCHITECTS

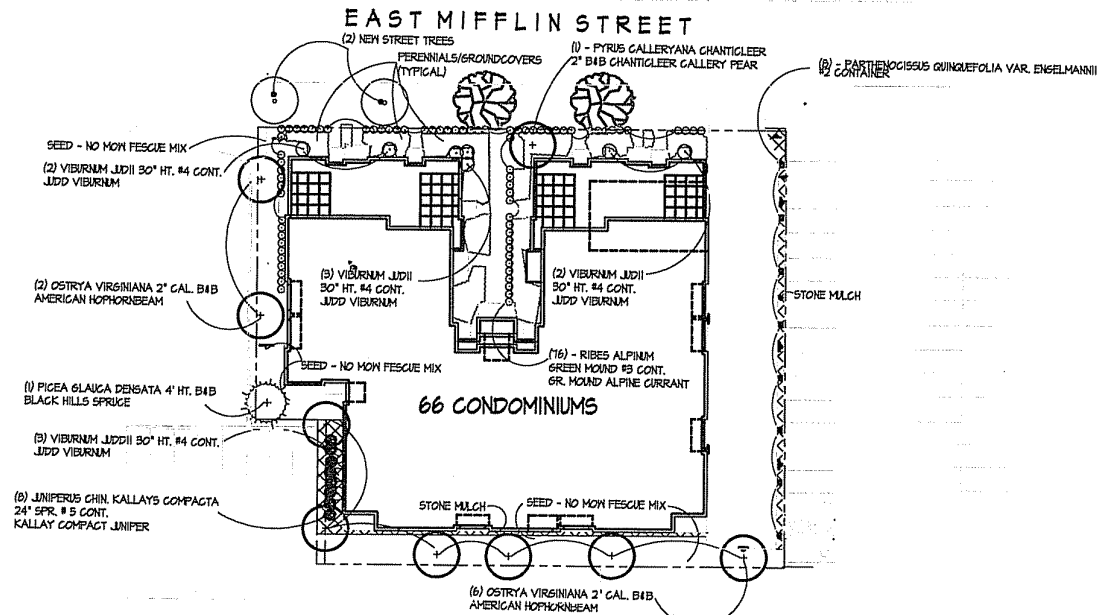
7601 University Avenue Suite 201
Madison, Wisconsin 53702
608-638-3000 Fax 608-638-3034

Consultant

Notes

PART OF LOT 3, AND ALL OF LOTS 4 AND 5, ORIGINAL PLAT OF MADISON, AS RECORDED IN VOLUME A OF PLATS, ON PAGE 3, AS DOCUMENT NUMBER 102, DANE COUNTY REGISTRY, ALSO LOCATED IN THE SOUTHWEST QUARTER (1/4) OF SECTION 13, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN

SCALE: 1" = 20' - 0"



Revisions
REVISED - DEC. 19, 2005
Neighborhood Meeting - March 04, 2006
Issued - April 8, 2006

Plan Commission
April 12, 2006



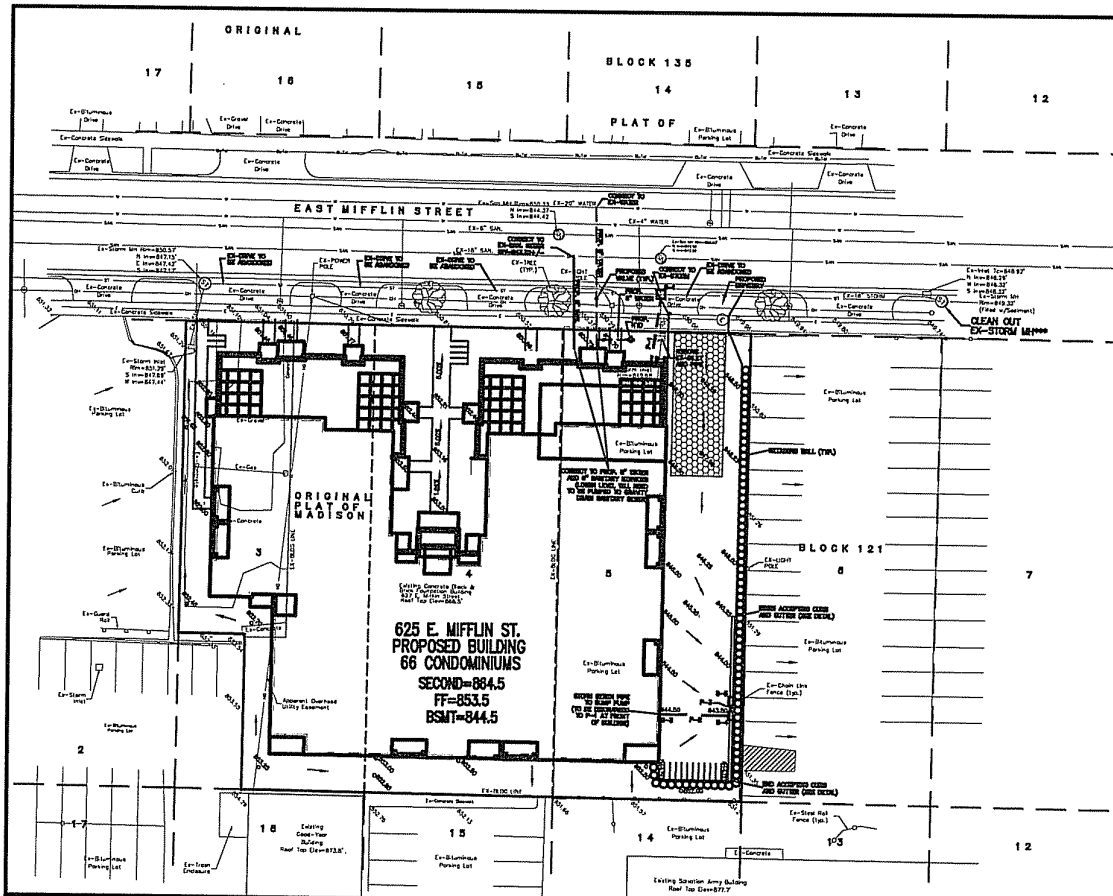
Project Title
The Colony
625 E. Mifflin Street

Drawing Title
Landscape Plan

Project No.
0349

Drawing No.
6-4.1

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GENERAL NOTES:

STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED UNTIL GRAVEL BASE COURSE IS INSTALLED.

CONTRACTOR SHALL PERFORM EROSION CONTROL INSPECTIONS WEEKLY AND AFTER EVERY RAINFALL EVENT EXCEEDING 0.5\"/>

INLET SEDIMENTATION FILTERS SHALL BE INSTALLED AT ALL INLET LOCATIONS, AND ADJACENT DOWNSTREAM INLETS.

ALL WORK WITHIN CITY RIGHT OF WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.

CONTRACTOR SHALL OBTAIN A STREET EXCAVATION PERMIT PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL OBTAIN ALL NECESSARY SEWER CONNECTION PERMITS AND SEWER PLUGGING PERMITS PRIOR TO CONSTRUCTION.

ALL SANITARY SEWER, WATER MAIN, AND STORM SEWER SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

ALL SUBSURFACE GARAGE CATCH BASINS SHALL BE DRAINED TO SANITARY SEWER AND INSTALLED PER DEPARTMENT OF COMMERCE GUIDELINES.

CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES.

PRIVATE STORM SEWER SHALL BE ADS N-12.

PRIVATE WATER MAIN AND SERVICES SHALL BE DUCTILE IRON (AWWA C-151-CLASS 52).

PRIVATE SANITARY SEWER AND LATERALS SHALL BE PVC (ASTM D3034-SDR35).

PUBLIC SIDEWALK AT DRIVEWAY LOCATIONS SHALL BE 7\"/>

UTILITY PATCHES FOR PROPOSED UTILITY SERVICES SHALL BE CONSTRUCTED PER CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

BUILDING PLUMBER SHALL VERIFY SIZE, SLOPE, AND EXACT LOCATION OF PROPOSED SANITARY LATERALS AND WATER SERVICES PRIOR TO INSTALLATION. LOWER LEVEL OF BUILDING WILL NEED TO BE PUMPED TO GRAVITY DRAIN SANITARY SEWER.

STORMWATER RUNOFF FROM PROPOSED DRIVEWAY SHALL BE DIRECTED INTO BUILDING VIA STORM SEWER AND PUMPED TO GRAVITY DRAIN STORM SEWER AT FRONT OF BUILDING. ROOF RUNOFF SHALL BE COLLECTED AND DISCHARGED INTO GRAVITY DRAIN STORM SEWER AT FRONT OF BUILDING.

ALL WORK WITHIN THE CITY RIGHT OF WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.

PUMPING OF WATER FROM FOUNDATION AREA DURING CONSTRUCTION SHALL NOT EXCEED A RATE OF 70 GALLONS PER MINUTE. SUMP PUMP SHALL BE PLACED ON A CLEAR STONE BEDDING AND A CLOTH/MESH SOCK SHALL BE PLACED ON THE OUTLET END OF THE PIPE TO CONTROL SEDIMENT LOSS.

DEVELOPER SHALL REPAIR/REPLACE ANY SIDEWALK, CURB, OR PAVEMENT DAMAGED DURING CONSTRUCTION OR AS DEMAND NECESSARY BY THE CITY ENGINEER.

ALL EXISTING DRIVEWAY APPROACHES TO BE ABANDONED SHALL BE REMOVED AND REPLACED WITH CURB AND GUTTER AND A GRASS TERRACE.

STORM SEWER STRUCTURE SCHEDULE:

STRUCTURE SCHEDULE					
STRUCTURE NUMBER	TYPE	TOP OF CASTING	INVERT	DEPTH	GRATE TYPE
S-1	3'X3' SAS	840.35	848.63+/-	2.72	R-1550
S-2	12" STUB	-	848.66+/-	-	-
S-3	12" STUB	-	840.33	-	-
S-4	H INLET	843.94	840.47	3.47	R-3067 DIAG.
S-5	H INLET	843.94	840.50	3.44	R-3067 DIAG.
NOTE: GRATE AND LD TYPES REFERENCE NEENAH FOUNDRY COMPANY CATALOG.					

NOTE: GRADE AND LID TYPES REFERENCE KENNAH FOUNDRY COMPANY CATALOG.

STORM SEWER PIPE SCHEDULE:

PIPE NUMBER	FROM (SPACING)	TO (DOWNSTREAM)	LENGTH	INVERT	DISCHARGE SLOPE	PIPE SIZE
P-1	S-2	S-1	22'	846.85+/-	1.04	12\"/>

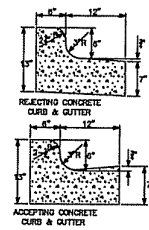
LEGEND:

- STONE CONSTRUCTION ENTRANCE
- 261.79 = PROPOSED PAVEMENT/SIDEWALK ELEVATION
- 261.79 = PROPOSED LAWN ELEVATION
- 261.73 = EXISTING SPOT ELEVATION

EROSION CONTROL SCHEDULE:

EROSION CONTROL INSTALLED: AUGUST 15, 2008
BEGIN GRADING: AUGUST 15, 2009
GRAVEL BASE COURSE INSTALLED
IN DRIVEWAY: JULY 30, 2007

NOTE: AN EROSION CONTROL PERMIT EXTENSION SHALL BE FILED WITH THE CITY OF MADISON ENGINEERING DEPARTMENT PRIOR TO THE GRAVEL BASE COURSE INSTALLATION DATE INDICATED ABOVE IF THIS DATE WILL NOT BE MET. CONTRACTOR SHALL NOTIFY ENGINEER IF AN EXTENSION IS NECESSARY.



GENERAL NOTES:

LATERAL CONTRACTION JOINTS SHALL BE PLACED AT INTERVALS OF NOT MORE THAN 10' FOR LESS THAN 6' IN LENGTH. THE JOINTS SHALL BE A MINIMUM OF 3\"/>

EXPANSION JOINTS SHALL BE PLACED TRANSVERSELY AT RADIUS POINTS ON CURVES OF RADIUS 200' OR LESS, AND AT WHOLE PORTIONS OF 45' DIRECTED BY THE ENGINEER. THE EXPANSION JOINT SHALL BE A ONE-OUTLET AT EACH END, AND THE JOINT SHALL BE 1/2\"/>

IN ALL CASES, CONCRETE CURB & GUTTER SHALL BE PLACED ON THOROUGHLY COMPACTED CRUSHED STONE.

CURB AND GUTTER

Calkins Engineering, LLC
1000 E. Mifflin Street
Madison, WI 53706
(608) 263-0444

DATE: 04-15-09
REVISIONS:

THE COLONY - 625 E. MIFFLIN STREET
GRADING, EROSION CONTROL, AND UTILITY PLAN
PROJECT NAME: P:\VISTA\EROSION\EROSION.DWG
REV: 1

Calkins Engineering, LLC
Civil Engineers & Land Surveyors

C-2.1

Universal Soil Loss Equation for Construction Sites

State: WI County: DANE Worksheet: 1

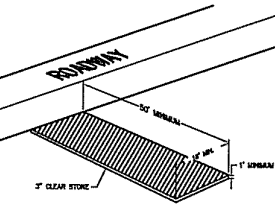
Project: 625 E. MIFFLIN ST. PROPOSED BUILDING 66 CONDOMINIUMS

Location: 625 E. MIFFLIN ST. MADISON, WI

Scale: 1\"/>



SCALE: 1\"/>



STONE CONSTRUCTION ENTRANCE

SITE MAP

PART OF LOT 3, AND ALL OF LOTS 4 AND 5, ORIGINAL PLAT OF MADISON, AS RECORDED IN VOLUME A OF PLATS, ON PAGE 3, AS DOCUMENT NUMBER 102, DANE COUNTY REGISTRY, ALSO LOCATED IN THE SOUTHWEST QUARTER (¼) OF SECTION 13, TOWNSHIP 07 NORTH, RANGE 09 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN

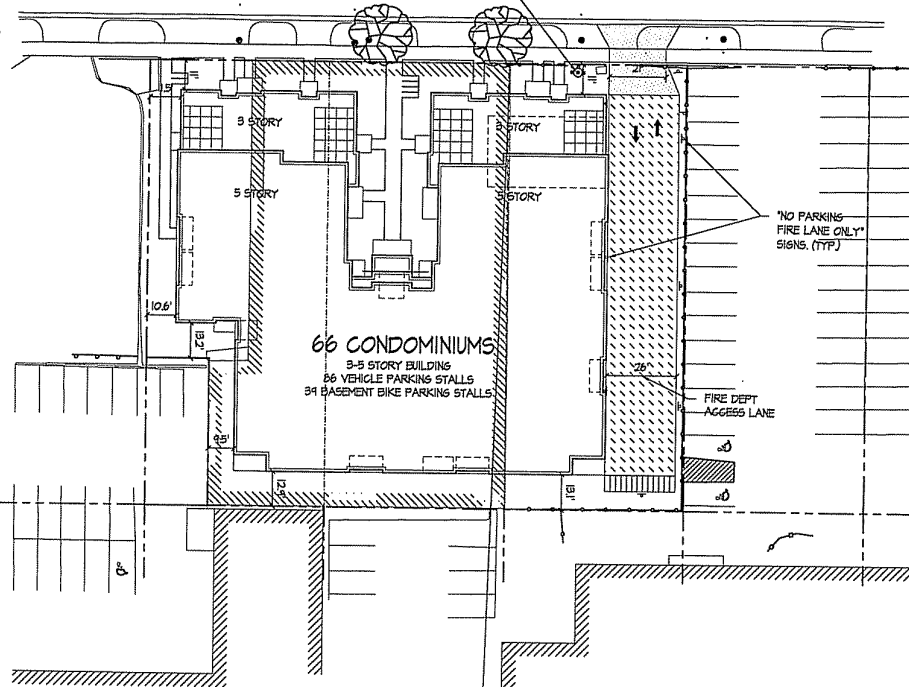
SCALE 1" = 20' - 0"



EXT'G FIRE HYDRANT

EAST MIFFLIN STREET

PROP. FIRE HYDRANT



"NO PARKING
FIRE LANE ONLY"
SIGNS (TYP)

FIRE DEPT
ACCESS LANE

66 CONDOMINIUMS
3-5 STORY BUILDING
66 VEHICLE PARKING STALLS
34 BASEMENT BIKE PARKING STALLS

Date: November 02, 2005
Paper Space Plot View: Plot
R:\VISTA\Y05\y05way F1514.dwg

F1514
SHEET 1 OF 1

Revisions
ISSUED - DEC. 18, 2005
Neighborhood Meeting - March 01, 2006
Issued - April 3, 2006
Plan Commission Submittal-April 12, 2006

Project Title
The Colony

625 E. Mifflin Street
Drawing Title
Fire Department
Access Plan
Project No. Drawing No.
0548 C-1.2

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REAR ELEVATION
1/8" = 1'-0"

Revisions
Plan Commission Submittal - April 12, 2006

Project Title
The Colony

625 E. Mifflin Street
Drawing Title
Elevation

Project No. Drawing No.
0548 A-2.2

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