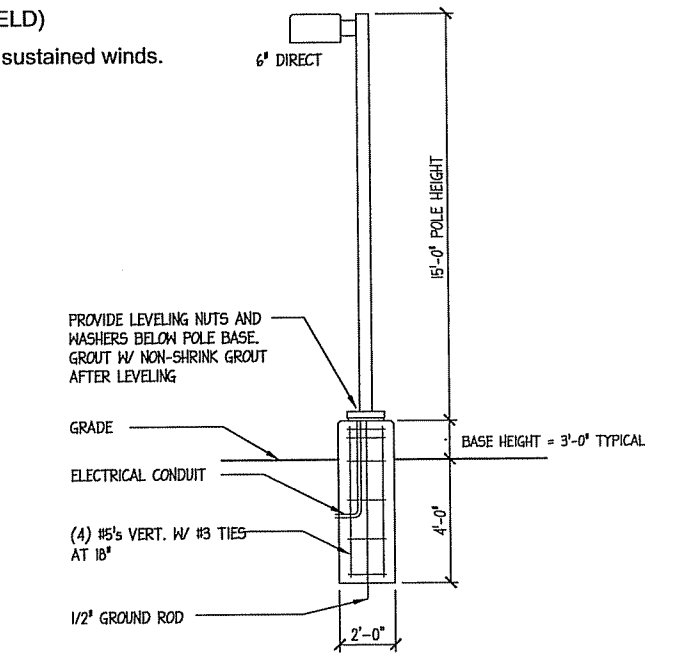


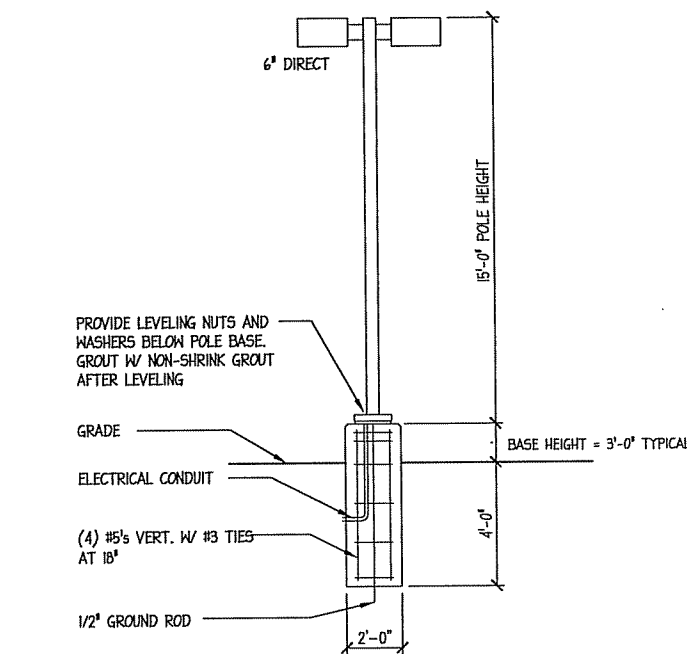
| Luminaire Schedule | | | | | | | |
|--------------------|-----|-------|--------------|-------------|-------|-------------|--|
| Symbol | Qty | Label | Arrangement | Lumens/Lamp | LLF | Total Watts | Description |
| | | C | SINGLE | 8100 | 0.650 | 762 | MPR2410-M 100W PSMH w/ BACK LIGHT SHIELD MH-20 |
| | | B | SINGLE | 3100 | 0.650 | 136 | E8405-M 50W PSMH MH-8 |
| | | C2 | BACK-TO-BACK | 8100 | 0.650 | 508 | MPR2410-M 100W PSMH w/ BACK LIGHT SHIELD MH-20 |

| Calculation Summary | | | | | | |
|---------------------|-----|-----|-----|---------|---------|--|
| Label | Avg | Max | Min | Avg/Min | Max/Min | |
| CalcPts | | | | | | |
| Parking Lot | | | | | | |

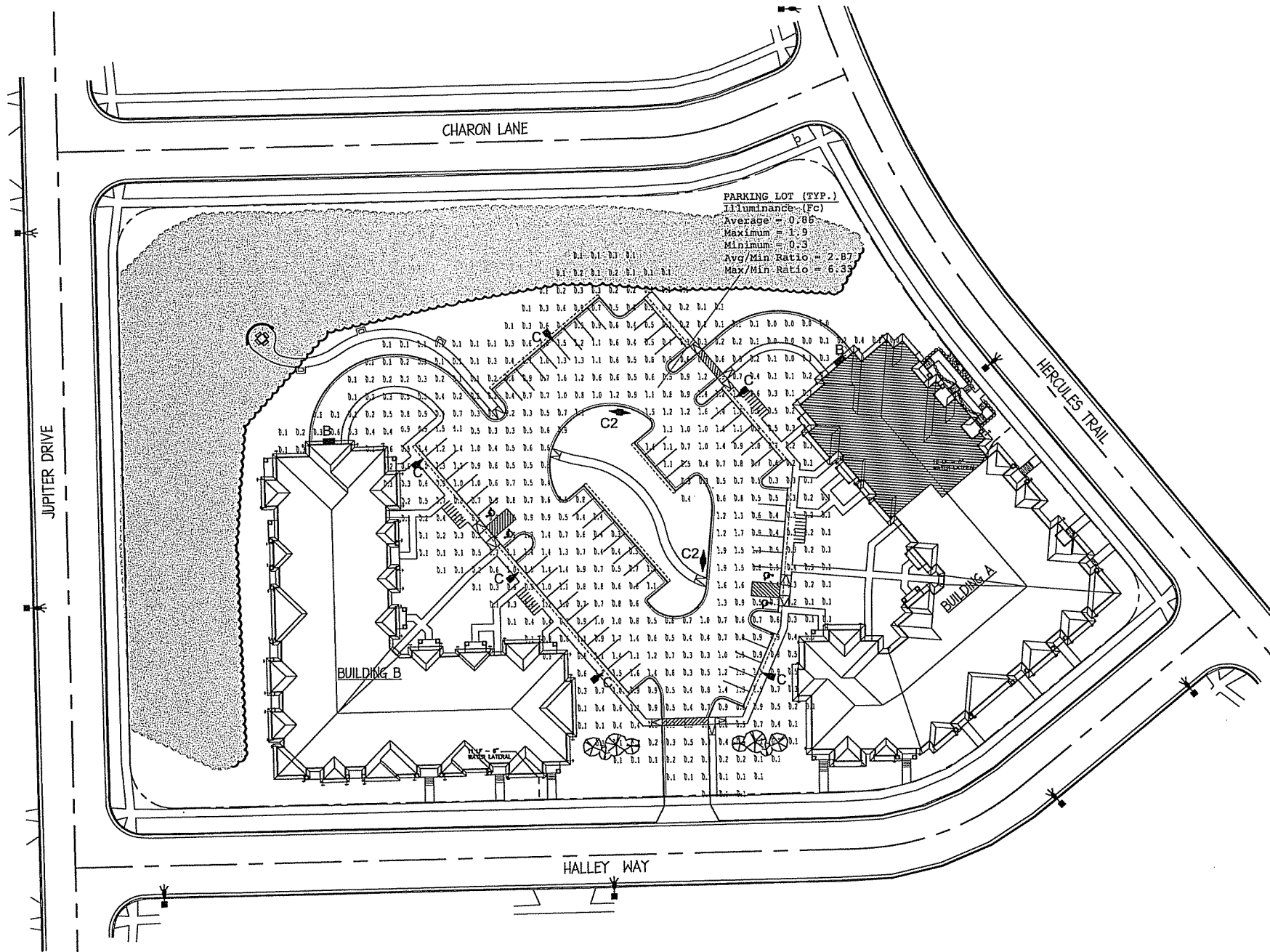
- Pole Schedule**
- (6) PS4S17C1BZ (17' X 4" STEEL SQUARE POLE)
 - (2) PS4S17C2BZ (17' X 4" STEEL SQUARE POLE 2@180)
 - (10) SBL-12 (BACKLIGHT SHIELD)
- Proposed poles meet 140 MPH sustained winds.



1 LIGHT POLE BASE
C-1.2



2 LIGHT POLE BASE
C-1.2



Site Lighting Plan
SCALE - 1" = 30' (1" = 60' @ 11x17)

0 30 60 90
SCALE: ONE INCH = FORTY FEET (24"x34")
SCALE: ONE INCH = EIGHTY FEET (11"x17")

Hercules Trail Apartments
Lots 451-454
Madison, Wisconsin

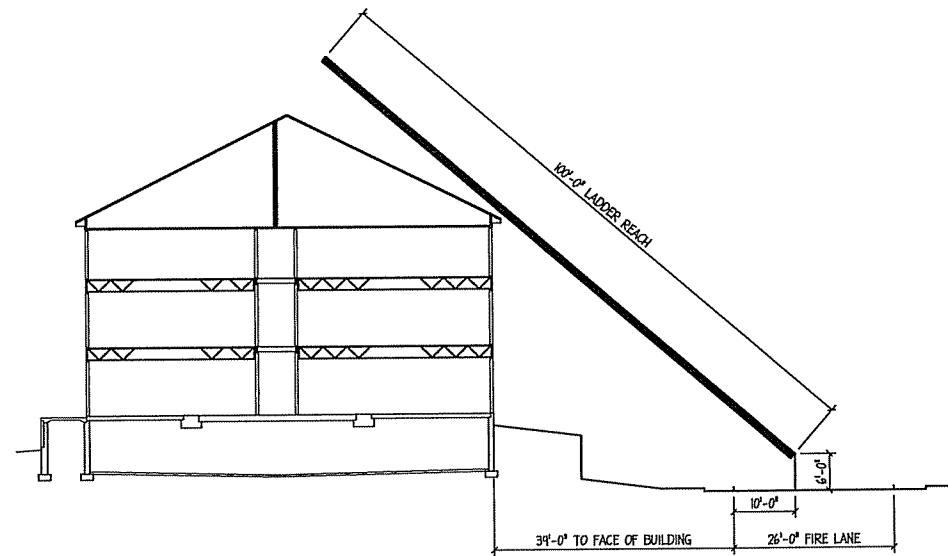
SIP Rezoning
10-03-2012

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Drawing Name
**Proposed
Fire Department
Access Plan**

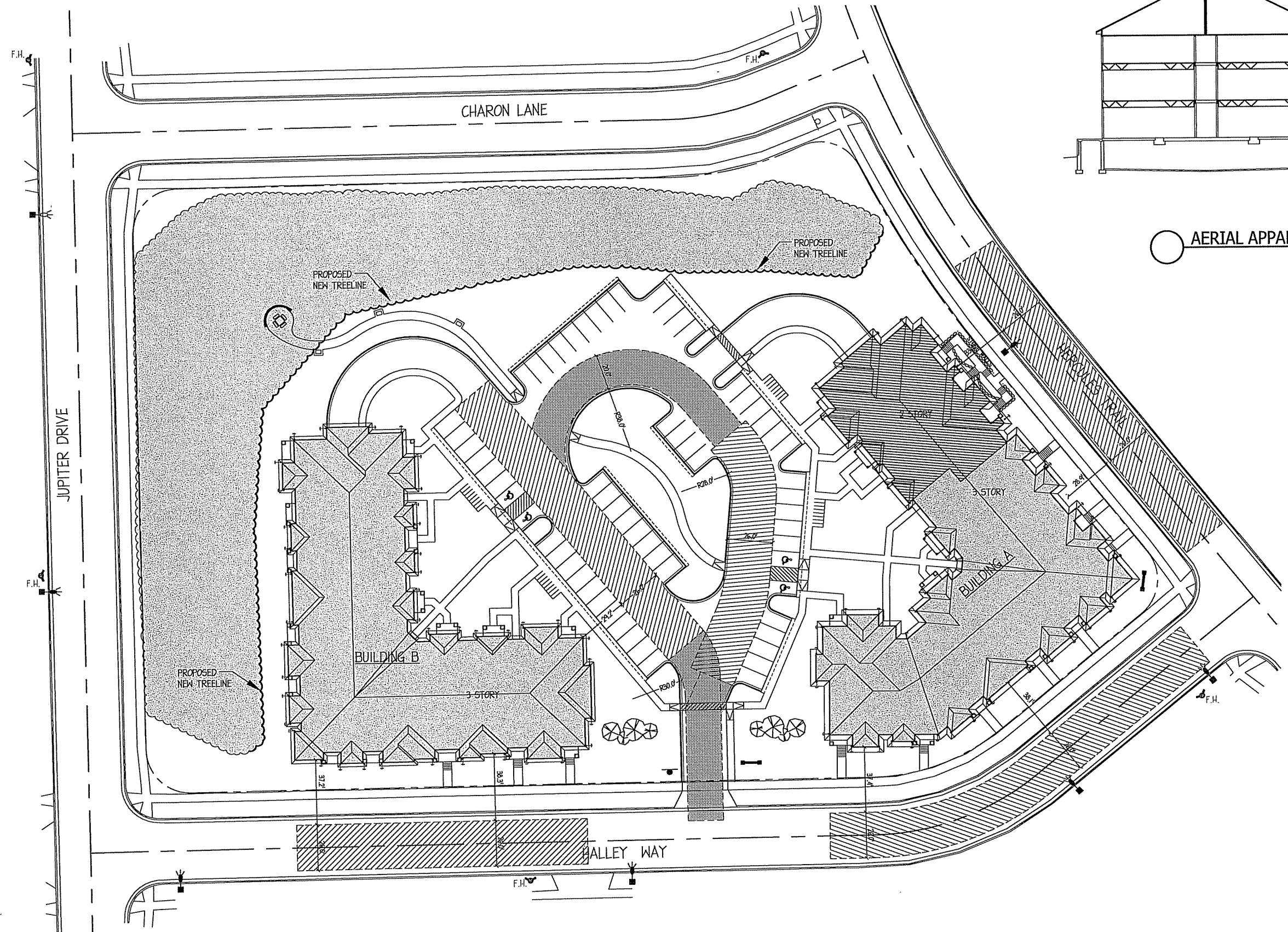
Project Number
1206

Sheet No.
C-1.3



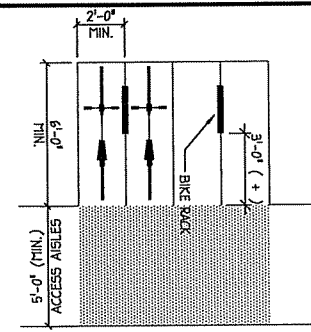
○ AERIAL APPARATUS LADDER REACH

- NOTES**
- 26' WIDE AERIAL APPARATUS FIRE LANE PARALLEL TO ONE ENTIRE SIDE OF A BUILDING AND WITHIN 30'.
 - 20' MIN. WIDE FIRE LANE.
- FIRE LANE SIGN SPECS:**
 SIZE: MINIMUM 12" WIDE BY 18" HIGH
 VERBIAGE: NO PARKING
 FIRE LANE
 TOW AWAY ZONE
- SIGNS SHALL HAVE A WHITE REFLECTIVE BACKGROUND WITH BLOCK RED LETTERS AND A RED BORDER.
- DIRECTION ARROWS MAY BE REQUIRED TO INDICATE THE SPECIFIC LOCATION, BEGINNING AND END OF THE FIRE LANE.
- HEIGHT ABOVE GRADE: THE BOTTOM OF THE SIGN SHALL BE 7 FEET ABOVE GRADE.

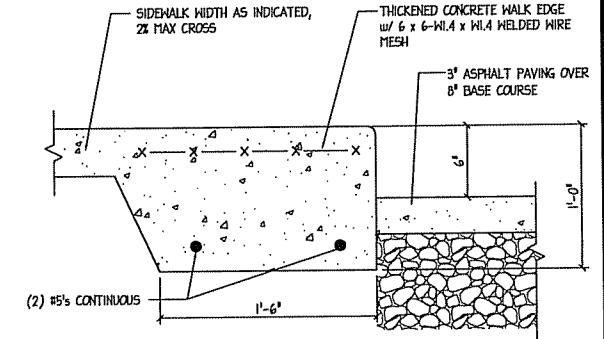


Fire Department Access Plan
 SCALE - 1" = 30' (1" = 60' @ 11x17)

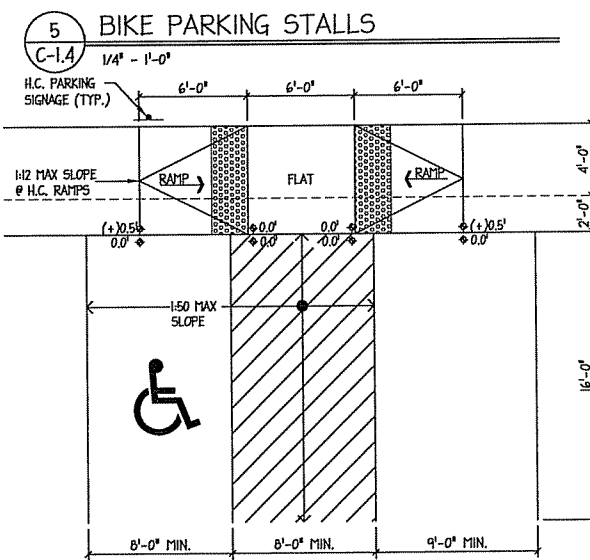
0 30 60 90
 SCALE: ONE INCH = THIRTY FEET (24"x34")
 SCALE: ONE INCH = SIXTY FEET (11"x17")



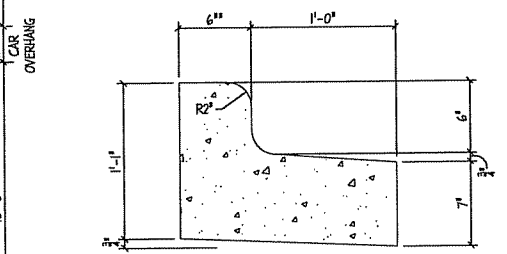
LAYOUT FOR INVERTED-U TYPE RACK INSTALLATION, TWO BICYCLES TO BE PARKED ON EACH INVERTED-U, PER CITY OF MADISON BIKE RACK REQUIREMENTS



1 SIDEWALK CURB DETAIL
C-1.4 1 1/2" - 1'-0"

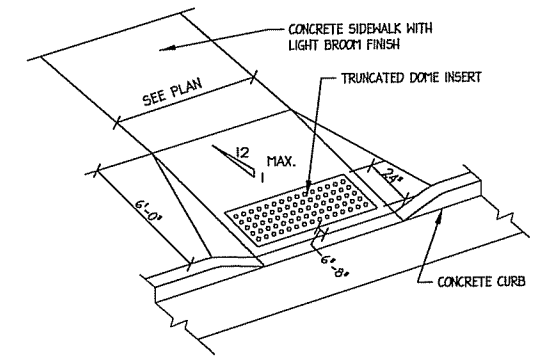


5 BIKE PARKING STALLS
C-1.4 1/4" - 1'-0"

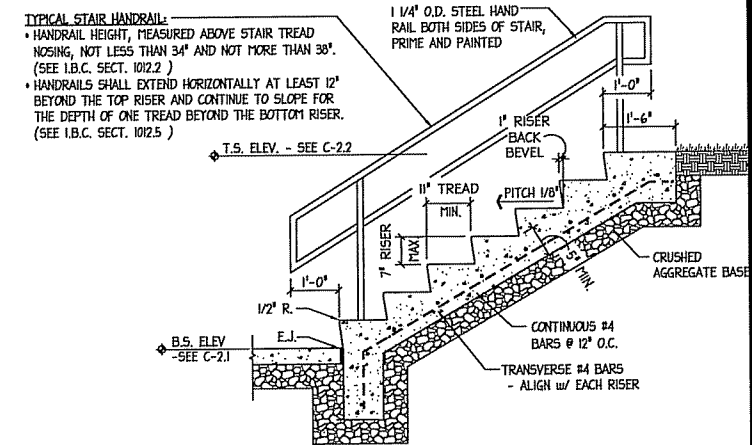


2 REJECT CURB DETAIL
C-1.4 1 1/2" - 1'-0"

6 HANDICAP ACCESS RAMP
C-1.4 3/8" - 1'-0"

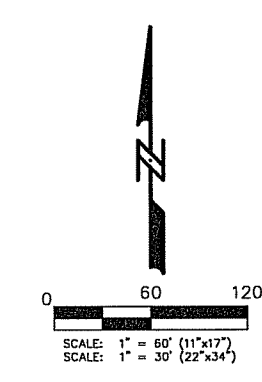
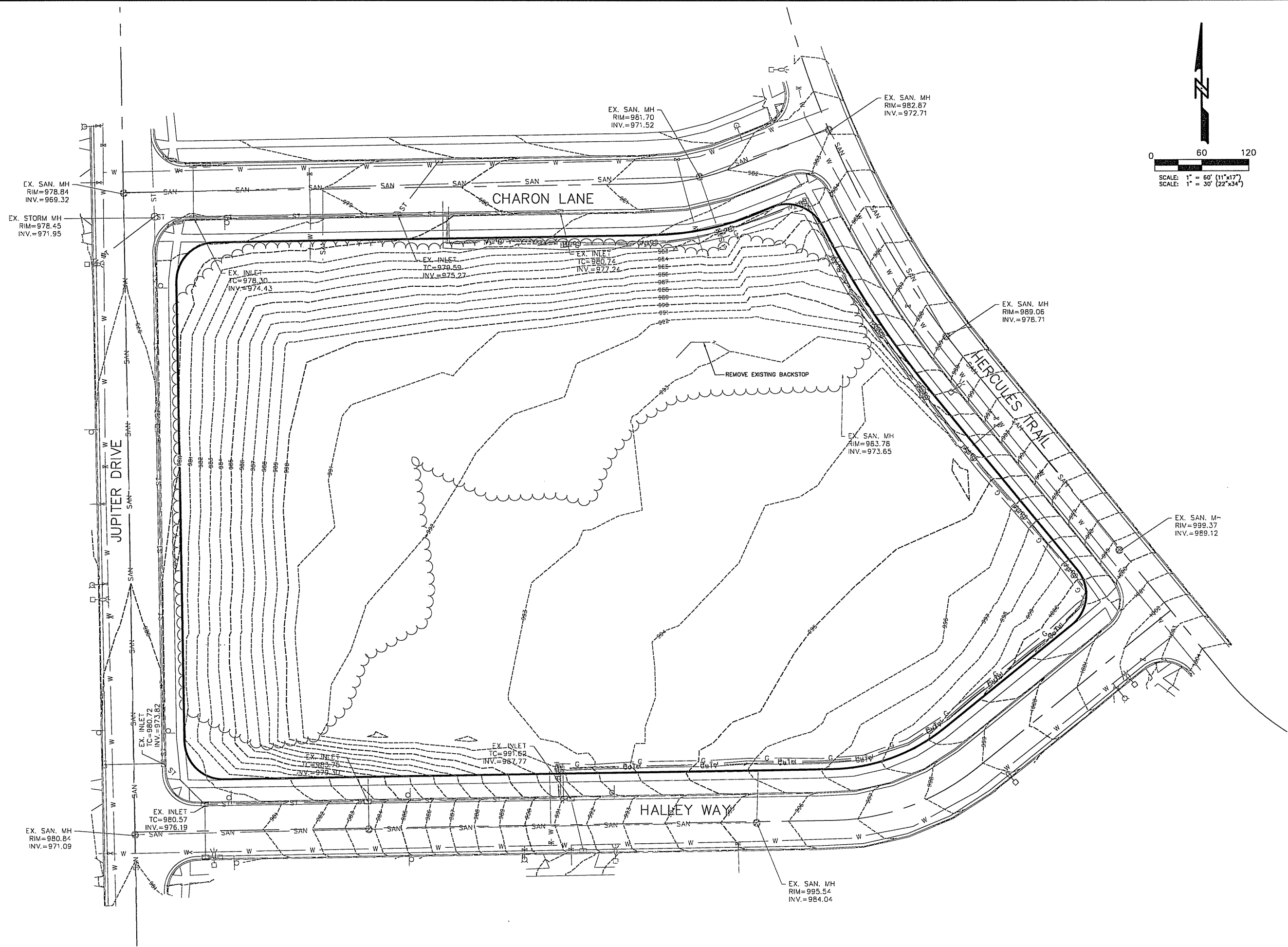


3 ACCESSIBLE SIDEWALK RAMP
C-1.4 1" - 1'-0"



TYPICAL STAIR HANDRAIL:
• HANDRAIL HEIGHT, MEASURED ABOVE STAIR TREAD NOSING, NOT LESS THAN 34" AND NOT MORE THAN 38". (SEE I.B.C. SECT. 1012.2)
• HANDRAILS SHALL EXTEND HORIZONTALLY AT LEAST 12" BEYOND THE TOP RISER AND CONTINUE TO SLOPE FOR THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER. (SEE I.B.C. SECT. 1012.5)

4 CONCRETE STAIR @ RETAINING WALL
C-1.4 1/2" - 1'-0"



| | | | |
|------------------|--------------------|---------------|-------|
| MARK | REVISION | DATE | BY |
| Engineer: L.A.O. | Checked By: XXX | Scale: 1"=30' | |
| Technician: XXX | Date: 12 SEPT 2012 | Field Bc: | |
| Project No: | 112.0652 | Sheet | C-2.0 |

HERCULES TRAIL APARTMENTS
EXISTING SITE PLAN

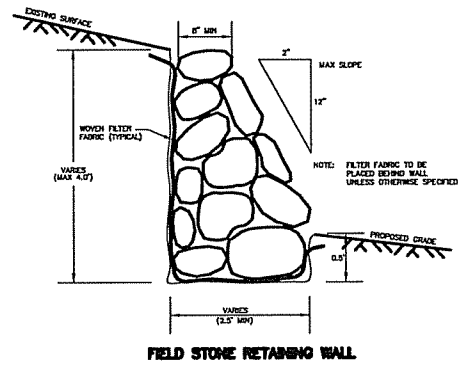
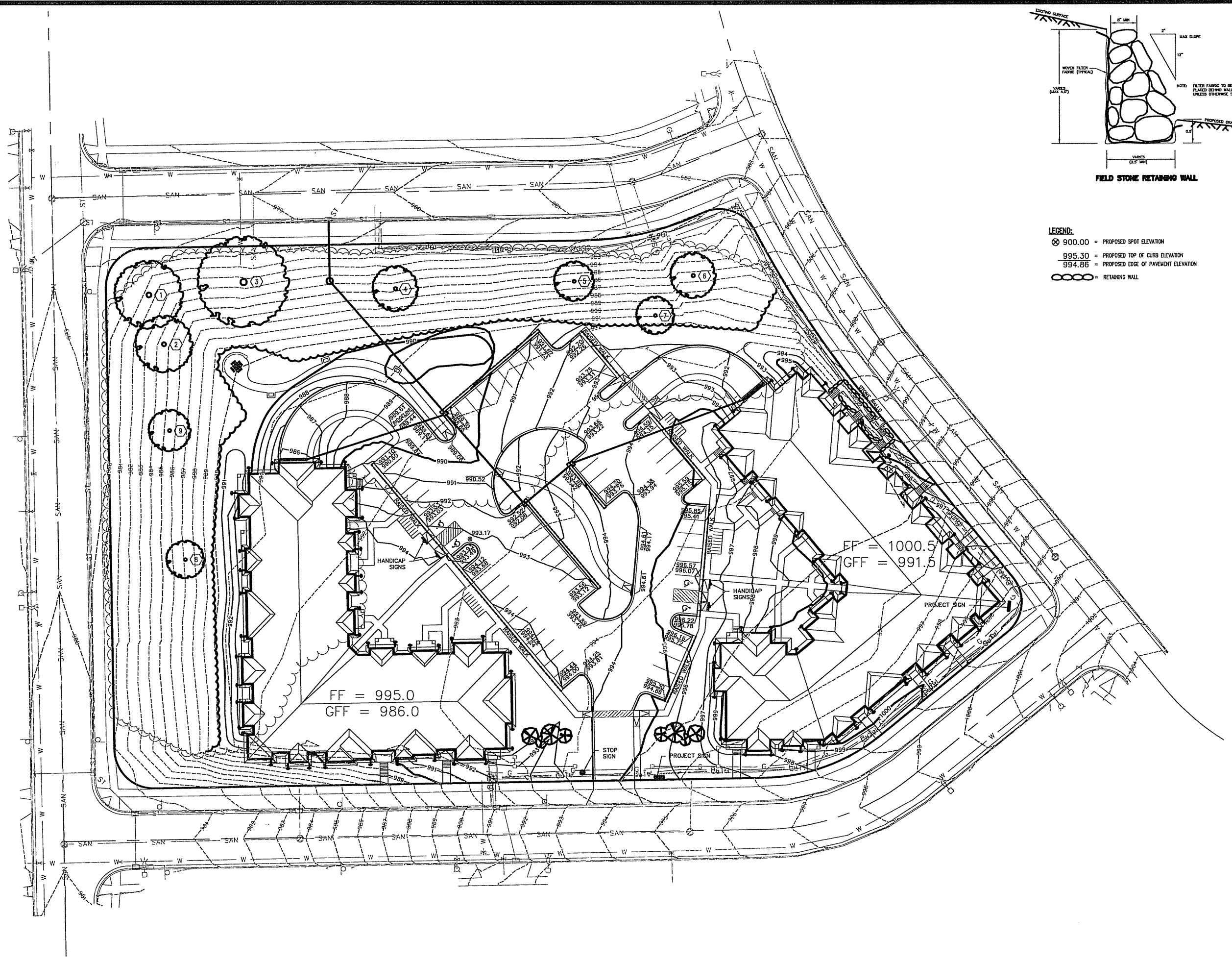
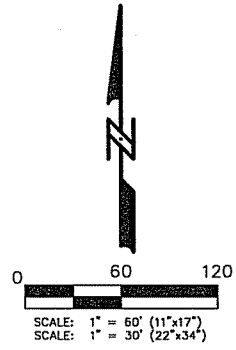
CITY OF MADISON, WI

5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com

SNYDER & ASSOCIATES, INC.

Project No: 112.0652
Sheet C-2.0

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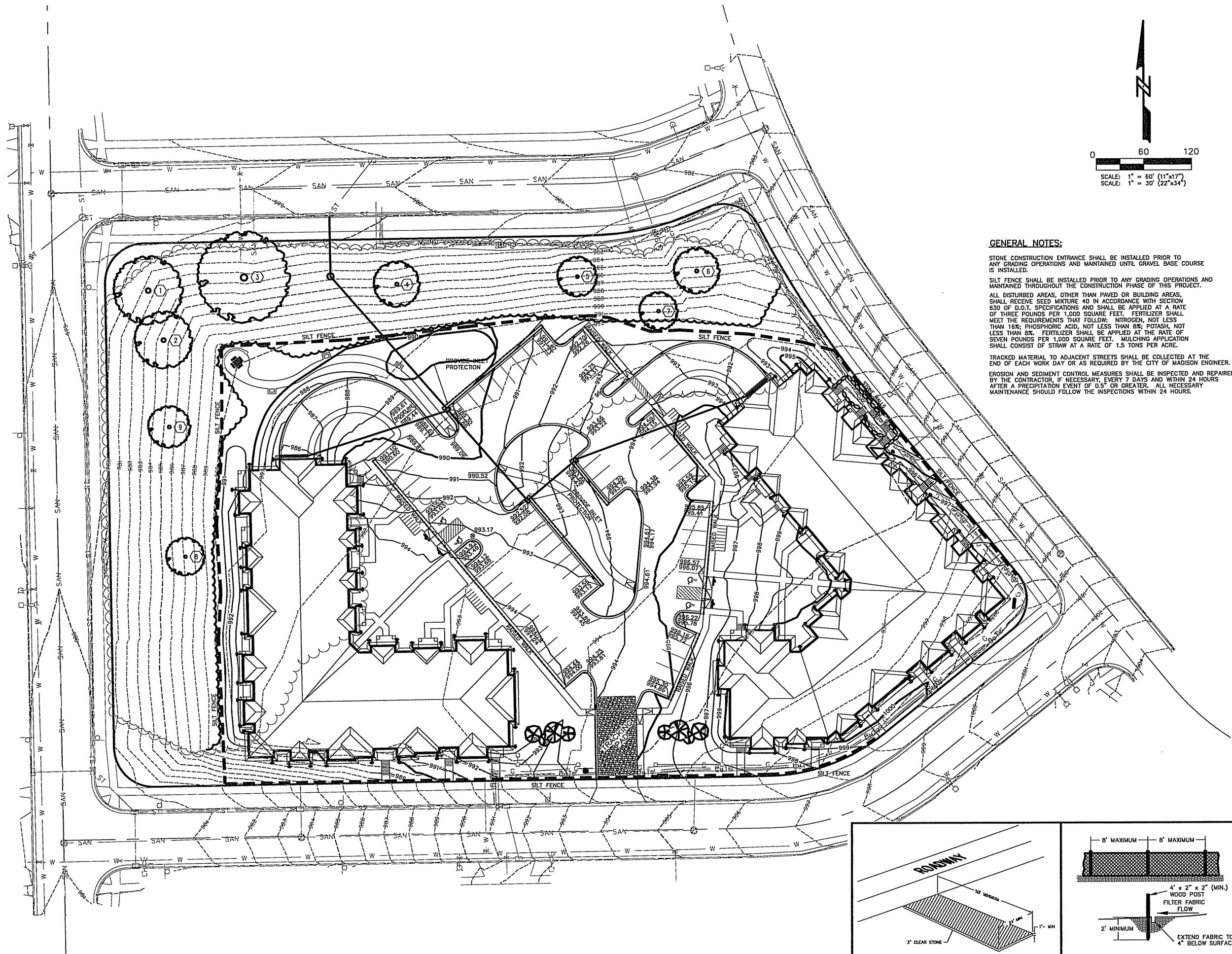
- LEGEND:**
- ⊗ 900.00 = PROPOSED SPOT ELEVATION
 - 995.30 = PROPOSED TOP OF CURB ELEVATION
 - 994.86 = PROPOSED EDGE OF PAVEMENT ELEVATION
 - ⊖ ⊖ ⊖ = RETAINING WALL

| | | | |
|----------------------|--------------------|----------------|-------------|
| MARK | REVISION | DATE | BY |
| Engineer: L.A.O. | Checked By: XXX | Scale: 1"= 30' | |
| Technician: XXX | Date: 12 SEPT 2012 | Field Bk: | Pg: |
| Project No: 112.0652 | | | Sheet C-3.0 |

HERCULES TRAIL APARTMENTS
 GRADING PLAN
 CITY OF MADISON, WI
SNYDER & ASSOCIATES, INC.
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com

Project No: 112.0652
 Sheet C-3.0

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GENERAL NOTES:

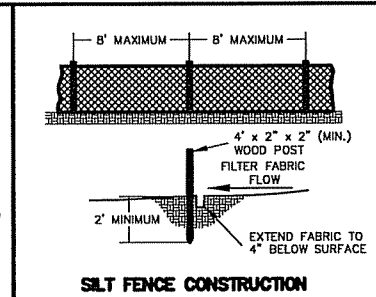
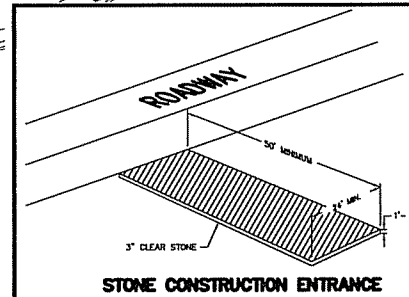
STONE CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED UNTIL GRAVEL BASE COURSE IS INSTALLED.

SILT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS AND MAINTAINED THROUGHOUT THE CONSTRUCTION PHASE OF THIS PROJECT.

ALL DISTURBED AREAS, OTHER THAN PAVED OR BUILDING AREAS, SHALL RECEIVE SEED MIXTURE 40 IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS AND SHALL BE APPLIED AT A RATE OF THREE POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL MEET THE REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%. FERTILIZER SHALL BE APPLIED AT THE RATE OF SEVEN POUNDS PER 1,000 SQUARE FEET. MULCHING APPLICATION SHALL CONSIST OF STRAW AT A RATE OF 1.5 TONS PER ACRE.

TRACKED MATERIAL TO ADJACENT STREETS SHALL BE COLLECTED AT THE END OF EACH WORK DAY OR AS REQUIRED BY THE CITY OF MADISON ENGINEER.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AND REPAIRED BY THE CONTRACTOR, IF NECESSARY, EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT OF 0.5" OR GREATER. ALL NECESSARY MAINTENANCE SHOULD FOLLOW THE INSPECTIONS WITHIN 24 HOURS.



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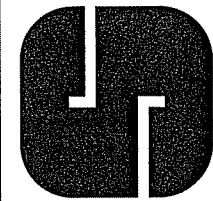
HERCULES TRAIL APARTMENTS

EROSION CONTROL PLAN

CITY OF MADISON, WI

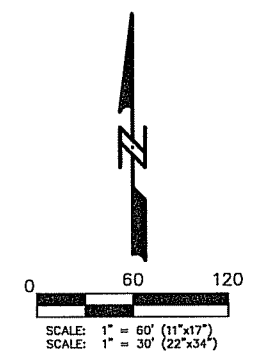
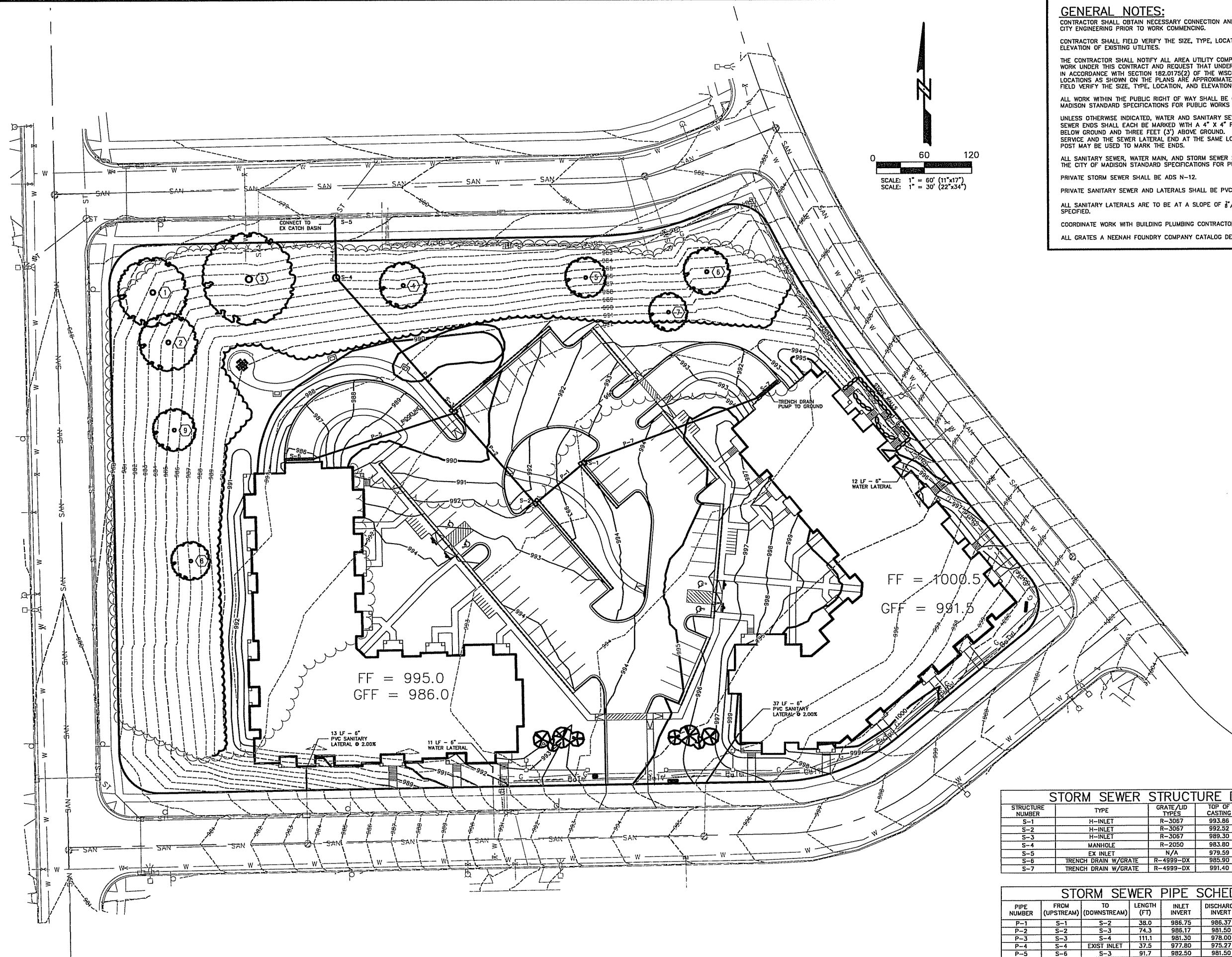
SNYDER & ASSOCIATES, INC.

5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com



Project No: 112.0652
Sheet C-4.0

| | | | |
|------------------|--------------------|-----------|-------|
| MARK | REVISION | DATE | BY |
| Engineer: L.A.O. | Checked by: XXX | 1" = 30' | |
| Technician: XXX | Date: 12 SEPT 2012 | Field Bk. | Pg. |
| Project No: | 112.0652 | Sheet | C-4.0 |



GENERAL NOTES:

CONTRACTOR SHALL OBTAIN NECESSARY CONNECTION AND EXCAVATION PERMITS FROM CITY ENGINEERING PRIOR TO WORK COMMENCING.

CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES.

THE CONTRACTOR SHALL NOTIFY ALL AREA UTILITY COMPANIES PRIOR TO COMMENCING WORK UNDER THIS CONTRACT AND REQUEST THAT UNDERGROUND UTILITIES BE LOCATED IN ACCORDANCE WITH SECTION 182.0175(2) OF THE WISCONSIN STATUTES. ANY LOCATIONS AS SHOWN ON THE PLANS ARE APPROXIMATE ONLY. CONTRACTOR SHALL FIELD VERIFY THE SIZE, TYPE, LOCATION, AND ELEVATION OF EXISTING UTILITIES.

ALL WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

UNLESS OTHERWISE INDICATED, WATER AND SANITARY SEWER LATERALS AND STORM SEWER ENDS SHALL EACH BE MARKED WITH A 4" X 4" POST EXTENDING FOUR FEET (4') BELOW GROUND AND THREE FEET (3') ABOVE GROUND. WHERE BOTH THE WATER SERVICE AND THE SEWER LATERAL END AT THE SAME LOCATION, A COMMON 4" X 4" POST MAY BE USED TO MARK THE ENDS.

ALL SANITARY SEWER, WATER MAIN, AND STORM SEWER SHALL BE CONSTRUCTED PER THE CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.

PRIVATE STORM SEWER SHALL BE ADS N-12.

PRIVATE SANITARY SEWER AND LATERALS SHALL BE PVC (ASTM D3034-SDR35).

ALL SANITARY LATERALS ARE TO BE AT A SLOPE OF 1/8" / FT UNLESS OTHERWISE SPECIFIED.

COORDINATE WORK WITH BUILDING PLUMBING CONTRACTOR(S).

ALL GRATES A NEENAH FOUNDRY COMPANY CATALOG DESIGNATIONS.

FF = 995.0
GFF = 986.0

FF = 1000.5
GFF = 991.5

STORM SEWER STRUCTURE DETAIL

| STRUCTURE NUMBER | TYPE | GRATE/LID TYPES | TOP OF CASTING | INVERT | DEPTH (FT) |
|------------------|----------------------|-----------------|----------------|--------|------------|
| S-1 | H-INLET | R-3067 | 993.86 | 986.85 | 7.01 |
| S-2 | H-INLET | R-3067 | 992.52 | 986.37 | 6.15 |
| S-3 | H-INLET | R-3067 | 989.30 | 981.50 | 7.80 |
| S-4 | MANHOLE | R-2050 | 983.80 | 978.00 | 5.80 |
| S-5 | EX INLET | N/A | 979.59 | 975.27 | 4.32 |
| S-6 | TRENCH DRAIN W/GRATE | R-4999-DX | 985.90 | 982.50 | 3.40 |
| S-7 | TRENCH DRAIN W/GRATE | R-4999-DX | 991.40 | 988.00 | 3.40 |

STORM SEWER PIPE SCHEDULE

| PIPE NUMBER | FROM (UPSTREAM) | TO (DOWNSTREAM) | LENGTH (FT) | INLET INVERT | DISCHARGE INVERT | SLOPE (%) | DIAMETER OF PIPE (IN) |
|-------------|-----------------|-----------------|-------------|--------------|------------------|-----------|-----------------------|
| P-1 | S-1 | S-2 | 38.0 | 986.75 | 986.37 | 1.00 | 12 |
| P-2 | S-2 | S-3 | 74.3 | 985.17 | 961.50 | 6.28 | 12 |
| P-3 | S-3 | S-4 | 111.1 | 981.30 | 978.00 | 2.97 | 18 |
| P-4 | S-4 | EXIST INLET | 37.5 | 977.80 | 975.27 | 6.75 | 18 |
| P-5 | S-6 | S-3 | 91.7 | 982.50 | 981.50 | 1.09 | 12 |
| P-6 | S-7 | S-1 | 115.0 | 988.00 | 986.85 | 1.00 | 12 |

| | | | | | |
|----------------------|--------------------|----------------|-----|--|-------------|
| | | | | | |
| MARK | REVISION | DATE | BY | | |
| Engineer: L.A.O. | Checked By: XXX | Scale: 1"= 30' | | | |
| Technician: XXX | Date: 12 SEPT 2012 | Field Bk: | Pg: | | |
| Project No: 112.0652 | | | | | Sheet C-5.0 |

| | |
|---|---|
| <p>HERCULES TRAIL APARTMENTS</p> <p>UTILITY PLAN</p> | <p>CITY OF MADISON, WI</p> <p>5010 VOGES ROAD MADISON, WISCONSIN 53718 608-838-0444 www.snyder-associates.com</p> |
|---|---|

SNYDER & ASSOCIATES, INC.

| | |
|----------------------|-------------|
| Project No: 112.0652 | Sheet C-5.0 |
|----------------------|-------------|

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X:\Projects\112.0652.30\Drawings\112.0652.30.dwg
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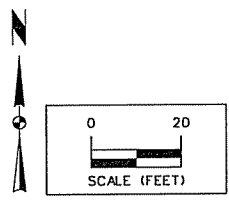
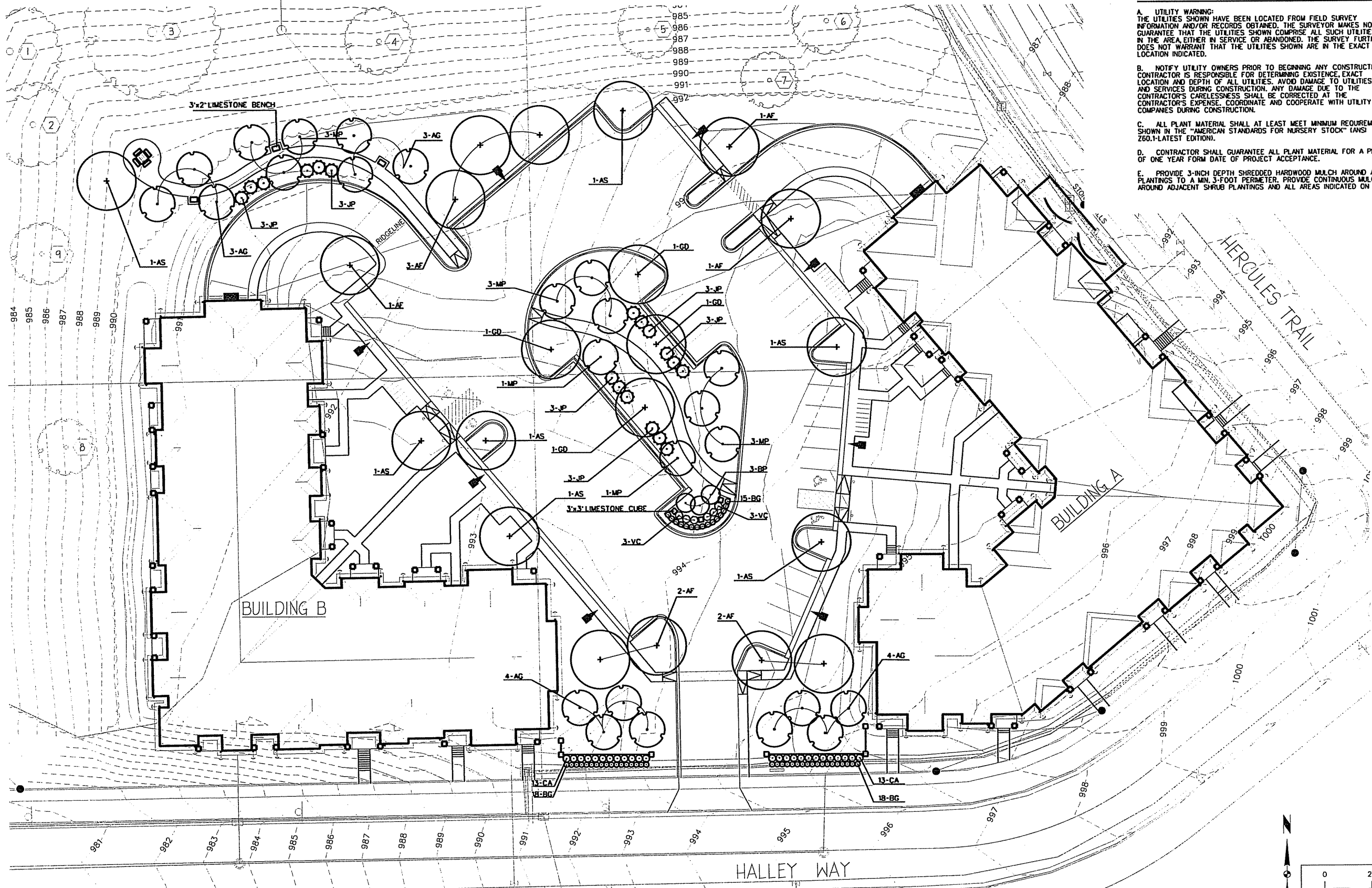
11/17/2014 10:53:11 AM

11/17/2014 10:53:11 AM

11/17/2014 10:53:11 AM

PLANTING PLAN GENERAL NOTES

- A. UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- B. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
- C. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
- D. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF PROJECT ACCEPTANCE.
- E. PROVIDE 3-INCH DEPTH SHREDDERED HARDWOOD MULCH AROUND ALL PLANTINGS TO A MIN. 3-FOOT PERIMETER. PROVIDE CONTINUOUS MULCH BEDS AROUND ADJACENT SHRUB PLANTINGS AND ALL AREAS INDICATED ON THE PLAN.



PLANT SCHEDULE

| KEY: | BOTANICAL NAME | COMMON NAME | SIZE | COMMENTS |
|------|---|---------------------------------|---------|-----------------|
| AF | Acer x freemanii 'Mormo' | MORMO MAPLE | 2" | B&B |
| AS | Acer x saccharum 'Autumn Fest' | AUTUMN FEST MAPLE | 2" | B&B |
| GD | Gymnocodium dioicas | KENTUCKY COFFEE TREE 'ESPRESSO' | 2" | B&B, SEEDLESS |
| AG | Amelanchier x grandiflora 'Autumn Brilliance' | AUTUMN BRILLIANCE SERVICEBERRY | 6" HT. | B&B, MULTI-STEM |
| JP | Juniperus x pfitzeriana 'Sea Green' | SEA GREEN JUNIPER | 24" HT. | B&B, COLUMNAR |
| MP | Morus 'Prunifera' | PRAIRIE CRABAPPLE | 6" HT. | B&B |
| BC | Buxus 'Green Velvet' | GREEN VELVET BOXWOOD | 24" HT. | CONT. (2' O.C.) |
| CA | Ceanothus americanus | NEW JERSEY TEA | 24" HT. | CONT. (3' O.C.) |
| JP | Juniperus x pfitzeriana 'Sea Green' | SEA GREEN JUNIPER | 24" HT. | CONT. (5' O.C.) |
| VC | Viburnum carlesii 'Compactum' | COMPACT KOREAN SPICE VIBURNUM | 24" HT. | CONT. (3' O.C.) |

HERCULES TRAIL APARTMENTS

PROPOSED LANDSCAPE PLAN

CITY OF MADISON, WI

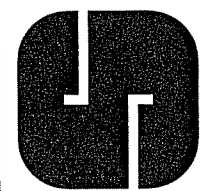
SNYDER & ASSOCIATES, INC.

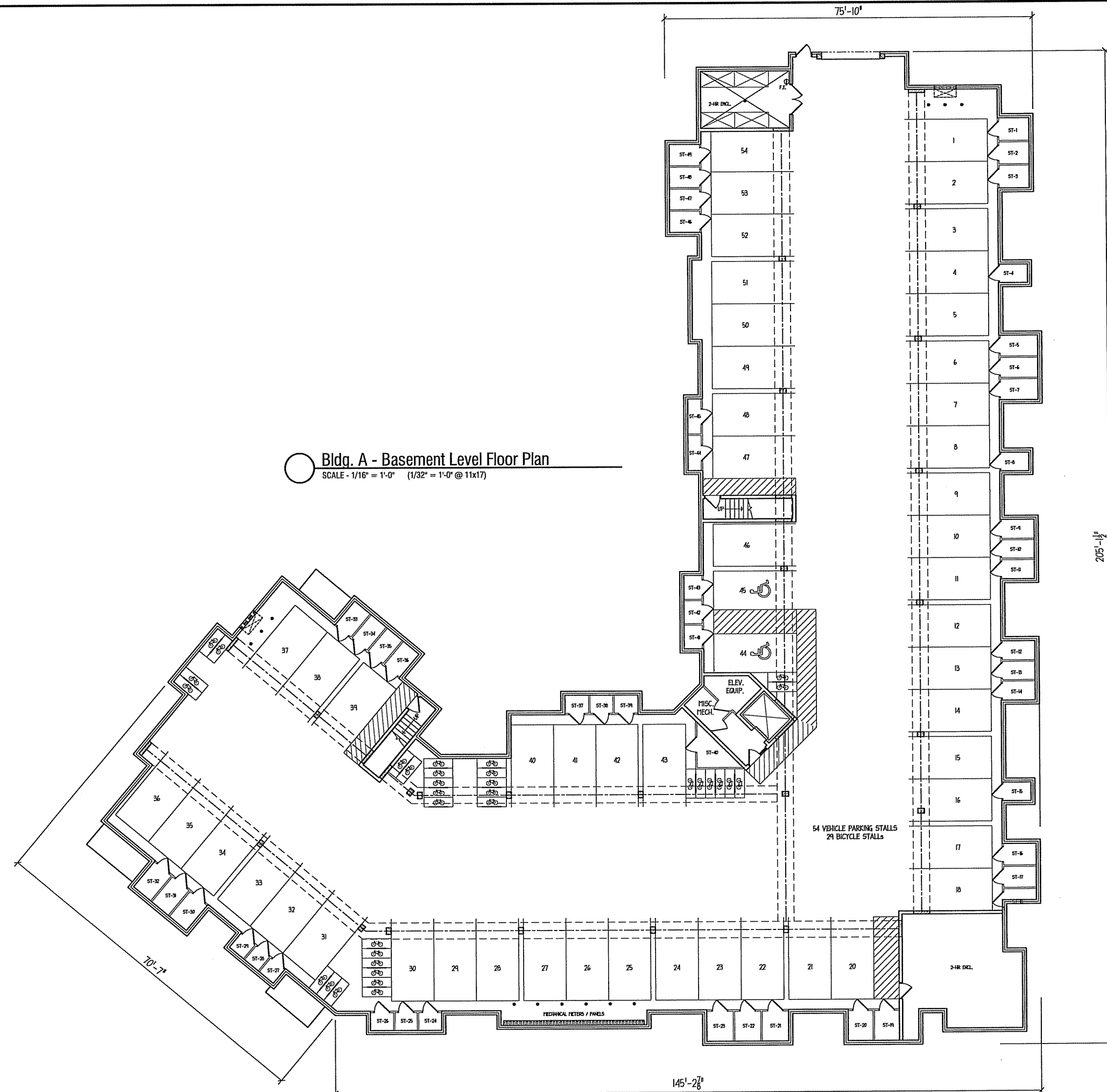
Project No: 112.065.30

Sheet 1-11

5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444/www.snyder-associates.com

DATE: 11-20-14
SCALE: 1"=20'
REVISION: DPM
CHECKED BY: DPM
DATE: 10-01-12
FIELD BY: DPM
PROJECT NO: 112.0652.30
SHEET: L-11





Bldg. A - Basement Level Floor Plan
SCALE - 1/16" = 1'-0" (1/32" = 1'-0" @ 11x17)

**Hercules Trail Apartments
Lots 451-454
Madison, Wisconsin**

SIP Rezoning
10-03-2012

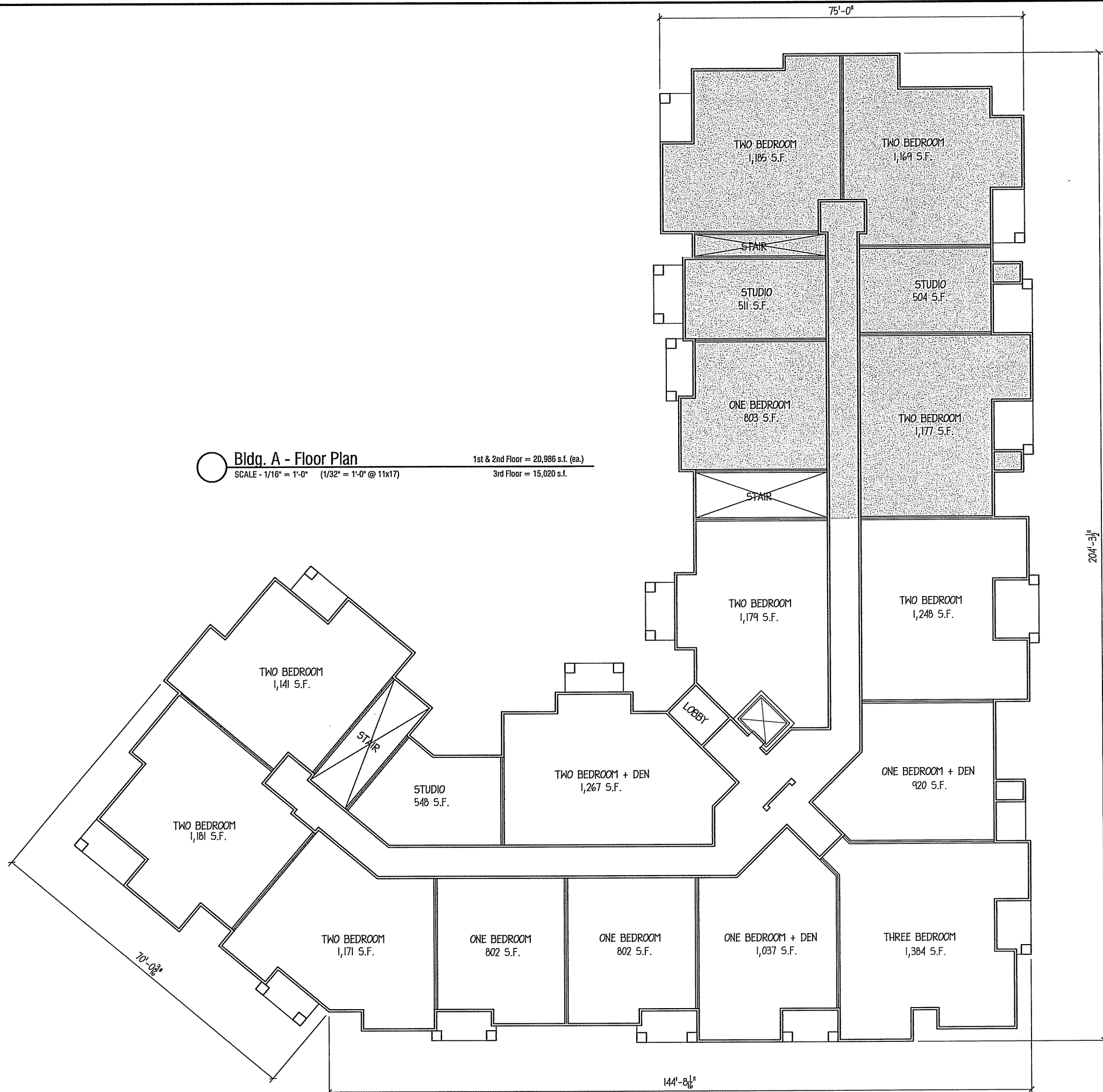
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Drawing Name

**Bldg. A
Floor Plan**

Project Number
1206

Sheet No.
2



TYPICAL MATERIALS

30 YEAR ARCHITECTURAL GRADE SHINGLES

ALUMINUM FASCIA & SOFFIT

COMPOSITE FRIEZE BOARD

COMPOSITE CORNER TRIM, BANDS, & HIDDEN TRIM

COMPOSITE TRIM & PANELS

HORIZONTAL SIDING

VINYL WINDOWS & PATIO DOORS

PRECAST CONCRETE CAP

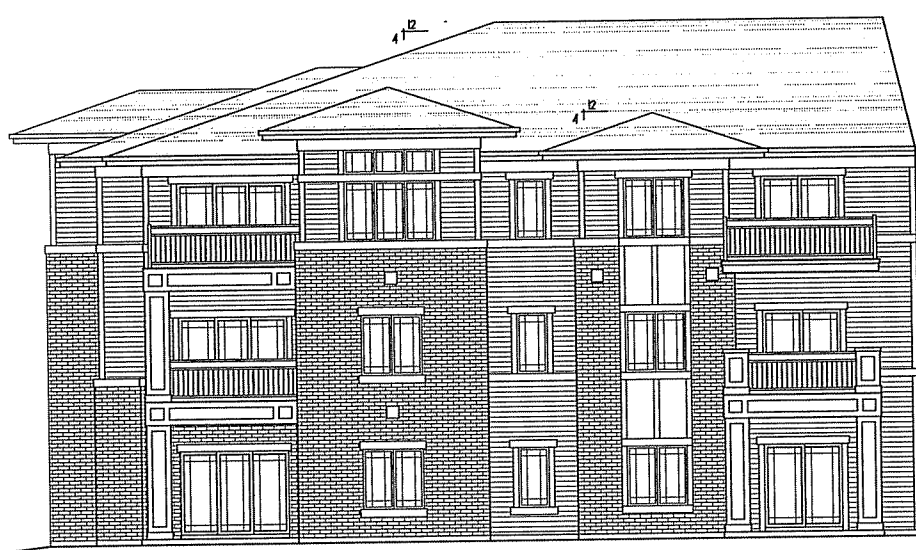
BRICK VENEER



BUILDING A - NORTH ELEVATION (HERCULES TRAIL)
SCALE - 1/8" = 1'-0"



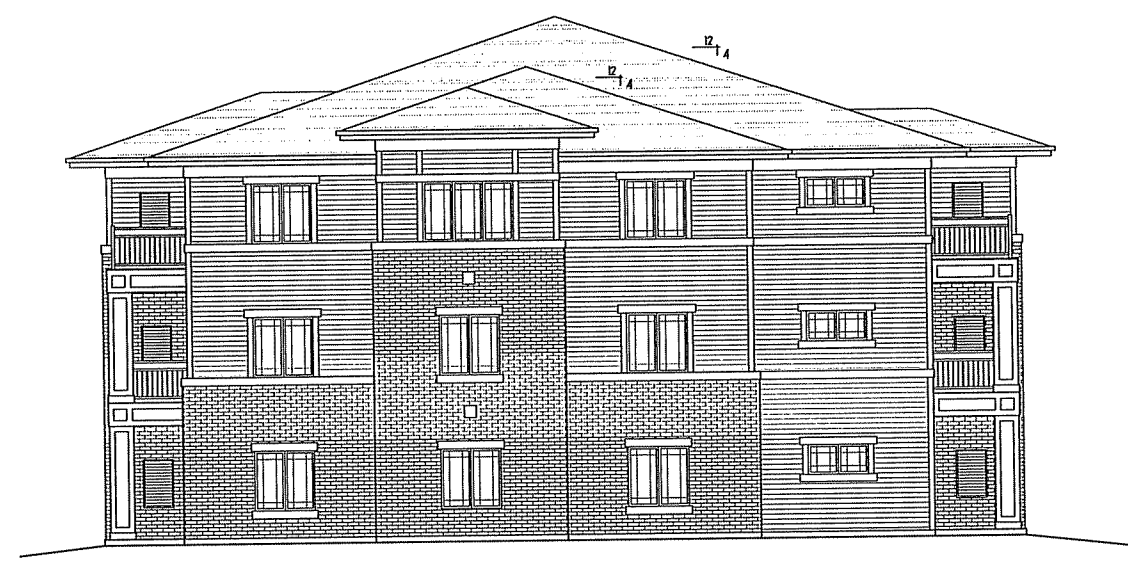
BUILDING A - NORTHWEST ELEVATION
SCALE - 1/8" = 1'-0"



BUILDING A - SOUTH ELEVATION (HALLEY WAY)
SCALE - 1/8" = 1'-0"



BUILDING A - SOUTHEAST ELEVATION (HALLEY WAY)
SCALE - 1/8" = 1'-0"



BUILDING A - WEST ELEVATION
SCALE - 1/8" = 1'-0"

Hercules Trail Apartments
Lots 451-454
Madison, Wisconsin

SIP Rezoning
10-03-2012

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Drawing Name
Bldg A - Elevation

| | |
|-------------------------------|-----------------------|
| Project Number 1206 | Sheet No. 4 |
|-------------------------------|-----------------------|



○ BUILDING A - INSIDE SOUTHWEST ELEVATION
SCALE - 1/8" = 1'-0"

○ BUILDING A - INSIDE SOUTHWEST ELEVATION
SCALE - 1/8" = 1'-0"



○ BUILDING A - INSIDE NORTH ELEVATION
SCALE - 1/8" = 1'-0"

Hercules Trail Apartments
Lots 451-454
Madison, Wisconsin

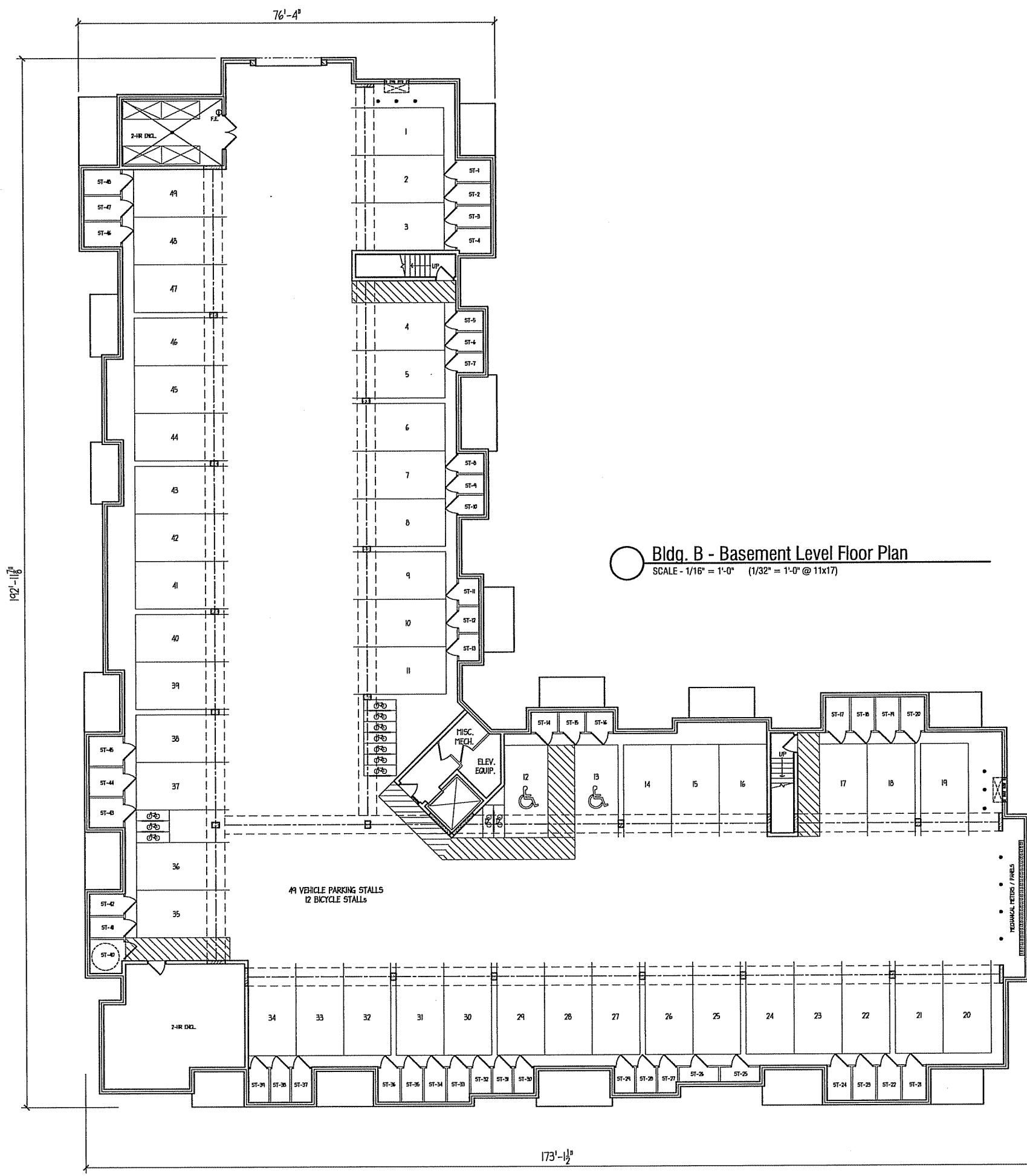
SIP Rezoning
10-03-2012

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Drawing Name
Bldg A - Elevation

Project Number
1206

Sheet No.
5



Bldg. B - Basement Level Floor Plan
 SCALE - 1/16" = 1'-0" (1/32" = 1'-0" @ 11x17)



Bldg. B - Basement Level Floor Plan
 SCALE - 1/16" = 1'-0" (1/32" = 1'-0" @ 11x17)

1st, 2nd, & 3rd Floor = 19,215 s.f. (ea.)

192'-7"

75'-6"

172'-3 1/2"

Hercules Trail Apartments
Lots 451-454
Madison, Wisconsin

SIP Rezoning
 10-03-2012

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Drawing Name
Bldg. B
Floor Plans

Project Number
1206

Sheet No.
7

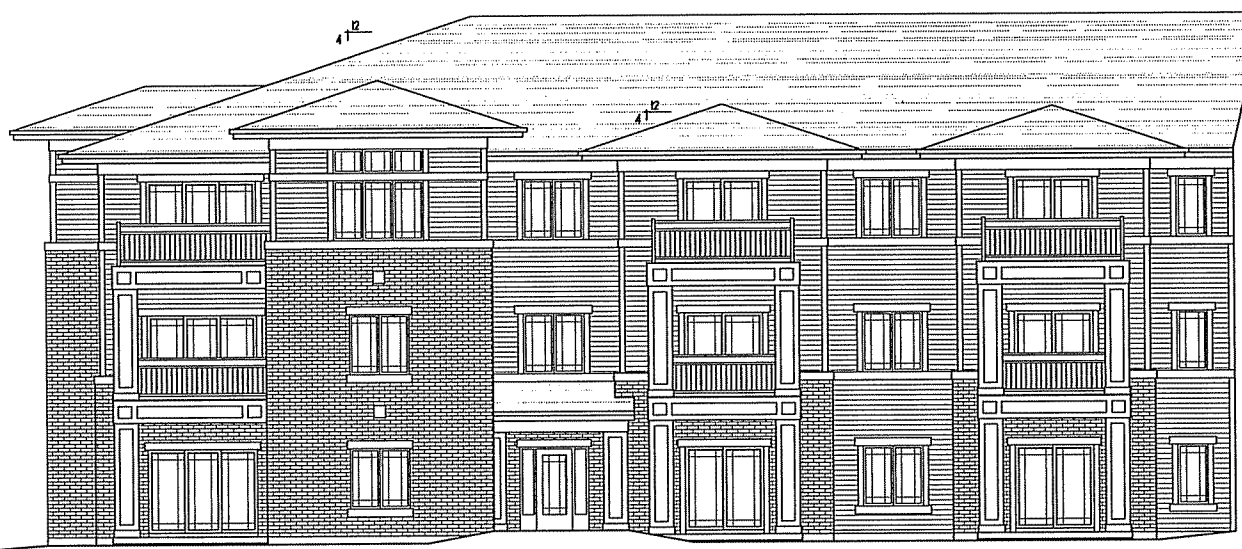
- 30 YEAR ARCHITECTURAL GRADE SHINGLES
- ALUMINUM FASCIA & SOFFIT
- COMPOSITE FRIEZE BOARD
- COMPOSITE CORNER TRIM, BANES, & HIDDEN TRIM
- COMPOSITE TRIM & PANELS
- HORIZONTAL SIDING
- VINYL WINDOWS & PATIO DOORS
- PRECAST CONCRETE CAP
- BRICK VENEER



BUILDING B - SOUTH ELEVATION (HALLEY WAY)
SCALE - 1/8" = 1'-0"



BUILDING B - WEST ELEVATION (JUPITER DRIVE)
SCALE - 1/8" = 1'-0"



○ BUILDING B - INSIDE NORTH ELEVATION
SCALE - 1/8" = 1'-0"



○ BUILDING B - INSIDE EAST ELEVATION
SCALE - 1/8" = 1'-0"



○ BUILDING B- END ELEVATION
SCALE - 1/8" = 1'-0"