

Consultant

Notes

- A SIDE WALK WITH A FITCH GREATER THAN 1:20 IS A RAMP. THE MAXIMUM FITCH OF ANY RAMP OR WALK SHALL BE 1:12. RAMPS OVERCOMING MORE THAN 6" CHANGE IN ELEVATION TO HAVE HANDRAILS ON BOTH SIDES.
- ALL DRIVEWAYS, CURB ADJACENT TO DRIVEWAYS, AND SIDEWALK CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLETED IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION BY A CONTRACTOR CURRENTLY LICENSED BY THE CITY.
- ALL NEW DRIVES TO BE CONSTRUCTED WITH CLASS III APPROACHES IN ACCORDANCE WITH MADISON GENERAL ORDINANCE SECTION 10.02(4)
- ALL TRASH AND RECYCLING TO BE COLLECTED IN TRASH ROOMS IN THE BUILDING BASEMENTS OR IN PRIVATE GARAGES.
- SEE SITE GRADING AND UTILITY PLANS FOR ADDITIONAL INFORMATION.
- BIKE STALLS TO BE IN ACCORDANCE TO MADISON GENERAL ORDINANCE 20.11 (SEE SUBSECTIONS (3)(a) AND (3)(b)(2)).
- ALL CITY SIDEWALK, CURB, AND GUTTER WHICH IS DAMAGED DURING CONSTRUCTION OR THAT THE CITY ENGINEER DETERMINES TO BE NECESSARY SHALL BE REPLACED.
- ANY DAMAGE TO STREET PAVEMENT WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY'S PATCHING CRITERIA.
- SIGNAGE APPROVALS ARE NOT GRANTED BY THE PLAN COMMISSION. SIGNAGE MUST BE APPROVED BY THE URBAN DESIGN COMMISSION OR STAFF. SIGN PERMITS MUST BE ISSUED BY THE ZONING SECTION OF THE DEPARTMENT OF PLANNING AND COMMUNITY AND ECONOMIC DEVELOPMENT PRIOR TO SIGN INSTALLATIONS.
- PUBLIC SIGNING AND MARKING RELATED TO THE DEVELOPMENT MAY BE REQUIRED BY THE CITY TRAFFIC ENGINEER FOR WHICH THE DEVELOPER SHALL BE FINANCIALLY RESPONSIBLE.
- BOTTOM EDGE OF ACCESSIBLE PARKING SIGNAGE TO BE MOUNTED 60" MIN. ABOVE THE GROUND.

Revisions

- May 11, 2011 - UDC Initial Submittal
- June 8, 2011 - Parking Lot Submittal

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C-2.1	SITE GRADING & EROSION CONTROL PLAN
L-1.1	LANDSCAPE PLAN

ARCHITECTURAL

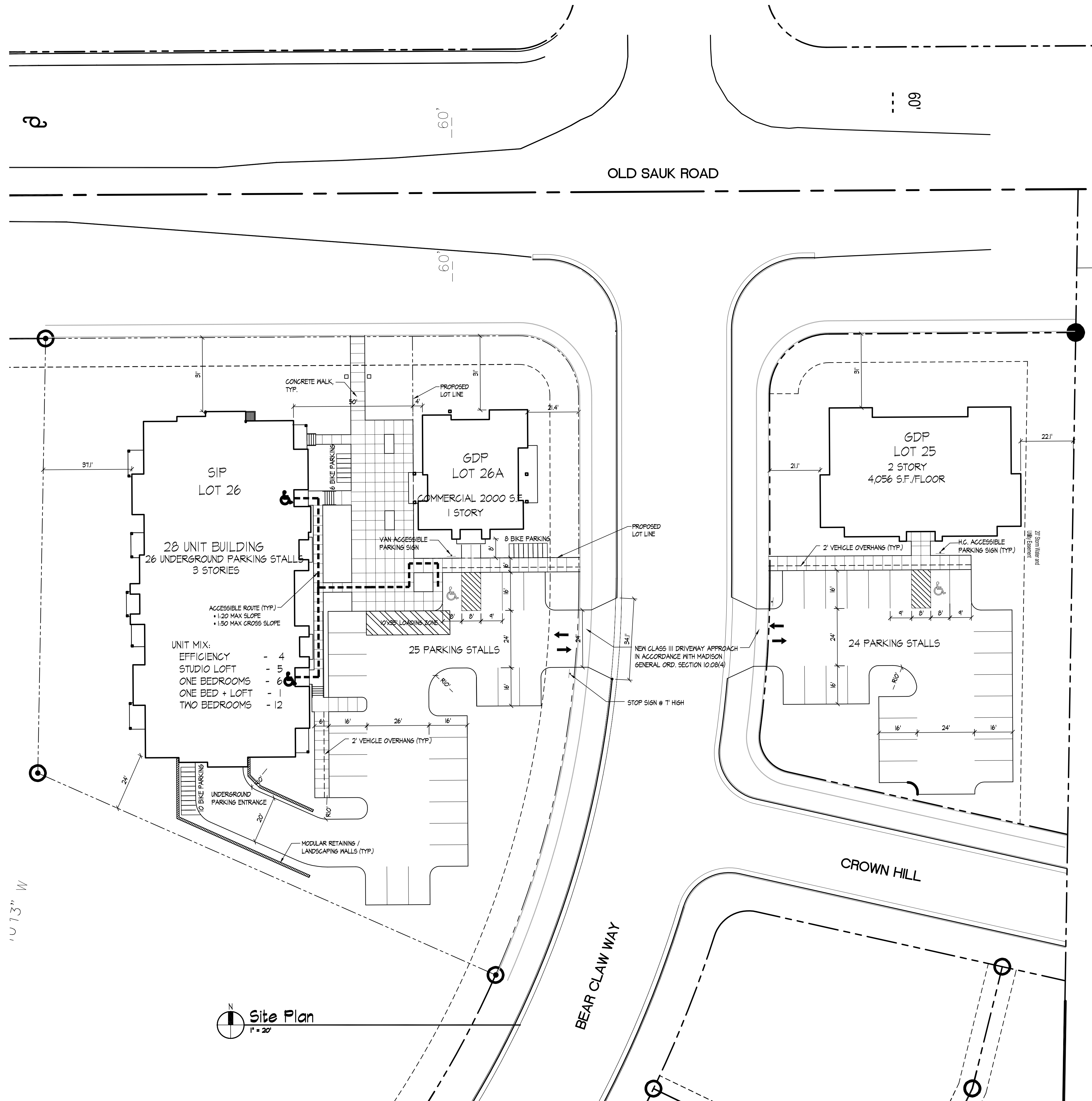
ARCHITECTURAL	
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SITE DEVELOPMENT STATISTICS - LOT 26

LOT AREA	50,093 S.F./1.15 ACRES
DWELLING UNITS	28 D.U.
LOT AREA/D.U.	1,789 S.F./D.U.
DENSITY	24 UNITS/ACRE
BUILDING HEIGHT	3 STORIES
GROSS FLOOR AREA (excluding underground parking)	31,604 S.F.
COMMERCIAL BUILDING BUILDING HEIGHT	1 STORY
GROSS FLOOR AREA	2,000 S.F.
FLOOR AREA RATIO	0.72
UNIT MIX	
EFFICIENCY	4
STUDIO W/ LOFT	5
ONE BEDROOM	6
ONE BEDROOM W/ LOFT	1
TWO BEDROOM	12
TOTAL	28
VEHICLE PARKING SURFACE	25 (INCL. 1 VAN ACCESSIBLE)
UNDERGROUND	26 (INCL. 1 ACCESSIBLE)
TOTAL	51 (INCL. 2 ACCESSIBLE)
BIKE PARKING SURFACE	24
UNDERGROUND	5
TOTAL	29 (29 REQUIRED)

SITE DEVELOPMENT STATISTICS - LOT 25

LOT AREA	24,718 S.F.
BUILDING HEIGHT	2 STORY
GROSS FLOOR AREA	8,112 S.F.



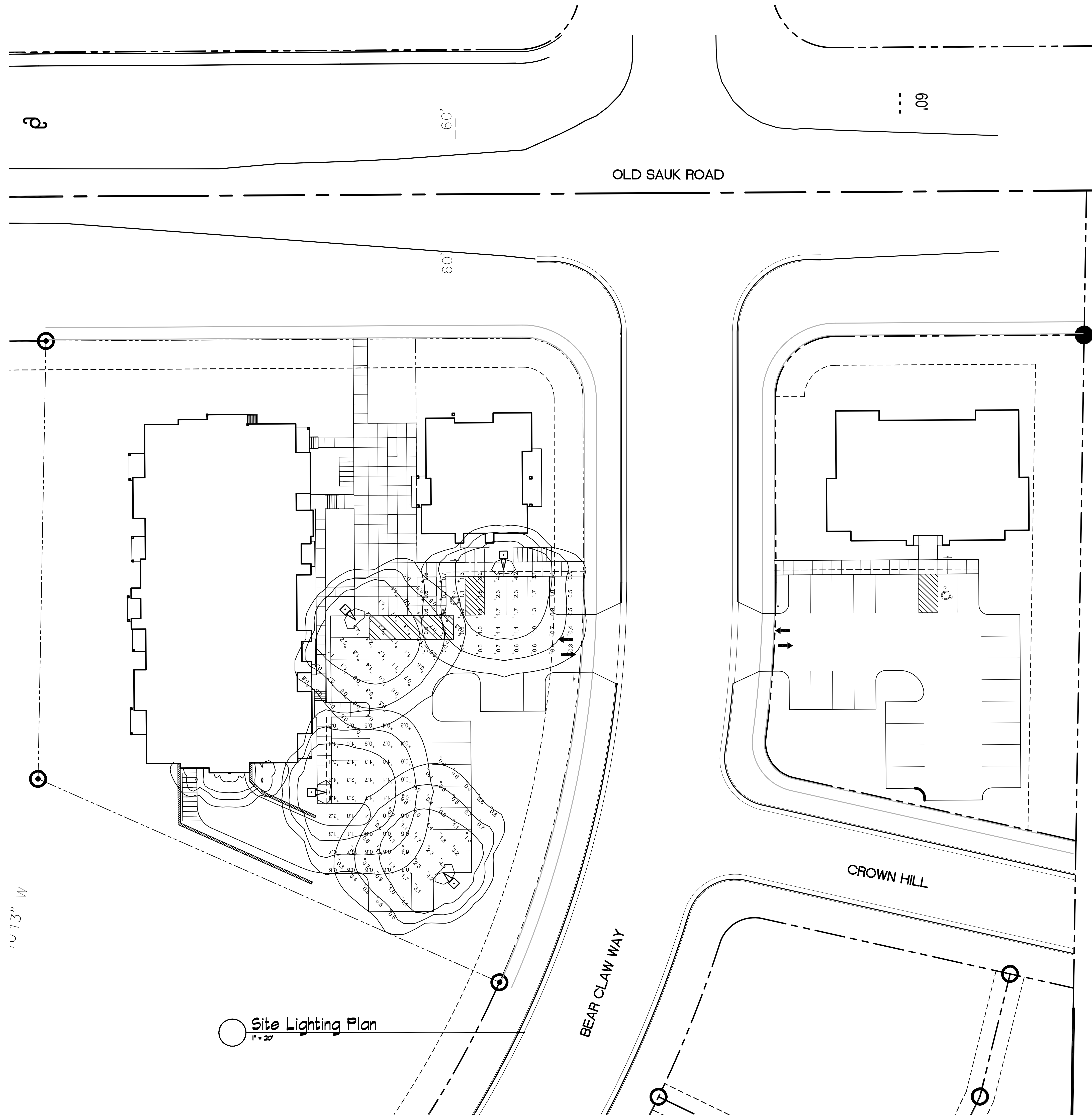
Site Plan
1" = 20'

Project Title
Old Sauk Mixed-Use

Drawing Title
Site Plan

Project No. **1020** Drawing No. **C-1.1**

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LIGHTING SCHEDULE									
Symbol	Label	Qty	Manufacturer	Catalog Number	Description	Lamp	File	Lumens	Mounting
	A	9	RUUD LIGHTING	MAC410SBL	12" AREA CUTOFF / W/BACK LT. SHIELD	100 W MH	MAC417SBL.le	9000	16'-0" POLE ON 2'-0" CONC. BASE
	B	2	RUUD LIGHTING	E8405	RECTANGULAR SECURITY / DEEP SHIELDED	50 W MH	E8507.IES	3060	8'-0" UP ON SIDE OF BUILDING

Arrow indicates direction of light, typical

LIGHTING STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Lots	+	1.2 fc	5.5 fc	0.3 fc	18.3:1	4.0:1

Revisions
 May 11, 2011 - UDC Initial Submittal
 June 8, 2011 - Parking Lot Submittal

Project Title
Old Sauk Mixed-Use

Drawing Title
Site Lighting Plan

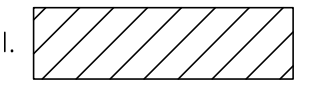

Project No. **1020** Drawing No. **C-1.2**

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Site Lighting Plan
 1" = 20'

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Notes

1.  = 26' WIDE AERIAL APPARATUS FIRE LANE PARALLEL TO ONE ENTIRE SIDE OF A BUILDING AND WITHIN 50'.
2.  = 20' TO 28' WIDE FIRE LANE. (SEE PLAN FOR ACTUAL WIDTH)
3. VARIOUS LINETYPES REPRESENT 500' HOSELAYS.

Revisions

- May 11, 2011 - UDC Initial Submittal
- June 8, 2011 - Parking Lot Submittal

Project Title

Old Sauk Mixed-Use

Drawing Title

Fire Access Plan

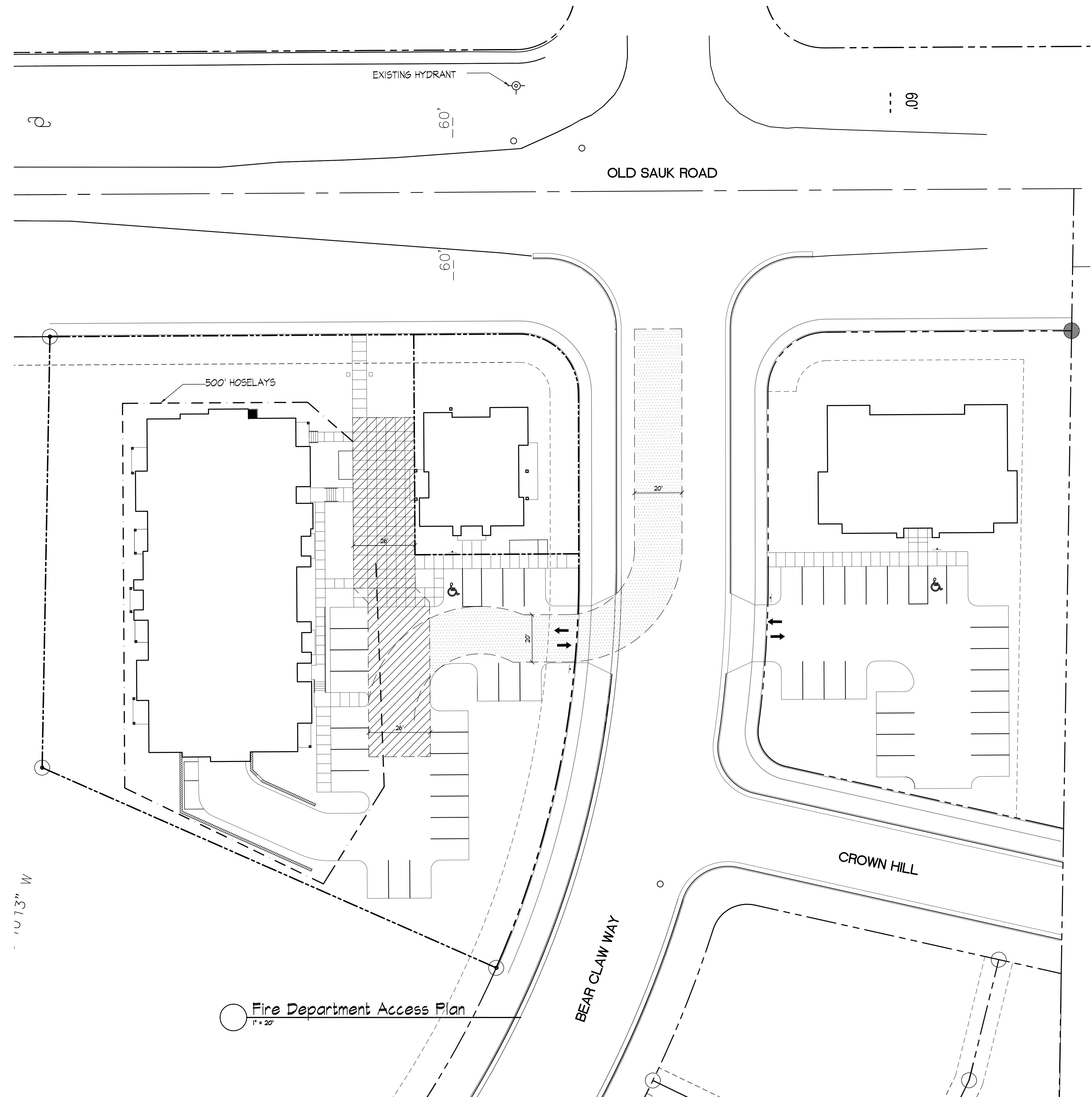
Project No.

1020

Drawing No.

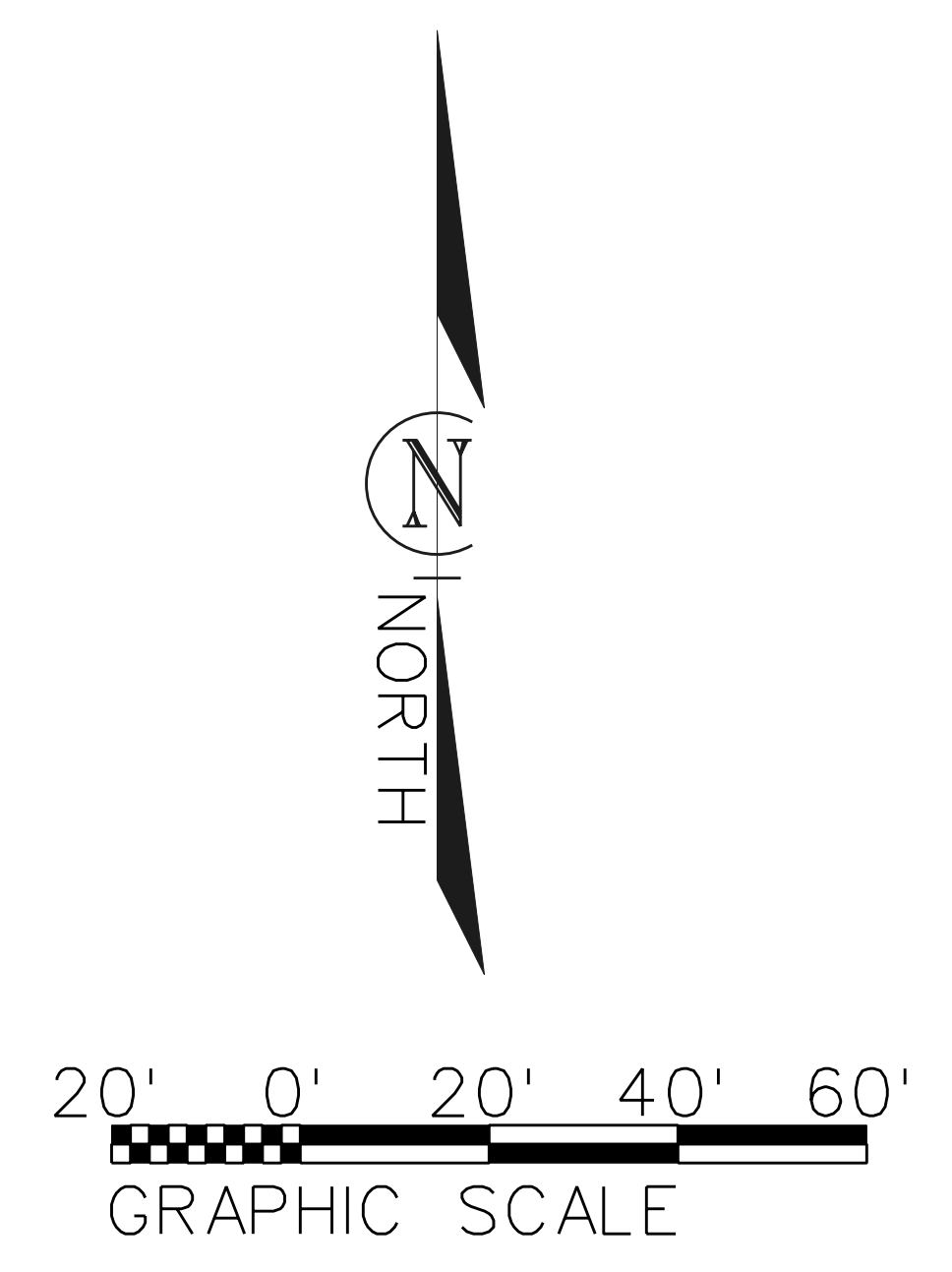
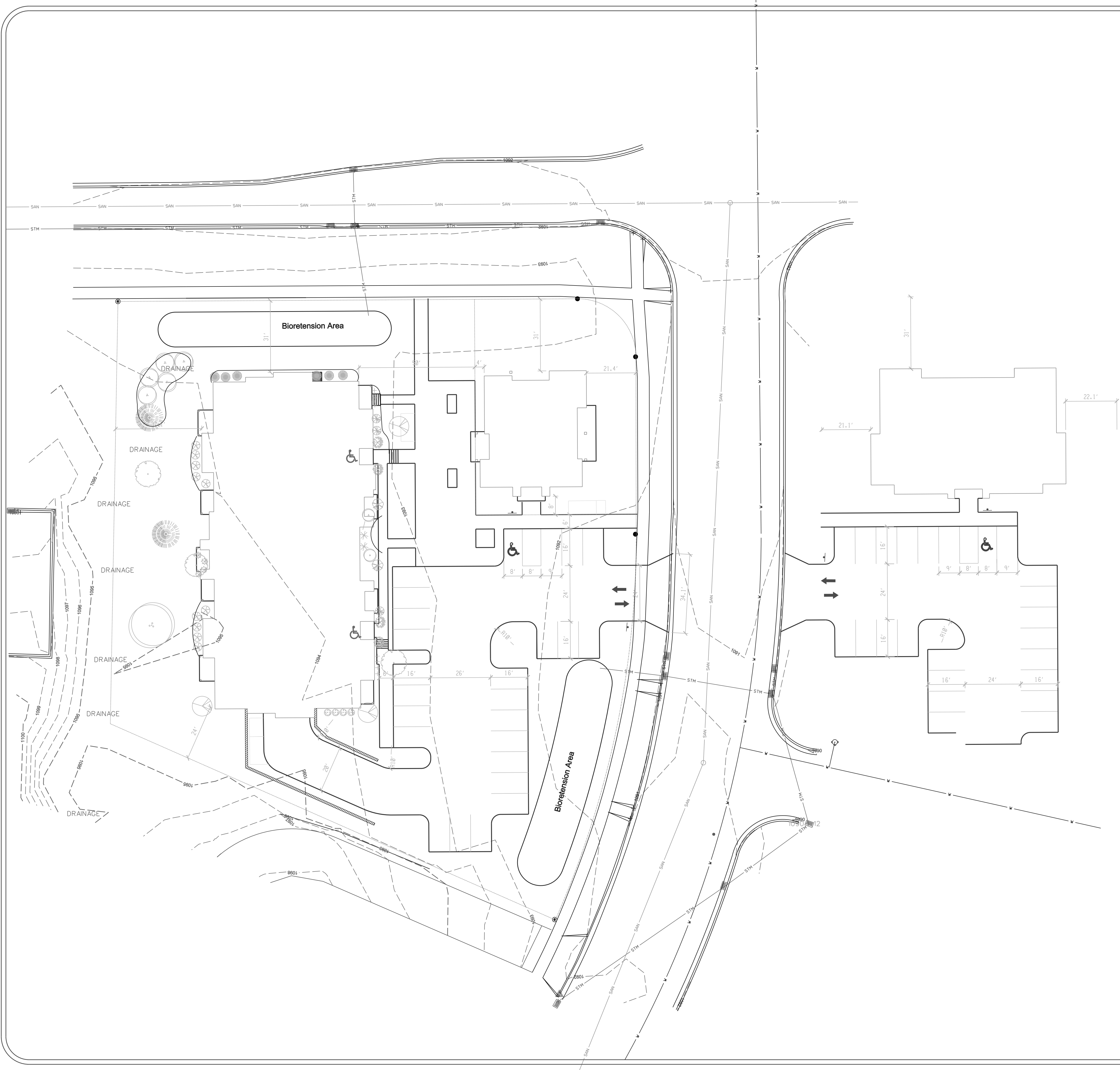
C-1.3

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Fire Department Access Plan
1" = 20'

1/13" W



Lot 26, Sauk Heights

Location
 Lying in the Northwest 1/4 of the Northeast 1/4 of Section 21
 T 07 N, R 08 E, City of Madison, Dane County, Wisconsin

PLAN FOR:
T. R. McKenzie, Inc
 Alex McKenzie
 1010 Hawk Ridge Drive, Ste 322
 Verona, WI 53593

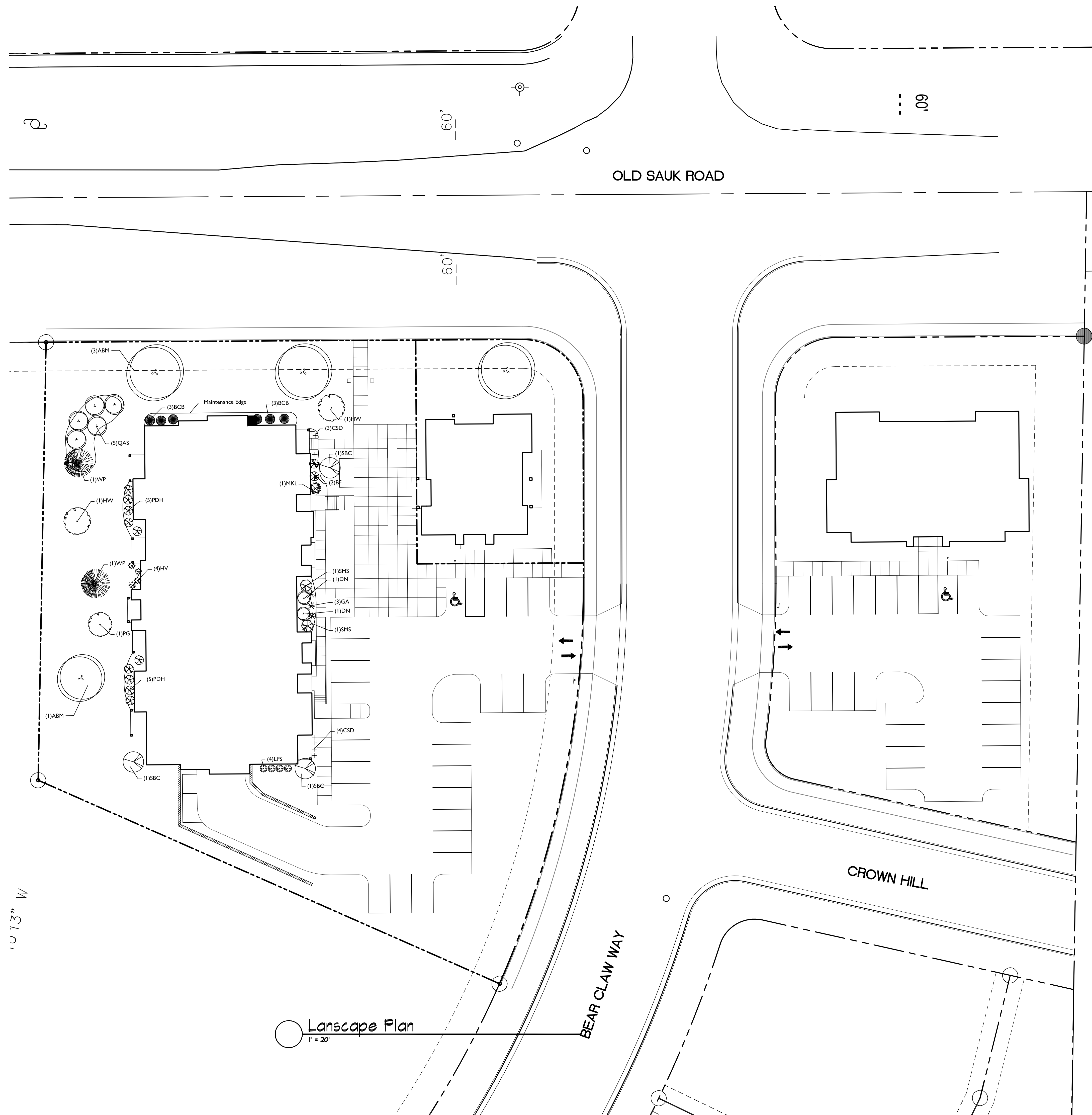
PLAN BY:
Royal Oak & Associates, Inc.
 3676 Kinsman Blvd, Madison Wisconsin, 53704
 Phone (608) 274-0500, Fax (608) 274-4530
 www.royalokengineering.com

Directory
 Projects\Wisconsin\Dane\Blooming Grove\Section08
 15864 - Pfeiffer\Survey\Map\p1\Site Plan

Consultant

Notes

Key					
Code	Number	Plant Common Name	Size	Point Value	Total Points
ABM	4	Autumn Blaze Maple	2"	35	140
HW	1	Hawthorne (Thornless)	1.5"	15	15
PG	1	Pagoda Dogwood	4'		
OAS	5	Quaking Aspen, Single	1.25"	0	0
SBC	3	Serviceberry Clump	5'		
WP	2	White Pine	4'	15	30
BCB	6	Black Chokeberry	#3		
BF	2	Bronx Forsythia	15"	2	4
DN	2	Diablo Ninebark	2"	2	4
LPS	4	Little Princess Spirea	15"	2	8
MKL	1	Miss Kim Lilac	18"	2	2
PDH	10	Pink Diamond Hydrangea	18"	2	20
SMS	2	Snowmound Spirea	15"	2	4
GA	3	Woodward Globe Arborvitae	30"	3	9
CSD	7	Chicago Sunrise Daylily	#1		
HV	4	Gold Standard Hosta	#1		
				Total Points	236



Landscape Plan
1" = 20'

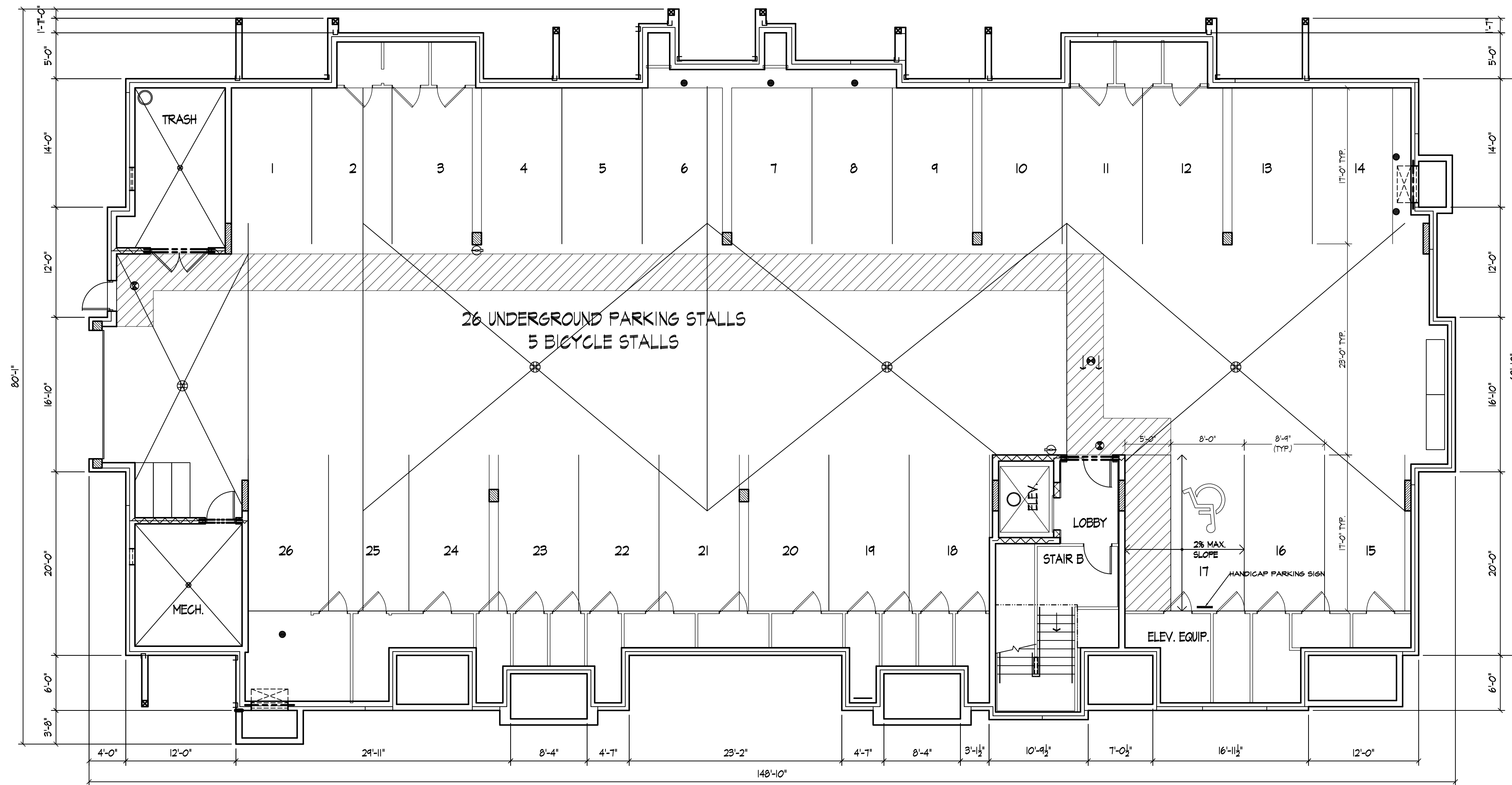
Revisions
May 11, 2011 - UDC Initial Submittal
June 8, 2011 - Parking Lot Submittal

Project Title
Old Sauk Mixed-Use

Drawing Title
Landscape Plan

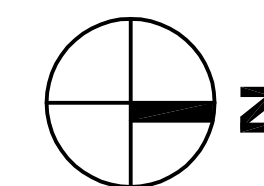
Project No. **1020** Drawing No. **L-1.1**

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Revisions
JUNE, 2011 - PARKING LOT SUBMITTAL

BASEMENT FLOOR PLAN
1/8" = 1'-0"



Project Title
Old Sauk Apartments
625 Bear Claw Way
Lot 26 of Sauk Heights

Drawing Title
Basement Floor Plan
28 Unit

Project No. Drawing No.

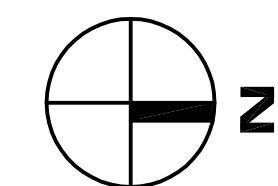
1102

A-1.0

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FIRST FLOOR PLAN 9491 S.F.
1/8" = 1'-0"



Revisions
JUNE, 2011 - PARKING LOT SUBMITTAL

Project Title
Old Sauk Apartments
625 Bear Claw Way
Lot 26 of Sauk Heights

Drawing Title
First Floor Plan
28 Unit

Project No. Drawing No.

1102

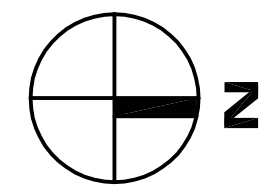
A-1.1



Revisions
JUNE, 2011 - PARKING LOT SUBMITTAL

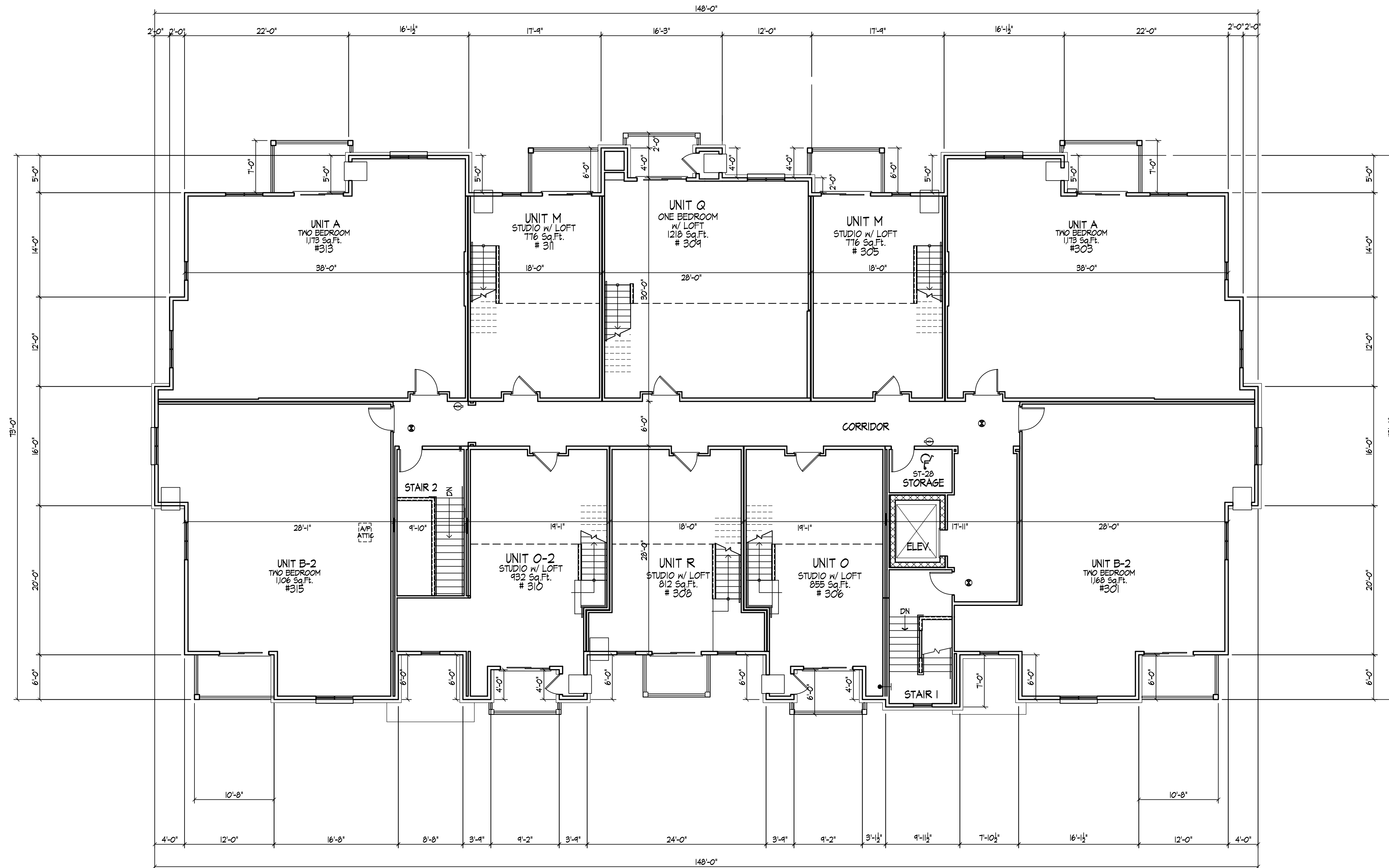
Project Title
Old Sauk Apartments
625 Bear Claw Way
Lot 26 of Sauk Heights

SECOND FLOOR PLAN 9491 S.F.
1/8" = 1'-0"



Drawing Title
Second Floor Plan
20 Unit

Project No. **1102** Drawing No. **A-1.2**



○ THIRD FLOOR PLAN 9491 S.F. N
1/8" = 1'-0"

Revisions
JUNE, 2011 - PARKING LOT SUBMITTAL

Project Title
Old Sauk Apartments
625 Bear Claw Way
Lot 26 of Sauk Heights

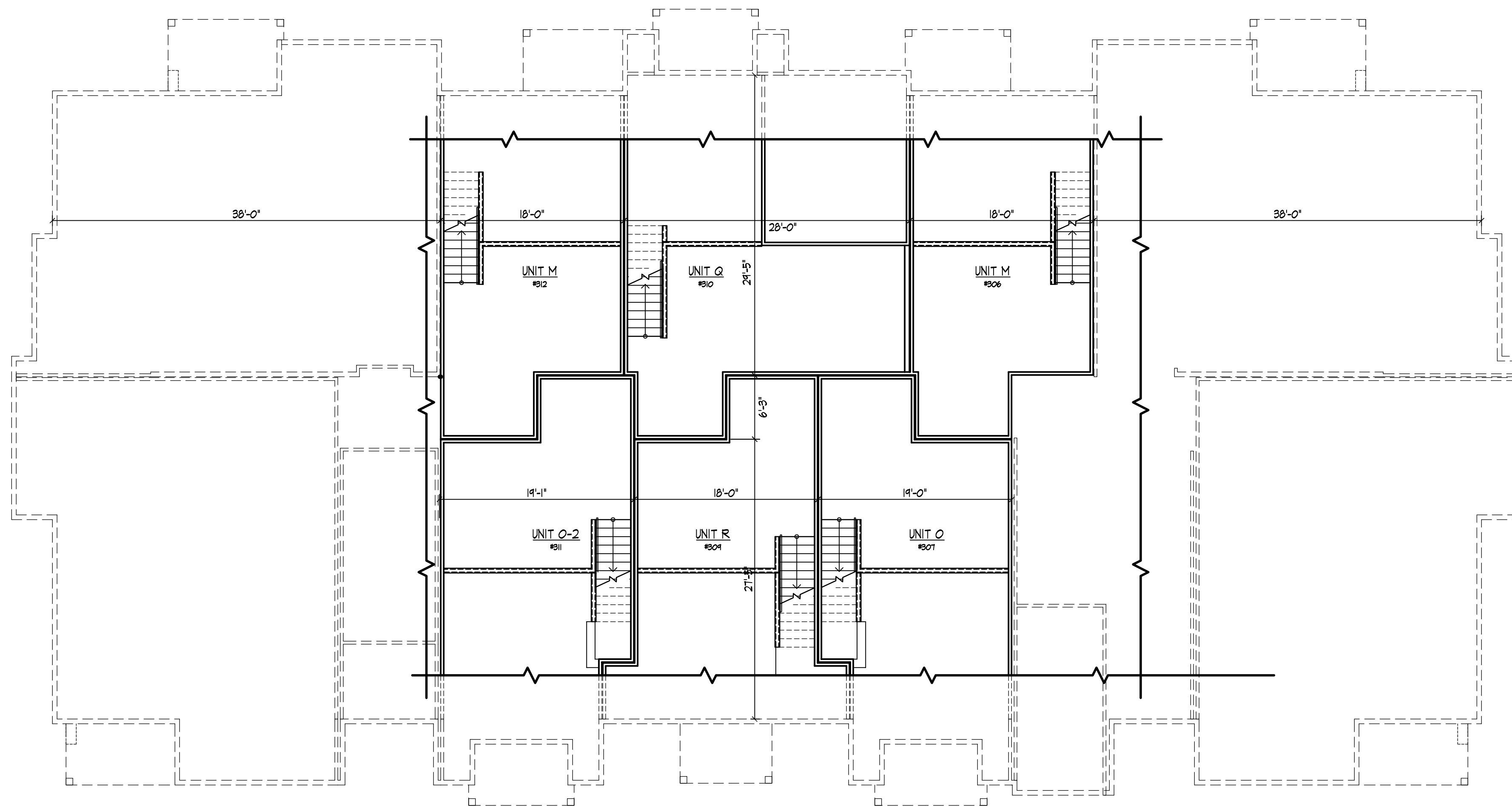
Drawing Title
Third Floor Plan
28 Unit

Project No. **1102** Drawing No. **A-1.3**

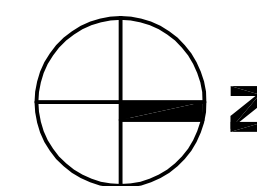
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Notes

1. SEE SHEET A-1.1 FOR TYPICAL NOTES



LOFT FLOOR PLAN 1800 S.F.
1/8" = 1'-0"



Revisions

JUNE, 2011 - PARKING LOT SUBMITTAL

Project Title

Old Sauk Apartments
625 Bear Claw Way
Lot 26 of Sauk Heights

Drawing Title

Loft Plan
28 Unit

Project No.

1102

Drawing No.

A-1.4



EAST ELEVATION
1/8" = 1'-0"



NORTH ELEVATION ALONG OLD SAUK
1/8" = 1'-0"

Project Title
Old Sauk Apartments
625 Bear Claw Way
Lot 26 of Sauk Heights

Drawing Title
Elevations
28 Unit

Project No.

Drawing No.

1102

A-2.1



WEST ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"

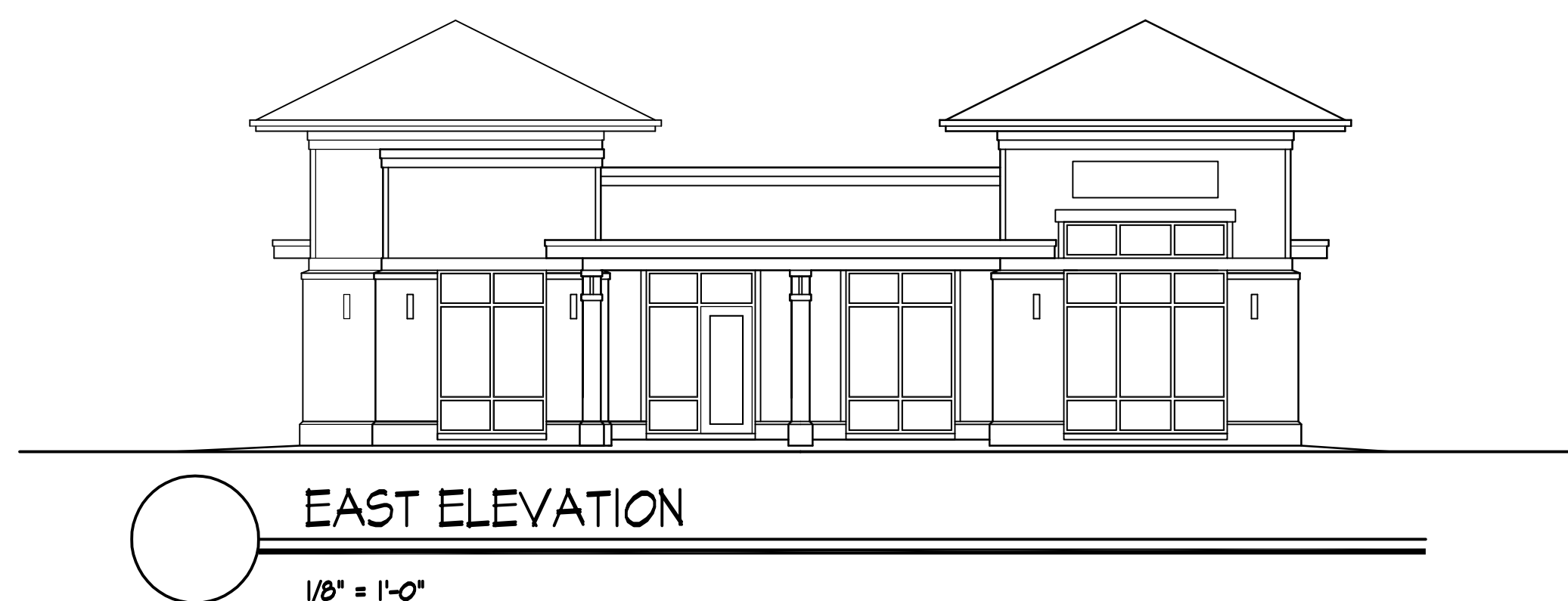
Project Title
Old Sauk Apartments
625 Bear Claw Way
Lot 26 of Sauk Heights

Drawing Title
Elevations
2B Unit

Project No. Drawing No.

1102

A-2.2



Project Title
Old Sauk Apartments
625 Bear Claw Way
Lot 26 of Sauk Heights

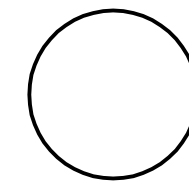
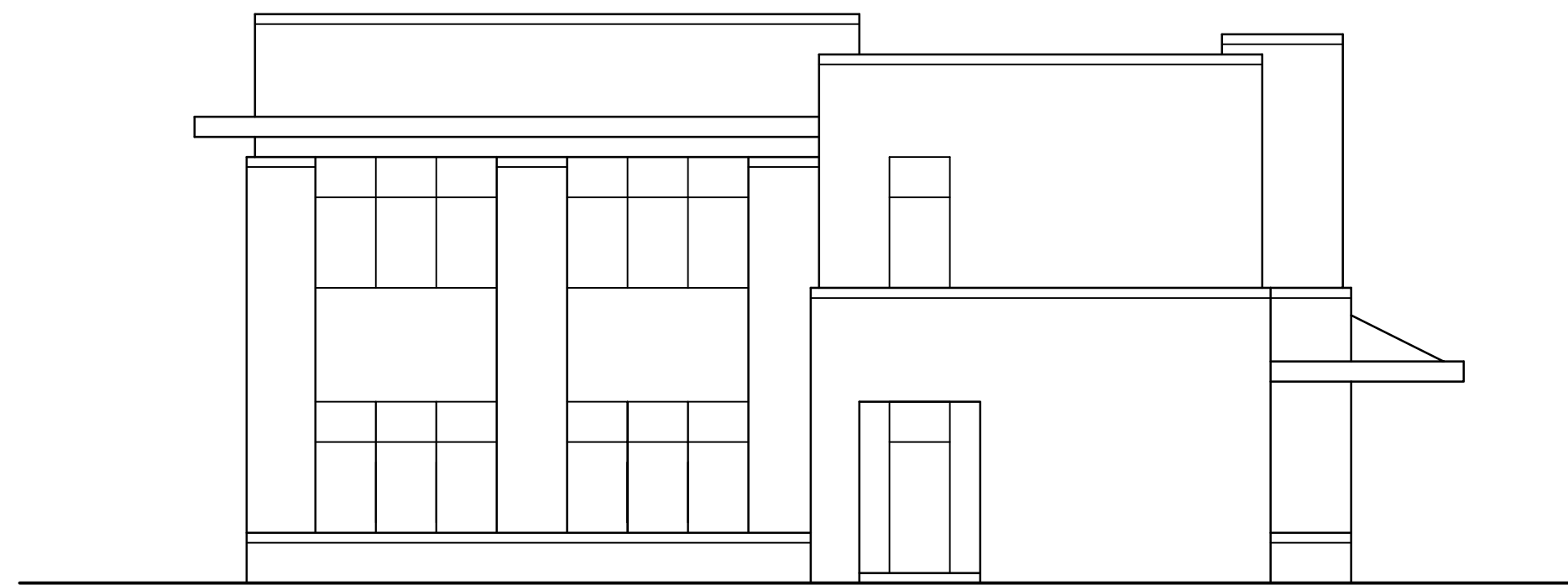
Drawing Title
**Elevations
Commercial**

Project No.

Drawing No.

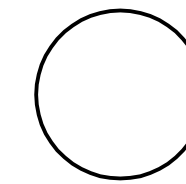
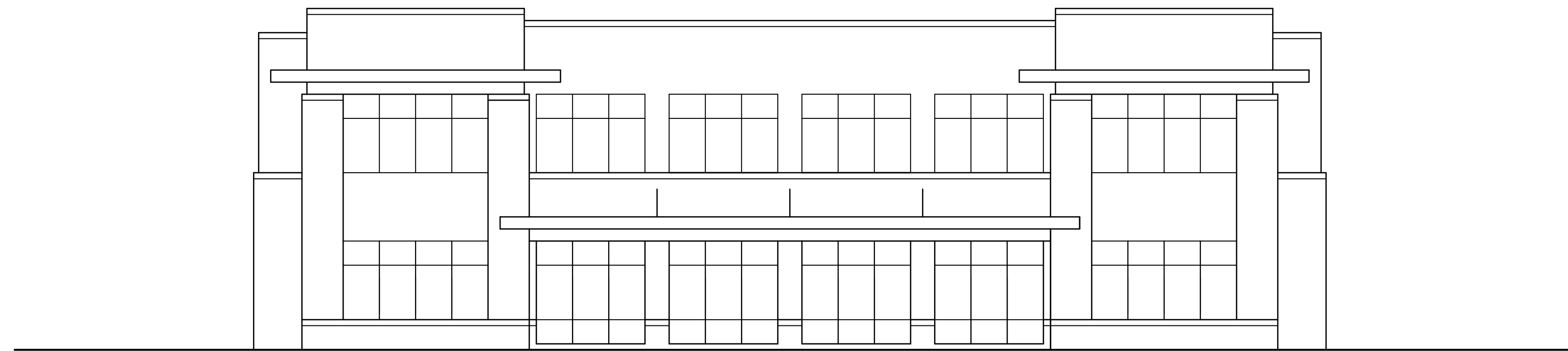
1102

A-2.3



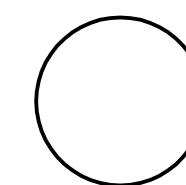
SIDE ELEVATION

1/8" = 1'-0"



NORTH ELEVATION ALONG OLD SAUK

1/8" = 1'-0"



SOUTH ELEVATION

1/8" = 1'-0"