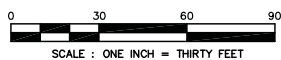


BOUNDARY AND TOPOGRAPHIC SURVEY

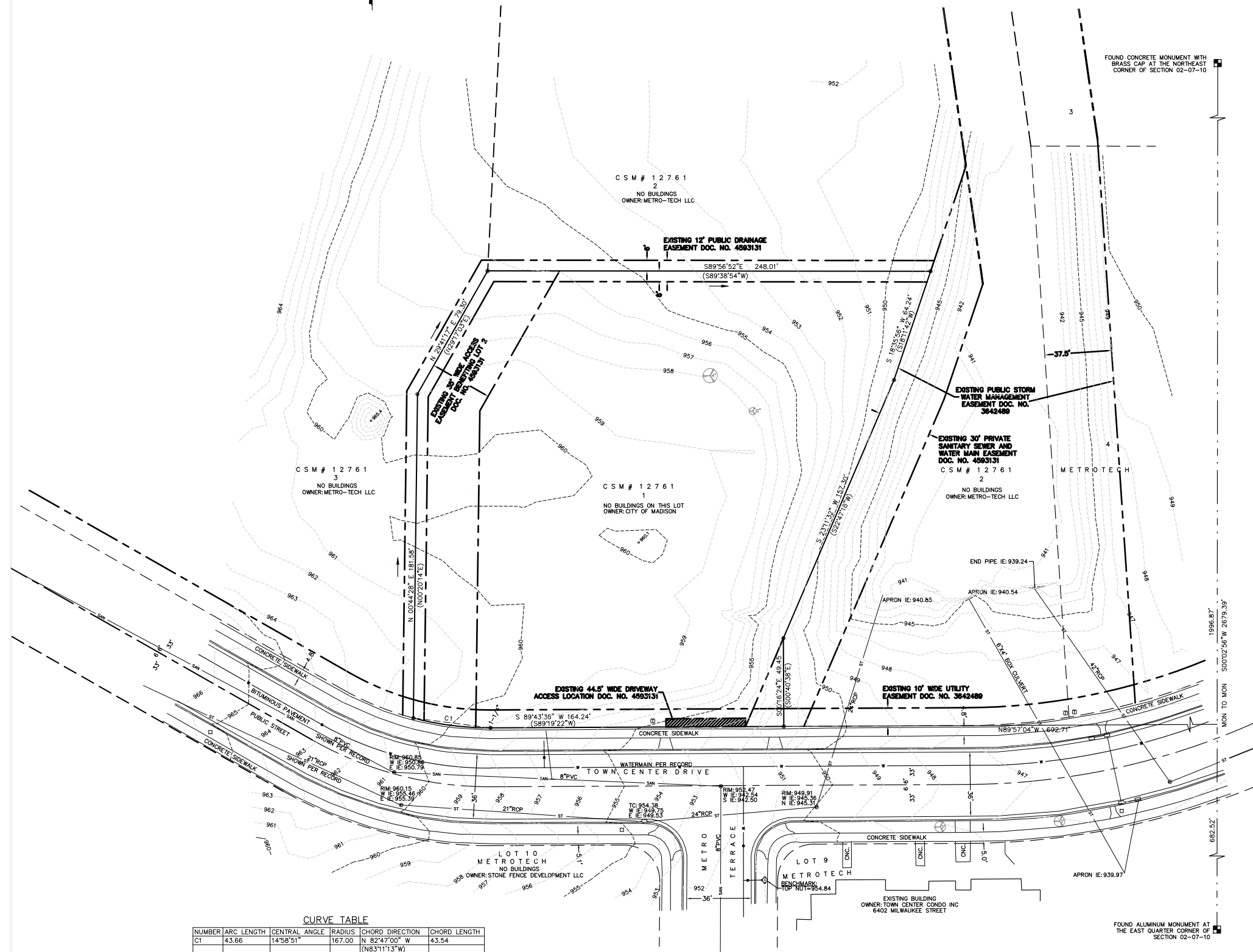
ALL OF LOT 1, CERTIFIED SURVEY MAP NUMBER 12761, AS RECORDED IN VOLUME 80 OF CERTIFIED SURVEY MAPS, ON PAGES 304-307, AS DOCUMENT NUMBER 4593131, DANE COUNTY REGISTRY, LOCATED IN THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 02, TOWNSHIP 07 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.




 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
1-800-242-8511 OR 811
TOLL FREE
 TDD(FOR THE HEARING IMPAIRED)(800)542-2289
 WIS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE

GRID NORTH
 BEARINGS ARE BASED UPON
 THE WISCONSIN COUNTY
 COORDINATE SYSTEM (DANE
 ZONE)

LEGEND			
	BURIED GAS MAIN		FIRE HYDRANT
	WATER MAIN		STORM SEWER INLET
	SANITARY SEWER		ELECTRIC MANHOLE
	STORM SEWER		TELECOMM. MANHOLE
	BURIED TELEPHONE		STORM SEWER MANHOLE
	BURIED ELECTRIC		SANITARY SEWER MANHOLE
	BURIED CABLE TV		WATER UTILITY MANHOLE
	BURIED FIBER OPTIC		SOLID IRON ROD FOUND UNLESS NOTED
	WATER VALVE		DECIDUOUS TREE
	GAS VALVE		CONIFEROUS TREE
	CABLE TV PEDESTAL		DRAINAGE ARROW SEE NOTE 9
	ELECTRIC PEDESTAL		() INDICATES RECORDED AS
	TELEPHONE PEDESTAL		
	LIGHT POLE		
	SIGN		



NOTES:

- Except as specifically stated or shown on this map, this survey does not purport to reflect any of the following which may be applicable to the subject real estate: unrecorded easements; building setback lines; restrictive covenants; subdivision restrictions; zoning or other land use regulations; and any other facts that an accurate and current title search may disclose.
- No attempt has been made as a part of this boundary survey to obtain or show data concerning condition or capacity of any utility or municipal/public service facility. For information regarding these utilities or facilities, please contact the appropriate agencies.
- Date of field work: 07-24-12 and 08-10-12.
- Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
- All buildings, and surface and subsurface improvements on and adjacent to the site are not necessarily shown hereon.
- All trees, hedges and ground cover on the site may not necessarily be shown hereon.
- Routing of public utilities is based upon drawings obtained from the City of Madison Engineering Department, markings provided by Digger's Hotline Ticket Number 20122914095 and visible above ground structures. Additional buried utilities/structures may be encountered. No excavations were made to locate utilities. Before excavations are performed contact Digger's Hotline.
 -No communications markings were found.
 -No gas or electrical markings were found.
 -Sanitary and water service were marked in the field.
 -Watermain in the street was not marked in the field.
- Elevations are based upon City of Madison NAVD88 datum. Surveyor set on site benchmark using Trimble 5700 Receiver and the City of Madison Community RTK GPS Base Station.
- Surveyor was provided a copy of Title Report File Number NCS-408097-MAD from First American Title Insurance Company, dated September 15, 2009. Title Report references the following: Numbers in parenthesis represent the Exceptions on Schedule B of said Title Report.
 (4) Limitations imposed upon ingress to and egress from the above-described premises to Interstate Highway 94, including ramps and connection roads on the right-of-way thereof, as set forth in finding, determination and declaration by the State Highway Commission of Wisconsin establishing a controlled-access highway Recorded: July 24, 1951 in the Office of the Register of Deeds for Dane County, Wisconsin in Volume 240 of Miscellaneous, page 332 as Document No. 820381, wherein said highway is designated a controlled-access highway under the provisions of Section 94.35 of the Wisconsin Statutes.
 (5) Access restrictions contained in Award of Damages recorded: August 2, 1960, in Volume 351 of Miscellaneous, page 395, as Document No. 1007335.
 (6) Public Storm Water Management Easement, Landscape Buffer Zone Easement, Highway Setback Lines and Utility Easements as shown on the recorded plat of Metrotech.
 (7) Notes as disclosed on the recorded plat of Metrotech.
 (8) No direct access to Interstate 94 as shown on the recorded plat of Metrotech.
 (9) Plans Recorded: May 14, 2002, as Document No. 3487367. Alteration to Specific Implementation Plan recorded: February 3, 2003, as Document No. 3645406. Alteration to Specific Implementation Plan recorded: June 3, 2005, as Document No. 4061997. Plans/Modifications recorded: September 11, 2009, as Document No. 4594318.
 (10) Declaration of Covenants and Restrictions for the Plat of Metrotech recorded: April 15, 2003, as Document No. 3691111.
 (11) Declaration of Conditions and Covenants recorded: May 22, 2003, as Document No. 3718614.
 (12) Declaration of Conditions and Covenants recorded: January 29, 2006, as Document No. 3867634.
 (13) Declaration of Conditions and Covenants recorded: January 29, 2006, as Document No. 3867635.
 (14) Declaration of Conditions and Covenants recorded: January 5, 2009, as Document No. 4490477.
 (15) Utility Easement, access easement benefiting Lot 2, driveway access location and arrows indicating direction of drainage flow as disclosed on Certified Survey Map No. 12761.
 Notations set forth on Certified Survey Map No. 12761, stating:
 -Arrows indicate the direction of surface drainage swale at individual property lines. Said drainage swale shall be graded with the construction of each principal structure and maintained by the lot owner unless modified by the approval of the City Engineer. Elevations given are for property corners at ground level and shall be maintained by the lot owner.
 -All lots within this survey are subject to a public easement for drainage purposes which shall be a minimum of 6-feet in width measured from the property line to the interior of each lot except that the easement shall be 12-feet in width on the perimeter of the certified survey. For purposes of two (2) or more lots combined for a single development site, or where two (2) or more lots have a shared driveway agreement, the public easement for drainage purposes shall be a minimum of six (6) feet in width and shall be measured only from the exterior property lines of the combined lots that create a single development site, or have a shared driveway agreement, except that the easement shall be twelve (12) feet in width along the perimeter of the certified survey. Easements shall not be required on property lines shared with green ways or public streets. No buildings, driveways, or retaining walls shall be placed in any easement for drainage purposes. Fences may be placed in the easement only if they do not impede the anticipated flow of water. In the event of the City of Madison Plan Commission and/or Common Council approved redivision of a previously subdivided property, the underlying public easements for drainage purposes are released and replaced by those required and created by the current approved subdivision.
 -All lots created by this CSM are responsible for compliance with Chapter 37 of the Madison General Ordinances in regard to stormwater management at the time it is developed.
 -Lot 1 & 2 shall comply with M.G.O. Sec. 16.23(3)(d) - Highway Noise Lane Use Provisions Policies and Ordinances. Prior to construction on Lot 1 or further subdivision, the provisions of this section shall be complied with.
 -Lands within this certified survey map are subject to the following documents: Doc. No. 820381, 1007335, 3691111, 3718614, 3867634, 3867635 and 4490477.
 -At the time of recording, lots within this CSM are zoned PUD(GDP) and are not dependent upon each other for storm water drainage. If future development requires shared drainage by any lots within this CSM an agreement detailing the rights and responsibilities of each parcel owner shall be required.
 -Noise note: The lots of this land division may experience noise at levels exceeding levels in s. Trans 405.04 Table 1. These levels are based on federal standards. The department of transportation is not responsible for abating noise from existing state trunk highways or connecting highways, in the absence of any increase by the department to the highway's through-lane capacity.
 -Utility Easement Note: Utility easements. No poles or buried cables are to be placed such that the installation would disturb any survey stake, or obstruct vision along any lot line. The disturbance of a survey monument by anyone is a violation of section 236.32 of Wisconsin Statutes. Utility easements as herein set forth are for the use of public bodies and private public utilities having the right to serve the area.
 (16) The terms and provisions contained in the document entitled "Access Easement Agreement" recorded September 15, 2009 as document 4595093 of Official Records.
- Total parcel area = 60,030 square feet
- Parcel Address: 6350 Town Center Drive, Madison, WI

DESCRIPTION FURNISHED:

LOT 1, CERTIFIED SURVEY MAP NUMBER 12761, AS RECORDED IN VOLUME 80 OF CERTIFIED SURVEY MAPS, ON PAGES 304-307, AS DOCUMENT NUMBER 4593131, DANE COUNTY REGISTRY, LOCATED IN THE SOUTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 02, TOWNSHIP 07 NORTH, RANGE 10 EAST, CITY OF MADISON, DANE COUNTY, WISCONSIN.


SURVEYOR'S CERTIFICATE:

I, Frank J. Lapacek, Registered Land Surveyor, No. 2658, hereby certify that the foregoing survey was executed under my direction and control, and that said survey meets the minimum standards for property surveys of the Wisconsin Administrative Code (A-E7), and the map hereon is correct to the best of my knowledge and belief.

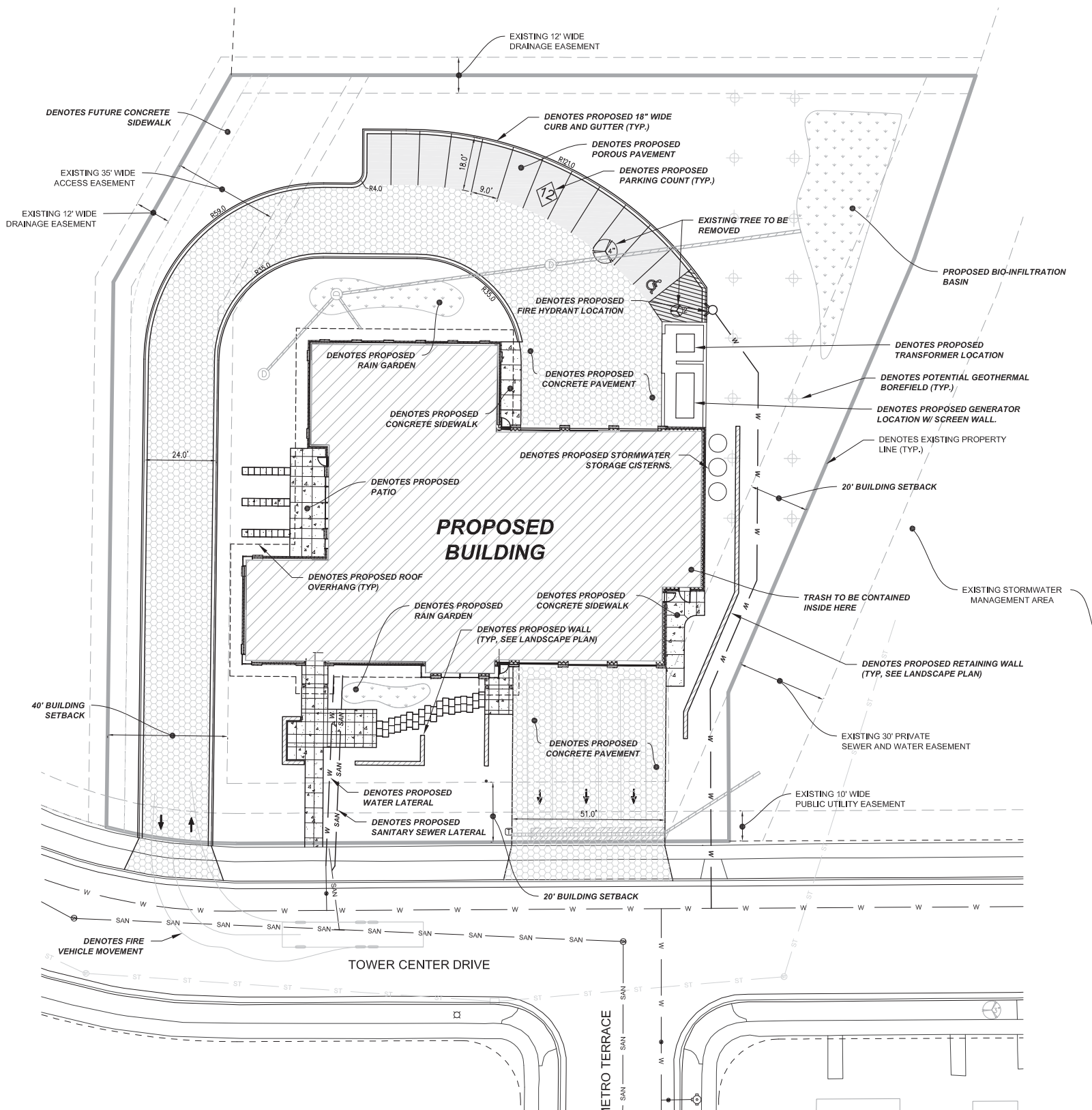
Dated this _____ day of _____, 201__.

Signed: Frank J. Lapacek, R.L.S. No. 2658

SURVEYED FOR :
 City of Madison
 210 Martin Luther King Jr. Blvd.
 Madison WI 53703

SURVEYED BY :

 1400 E. Washington Ave., Suite 158
 Madison, WI 53703 608.250.9263
 Fax: 608.250.9266
 email: mburse@BSE-INC.net
 www.bursesurveyengr.com

CURVE TABLE				
NUMBER	ARC LENGTH	CENTRAL ANGLE	RADIUS	CHORD LENGTH
C1	43.66	14°58'51"	167.00	43.54
			(N83°11'13" W)	



SITE ZONING AND LOCATION TABLE

LEGAL DESCRIPTION:
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PROPERTY LOCATION: 6350 TOWN CENTER DRIVE
MADISON WISCONSIN

EXISTING ZONING: PUD - (GDP)
PROPOSED ZONING: PUD - (GDP)

ZONING SETBACKS:
 BUILDING SETBACK: 20 FEET (FRONT & EAST SIDE)
 40 FEET (WEST SIDE)

PROPERTY OWNER: CITY OF MADISON
PROPOSED USAGE: FIRE STATION

SITE CALCULATION TABLE

TOTAL SITE AREA	1.38 AC
TOTAL DISTURBED AREA	1.52 AC
EXISTING IMPERVIOUS AREA	0.00 AC
PROPOSED IMPERVIOUS AREA	0.69 AC
PROPOSED GREENSPACE	0.69 AC (50% OF SITE)
PROPOSED REGULAR PARKING SPACES	11
PROPOSED HANDICAP PARKING	1
PROPOSED TOTAL PARKING	12

UTILITY LEGEND

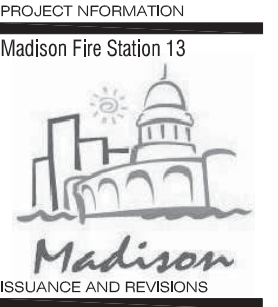
SYMBOL	DESCRIPTION
— W — W — W —	EXISTING WATER MAIN
— P — P — P —	PROPOSED WATER SERVICE
— E — E — E —	EXISTING ELECTRICAL LINE
— P — P — P —	PROPOSED ELECTRICAL LINE
— G — G — G —	EXISTING GAS MAIN
— P — P — P —	PROPOSED GAS MAIN
— S — S — S —	EXISTING SANITARY SEWER
— P — P — P —	PROPOSED SANITARY SEWER
— S — S — S —	EXISTING STORM SEWER
— P — P — P —	PROPOSED STORM SEWER
— W — W — W —	OVERHEAD WIRES
— P — P — P —	EXISTING POWER POLES
— P — P — P —	EXISTING LIGHT POLES
— S — S — S —	SANITARY MANHOLE
— F — F — F —	FIRE HYDRANT
— V — V — V —	EXISTING WATER VALVE
— P — P — P —	PROPOSED WATER VALVE
— S — S — S —	EXISTING STORM STRUCTURE
— P — P — P —	PROPOSED STORM STRUCTURE
— E — E — E —	DENOTES EMERGENCY OVERFLOW ROUTE / DRAINAGE PATH
— P — P — P —	PROPOSED & EXISTING SPOT GRADE

- GENERAL NOTES AND SPECIFICATIONS**
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HATCH LEGEND

[Pattern]	PROPOSED CONCRETE SIDEWALK
[Pattern]	PROPOSED POROUS ASPHALT PAVEMENT
[Pattern]	PROPOSED CONCRETE PAVEMENT
[Pattern]	PROPOSED DEPRESSED CURB
[Pattern]	PROPOSED TAPER CURB
[Pattern]	PROPOSED REVERSE CURB

Zimmerman
 ARCHITECTURAL STUDIOS, INC.
 2122 West Mt. Vernon Avenue | Milwaukee, WI 53233 | zstudies.com
 TELEPHONE [414] 476-9500
 FACSIMILE [414] 476-8582



Plan Commission

KEY PLAN

SCALE: 1"=20'

SHEET INFORMATION

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.

REVISIONS

#	DATE	DESCRIPTION

DATE
September 04, 2012

PROJECT NUMBER
120062.00

STUDIO
Sabinash

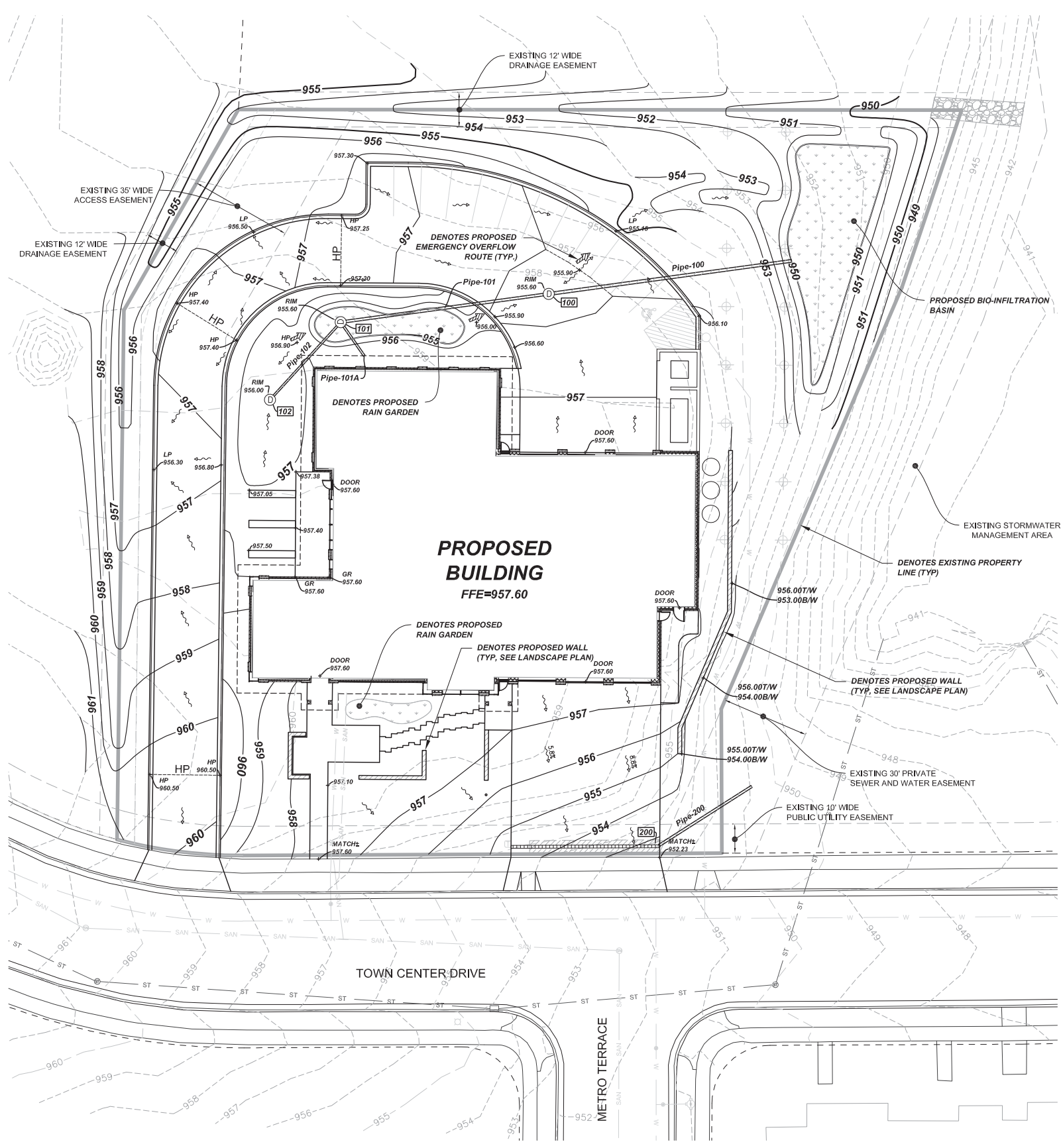
Site Plan



IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.

HARWOOD
 ENGINEERING
 CONSULTANTS, LTD
 255 North 21st Street | Milwaukee, Wisconsin 53233
 414.475.5554 • 414.773.9299 fax: harwood@hcd.com
 HEC Project Number: 12-0062.00

C100
 © ZIMMERMAN ARCHITECTURAL STUDIOS, INC.



UTILITY LEGEND	
SYMBOL	DESCRIPTION
	EXISTING WATER MAIN
	PROPOSED WATER SERVICE
	EXISTING ELECTRICAL LINE
	PROPOSED ELECTRICAL LINE
	EXISTING GAS MAIN
	PROPOSED GAS MAIN
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	OVERHEAD WIRES
	EXISTING POWER POLES
	EXISTING LIGHT POLES
	SANITARY MANHOLE
	FIRE HYDRANT
	EXISTING WATER VALVE
	PROPOSED WATER VALVE
	EXISTING STORM STRUCTURE
	PROPOSED STORM STRUCTURE
	DENOTES EMERGENCY OVERFLOW ROUTE / DRAINAGE PATH
	PROPOSED & EXISTING SPOT GRADE

Storm Structure Table	
#	Structure Details
100	TRAPPED CATCH BASIN (SEE DETAIL) RIM = 955.60 Pipe-101 = 951.84 Pipe-100 = 951.84
101	CATCH BASIN (3' DIA) RIM = 955.60 Pipe-101A = 952.56 Pipe-102 = 952.56 Pipe-101 = 952.56
102	CATCH BASIN (3' DIA) RIM = 956.00 Pipe-102 = 952.92
200	TRENCH DRAIN RIM = 952.60 Pipe-200 = 951.25

Storm Pipe Table					
Pipe Name	Size	Material	Length	Slope	Description
Pipe-100	12	PVC	84	1.00%	
Pipe-101	10	PVC	72	1.00%	
Pipe-101A	8	PVC	14	1.00%	
Pipe-102	8	PVC	36	1.00%	
Pipe-200	10	PVC	39	1.92%	

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TELEPHONE [414] 476-9500
FACSIMILE [414] 476-8582

PROJECT INFORMATION
Madison Fire Station 13

ISSUANCE AND REVISIONS
Plan Commission

KEY PLAN
SCALE: 1"=20'

SHEET INFORMATION
PROGRESS DOCUMENTS
These documents reflect progress and intent and may be subject to change, including additional detail. These are not final construction documents and should not be used for final bidding or construction-related purposes.
REVISIONS
DATE DESCRIPTION

DATE
September 04, 2012
PROJECT NUMBER 120062.00
STUDIO Sabinash
Grading Plan
C101
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HARWOOD
ENGINEERING
CONSULTANTS, LTD
255 North 21st Street | Milwaukee, Wisconsin 53233
414.475.5554 414.773.9299 fax harwood@hcd.com
HEC Project Number: 12-0062.00

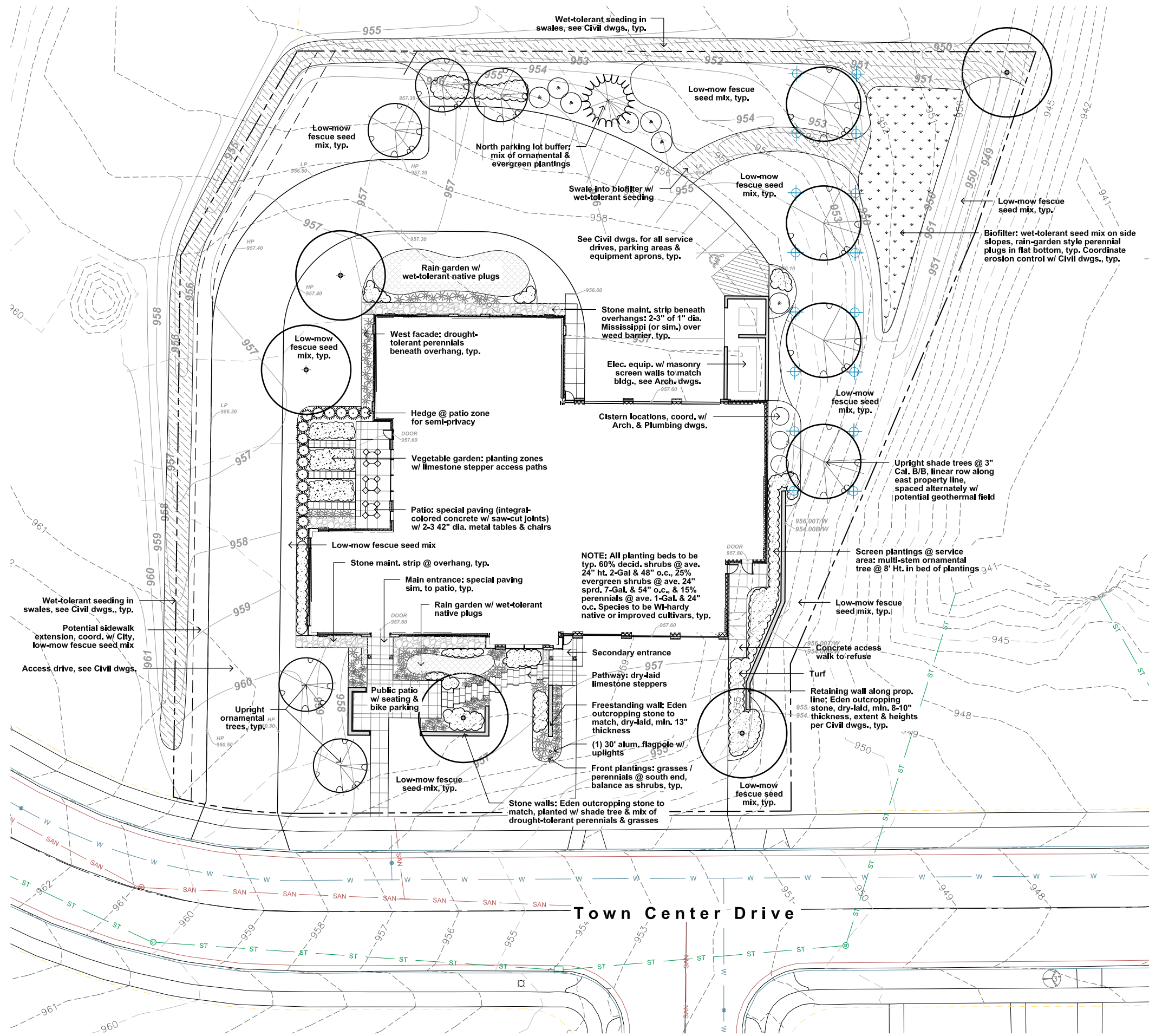
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Zimmerman
 ARCHITECTURAL STUDIOS, INC.
 2122 West Mt. Vernon Avenue | Milwaukee, WI 53233 | zstudios.com
 TELEPHONE (414) 476-9500
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PROJECT INFORMATION

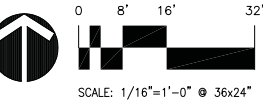
Madison Fire Station 13



ISSUANCE AND REVISIONS

Plan Commission Submittal

KEY PLAN



SHEET INFORMATION

PROGRESS DOCUMENTS

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REVISIONS

#	DATE	DESCRIPTION

DATE
September 5, 2012

PROJECT NUMBER
120062.00

STUDIO
SabInash

Revised Landscape Plan

L100

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General Notes

- 1.01 All landscape installation & maintenance to conform with all applicable local codes & ordinances, including (but not limited to) the City of Madison Municipal Code.
1.02 See Site & Civil dwgs. for work limits, scope of construction, dimensions &/or construction notes. See Civil dwgs. for all hardscape, grading, stormwater management, site utilities & erosion control. See Landscape dwgs. for landscape plans, coverage/restoration requirements, details, schedules & notes. See Site electrical dwgs. for exterior lighting. See Architectural dwgs. for all building construction & signage.
1.03 Contractor shall provide shop drawings and material submittals of all hardscape & landscape construction elements shown in plan set for Landscape Architect review prior to construction.
1.04 Contractor to provide samples for Owner approval on all colors, finishes & materials (including but not limited to imported topsoil, gravels, mulches, seed mixes et al) prior to installation.
1.05 Caution: underground utilities are present on site. The Contractor shall verify location of all above- and below-grade utilities, both public & private, prior to commencement of site construction. If unanticipated above- or below-grade conditions are encountered, notify Client & Landscape Architect prior to proceeding. Coordinate with local public & private utility locating entities as needed.
1.06 Contractor to verify layout prior to construction. Contact Landscape Architect or Civil Engineer if discrepancies are found.
1.07 Contractor to limit construction traffic to within work limit lines. All adjacent damage shall be the responsibility of the contractor to restore. See Civil drawings for limits of disturbance.
1.08 All written dimensions supersede scaled dimensions. All dimensions are taken from face of curb, wall or existing building foundations.

Landscape Notes

- 2.01 Rough grading, utility installation & topsoil placement shall be completed by others. Landscape contractor shall coordinate with GC and/or earthwork contractor to ensure correct topsoil depths & fine grading. Seed area and ornamental planting bed preparation shall be the landscape contractor's responsibility. Verify all existing site and grading conditions prior to construction.
2.02 Contaminated soil shall be removed from the project immediately site as discovered. The contractor shall coordinate with the CG and/or earthwork contractor to properly remove any excessive clay, gravel, debris, wood chips, stones and/or other deleterious materials greater than 1" diameter from all ornamental or seeded areas. Use of appropriate equipment (i.e. portable on-site screener or other equipment) will be required.
2.03 All ornamental planting beds shall contain blended topsoil mix to a min. depth of 18". All seeded areas shall have a min. depth of 6". Suitable existing soil may be used & mixed if previously approved. Prior to construction, the contractor shall be responsible for obtaining soil tests to include (but are not limited to) soil pH, % organic matter, phosphorus, potassium, calcium & texture (percentages of sand, silt and/or clay.)
2.04 All areas disturbed by grading or site construction shall be fine graded and restored with vegetative cover as shown in the plans. Areas outside of the work limit lines are to be left as-is unless disturbed by contractor's staging or stockpiling. See plans for cover types & locations. Coordinate restoration of staging / stockpile areas with LA prior to construction.
2.05 Contractor shall verify plant quantities shown on plan. Prior to construction, provide to the LA applicable material invoice(s) from commercial nurseries identifying the species, sizes & plant sources obtained throughout the project.
2.06 The LA shall inspect plant materials prior to installation. Place all materials per the plan but do not dig in until the LA inspects & approves the layout(s.) The LA reserves the right to reject any substandard planting material. Such rejected material shall be removed from the project site immediately and replaced with material meeting the specifications set forth in the plans & schedules.
2.07 All nursery tags/labels shall be left on plant materials until the LA completed the landscape punch-list inspection. Untagged materials will be assumed to be deficient.
2.08 Contractor is responsible for ensuring that all tree pits & planting areas drain properly. Notify Landscape Architect if drainage or moisture problems are encountered while planting.
2.09 Contractor shall backfill all trees, shrubs & evergreens with a mix of 1/3 plant starter mix & 2/3 remaining soil. Plant Starter Mix available from Liesener Soils, Jackson WI, or approved equal.
2.10 All existing trees to remain shall be protected. Prior to clearing/grubbing, install snow fencing @ 15' radius from trunks or driplines, whichever is farther. Fencing is to remain for duration of project. No grading or earthwork to occur in fenced zones except as indicated. No storage, traffic or parking to occur in fenced zones for the duration of the project.
2.11 All perennial and groundcover areas shall receive a 3" layer of plant starter mix and perennial starter fertilizer, rototilled into the top 6" of blended topsoil in beds.
2.12 All perennial areas shall receive a 1-2" layer of shredded hardwood bark mulch. Do not allow mulch to touch stems or leaves of perennials! All woody planting areas shall receive a 3" layer. Unless otherwise shown in the plans, no landscape fabric or weed barrier is to be installed.
2.13 Groundcover beds DO NOT receive a cover of shredded bark mulch.
2.14 Unless otherwise shown, all perennials & shrubs to be planted in triangular arrangements. For plants not shown individually, refer to the spacing shown in the plant schedule.
2.15 Stone mulch areas to contain 2-3" of Mississippi (or approved variant) 1" dia. stone installed over poly weed barrier. Edge with 3/16" x 4" mill-finish aluminum edging.
2.16 Before 60-day maintenance period ends, Contractor to install 6" shovel-cut edges wherever noted.
2.17 Contractor shall provide positive drainage away from all structures for a minimum of 10'.

Seeding Notes & Mixes

- 3.01 This work shall consist of preparing the seed beds and furnishing, sowing and mulching the required seed on the various seeded areas, as outlined in the site plans and specifications.
3.02 Rough grading, drainage work, topsoiling and fine grading shall be completed before sowing the seed mixes. The areas to be seeded shall be worked with plow chisels, discs & harrows, soil finishers and/or other appropriate equipment until a reasonably even and loose seedbed is obtained. Seed beds shall be prepared immediately in advance of the seeding. Do not seed over compacted topsoil. If proposed seed areas are weedy, contractor to apply herbicide or other weed control measures to eliminate weeds. Conform with seed supplier's specifications if required.
3.03 Confirm that anticipated project schedule date(s) fall within the respective seed supplier's approved calendar prior to installation. Installations completed outside of acceptable seeding dates shall be performed at the sole responsibility and expense of the contractor. For dormant seeding, a min. of one over-seed application in the following season will be required.
3.04 Seeds shall be PLS and shall be mixed in accordance w/ mfr's specifications. Provide invoices, bag-tags or mix analysis results for approval prior to installation.
3.05 The seed mixtures shall be sown by means of equipment adapted to the purpose. Mechanical distribution of seed (i.e. Truax seed drill, Brillion seeder, cultipacker, slit-seeder, drop spreader or broadcast spreader) are the only accepted methods. No hand-broadcasting of seed.
3.06 No seeding shall occur if the wind exceeds 12 MPH.
3.07 Coordinate erosion control and/or mulching with Civil dwgs. In sloped areas steeper than 4:1, erosion matting shall be installed by others (see 3.09); installation coordination will be required. In areas with slopes between 4:1 and 8:1, landscape contractor shall apply clean hay or straw mulch, free of debris and seeds, on all newly seeded areas. Mulch shall be uniformly spread over the designated area at a rate of 55 bales per acre or as indicated in the respective seed supplier's specifications. Mulch material shall be chopped and blown into the seeded area. Lightweight E.C. matting and/or hydromulch will be accepted as a no-cost alternate if approved by Landscape Architect.
3.08 See Civil dwgs for erosion control devices. Coordinate with erosion control contractor where required to ensure that topsoil, seeding and/or mat installations are properly coordinated.
3.09 Contractor is responsible for obtaining soil tests for all seeded areas prior to construction. Soil testing results shall include (but is not limited to) soil pH, % organic matter, phosphorus, potassium, calcium & texture (percentages of sand, silt and/or clay.) Should test results indicate potential conflict with the specified seed mixes, the contractor shall notify the LA prior to application and shall request an alternate seed spec from the specified supplier.
3.10 Seed source / mix substitutions shall be considered only if submitted for approval 10 days before the close of bidding. All mixes shall be installed & maintained per supplier's specifications. In addition to the mixes, with exception of the bluegrass zones, Annual Rye cover crop @ 5 lbs per AC in spring/summer or 15 lbs per AC in fall shall be applied.
LOW MOW MIX: "No-Mow Lawn Seed Mix" shall be supplied by Prairie Nursery, Westfield WI, 800-476-9453. Apply @ 220 lbs per AC.
WET MIX: "Detention Basin Wet Prairie Mix" shall be supplied by Prairie Nursery. Apply @ 10 lbs per AC.
3.11 Contractor shall be responsible for providing comprehensive seed area establishment, maintenance and warranty care for the following seed areas:
- Low mow mix: one year
- Wet-tolerant areas: two years. Contractor shall provide a 24-month maintenance calendar with all scheduled activities shall for Owner / LA review & approval prior to completion of seeding.

Wet Tolerant Plug Notes

- 4.01 This work shall consist of preparing the plug areas and furnishing, installing and mulching the required wet-tolerant perennial plugs on the various seeded areas, as outlined in the site plans and specifications.
4.02 Rough grading, drainage work & engineered soil spreading shall be completed by others before installing the plugs. See the Civil plans for the areas of engineered soil and its placement.
4.03 Install plugs during the respective plug supplier's approved calendar. Installations completed outside of acceptable install dates shall be the performed at the sole responsibility and expense of the contractor.
4.04 See Civil dwgs for erosion control req's. Plugs are to be installed into the engineered soil via slits cut through the mat. See Civil dwgs for balance of site erosion control measures.
4.05 Plug kit/source substitutions will be considered only approved 10 days before the close of bidding.
4.06 Rain Garden Plugs: "Rain Garden For Sandy Soil in Full Sun" kit(s). Shall be provided by Prairie Nursery. To be installed & maintained per supplier's specifications. Install @ 12-15" o.c., staggered / triangular spacing, with species organized in clusters of 5-9 plugs each.
4.07 Contractor shall be responsible for providing comprehensive plug area establishment, maintenance and warranty care for two years after installation. Contractor shall provide a 24-month maintenance calendar with all scheduled activities shall for Owner / LA review & approval prior to completion of plug installation.

Plant Schedule

NOTE: Mat'ls shown are representative only. Final species, sizes & qty's TBD.

Table with columns: Symbol, Qty Prop., Botanical Name, Common Name, Installed Size, Root, Spacing, Notes. Includes sections for Shade Trees (Qty. 09), Ornamental Trees (Qty. 05), Evergreen Trees (Qty. 01), Deciduous Shrubs (Qty. 1,100 SF), Evergreen Shrubs (Qty. 550 SF), and Perennials & Grasses (Qty. 550 SF).

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PROJECT INFORMATION

Madison Fire Station 13



ISSUANCE AND REVISIONS

Plan Commission Submittal

KEY PLAN



SCALE: As Shown @ 36x24"

SHEET INFORMATION

PROGRESS DOCUMENTS

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REVISIONS

Table with columns: #, DATE, DESCRIPTION

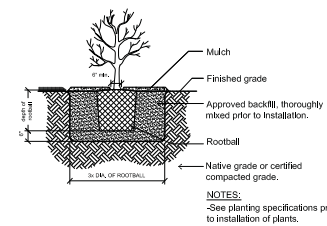
DATE September 5, 2012

Table with columns: PROJECT NUMBER, STUDIO. Values: 120062.00, SabInash

Landscape Details, Schedules & Notes

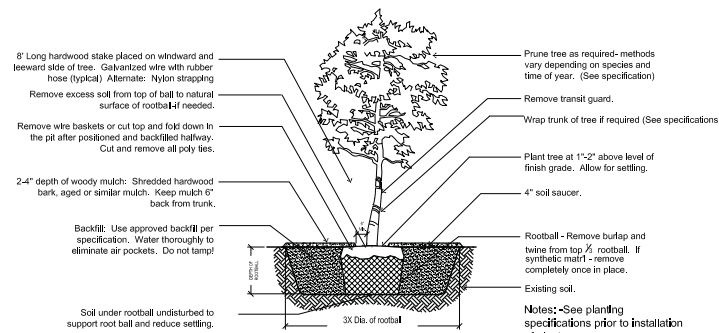
L200

3 Shrub Planting Detail Not To Scale



8" Long hardwood stake placed on windward and seaward side of tree. Galvanized wire with rubber hose (typical). Alternate: Nylon strapping. Remove excess soil from top of ball to natural surface of rootball if needed. Remove wire baskets or cut top and bait down in the pit after positioned and backfilled halfway. Cut and remove all poly ties. 2-4" depth of woody mulch: Shredded hardwood bark, aged or similar mulch. Keep mulch 6" back from trunk. Backfill: Use approved backfill per specification. Water thoroughly to eliminate air pockets. Do not tamp! Rootball - Remove burlap and twine from top 1/2 rootball. If synthetic mesh - remove completely once in place. Existing soil. Soil under rootball undisturbed to support root ball and reduce settling.

1 Tree Planting Detail Not To Scale



Prune tree as required - methods vary depending on species and time of year. (See specification) Remove transit guard. Wrap trunk of tree if required (See specifications). Plant tree at 1"-2" above level of finish grade. Allow for settling. 4" soil saucer. Rootball - Remove burlap and twine from top 1/2 rootball. If synthetic mesh - remove completely once in place. Existing soil. Soil under rootball undisturbed to support root ball and reduce settling.

PROJECT INFORMATION

Madison Fire Station 13



ISSUANCE AND REVISIONS

Plan Commission

KEY PLAN

SHEET INFORMATION

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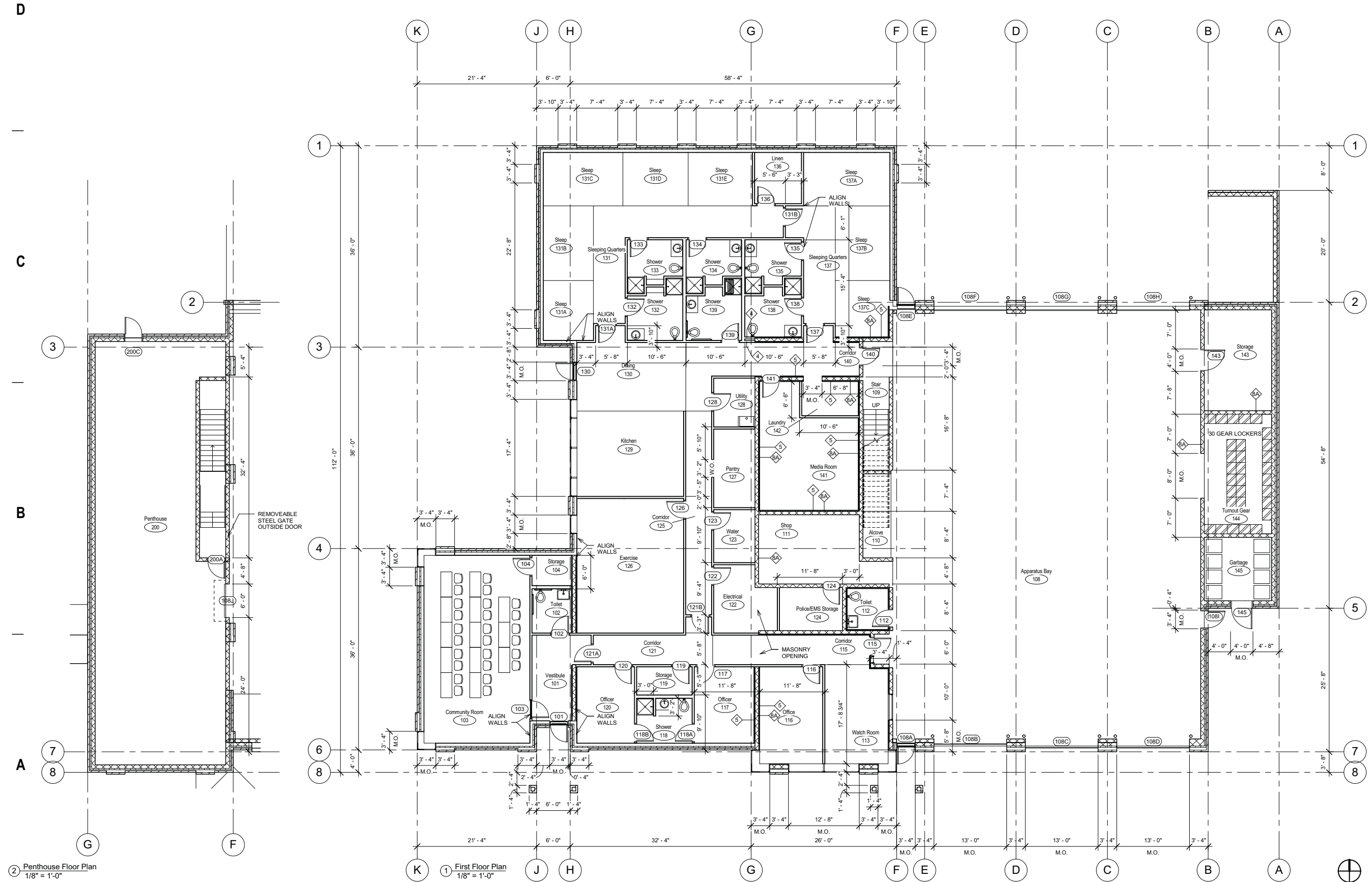
DATE
September 5, 2012

PROJECT NUMBER
120062.00

STUDIO
Sabinash

Floor Plan

A100



2 Penthouse Floor Plan
1/8" = 1'-0"

1 First Floor Plan
1/8" = 1'-0"

