

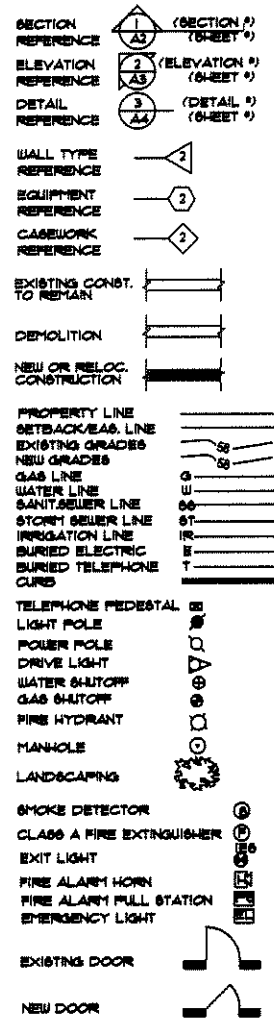
SAVANNA ON THE PARK TOWNHOUSES

* PHASE '4' (12 UNITS) * CONDOMINIUM'S *
6733 FAIRHAVEN ROAD, MADISON, WISCONSIN

GENERAL NOTES

- THIS DRAWING IS A PART OF A SET OF CONSTRUCTION DOCUMENTS DATED 10/13/2017.
- THE ARCHITECT'S, AND OR ENGINEER'S SEAL, & SCOPE OF RESPONSIBILITY IS LIMITED TO THE INFORMATION SHOWN ON THE 'A' PREFIX DRAWINGS, AND THE PROJECT MANUAL, IF ANY, WHICH REPRESENTS HIS UNDERSTANDING OF THE PROJECT REQUIREMENTS PROVIDED BY THE OWNER'S AGENTS, OR REPRESENTATIVE, THE ENGINEER'S SEAL/S, IF ANY, AND SCOPE OF RESPONSIBILITY APPLIES ONLY TO THE INFORMATION ON THEIR DRAWINGS AND CALCULATIONS. THE STRUCTURAL CALC'S ARE PART OF THE DOCUMENTS.
- THE OWNER, GENERAL CONTRACTOR, AND THEIR CONSULTANTS SHOULD REVIEW THE DESIGN INTENT, WORK SCOPE, AND GENERAL ADEQUACY OF THESE DOCUMENTS TO SATISFY THEIR EXPECTATIONS FOR THE FINISHED PROJECT, AND ADVISE THE ARCHITECT OF ANY DESIRED REVISIONS.
- THE SCOPE OF WORK IS INDICATED ON THE PLANS. CONFIRM THIS WITH THE OWNER PRIOR TO CONTRACT EXECUTION. ALL WORK SHALL COMPLY WITH APPLICABLE CODES.
- THE G.C. WILL PROVIDE A COPY OF THESE DRAWINGS TO HIS CONSULTING ENGINEERS AND OR DESIGNERS FOR THEIR REVIEW & APPROVAL PRIOR TO CONSTRUCTION.
- THE DEGREE OF COMPLIANCE WITH FEDERAL A.D.A. REQUIREMENTS DESIRED BY THE OWNER MUST COMPLY WITH WISCONSIN CODE.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROPER CODE DESIGN AND RELATED PERMIT ACQUISITIONS FOR ALL CIVIL, SITE DRAINAGE, PLUMBING, ELECTRICAL, & HVAC WORK REQUIRED, FOR THE COMPLETED PROJECT IN ACCORDANCE WITH CODE.
- QUESTIONS FROM SUBCONTRACTORS SHOULD BE DIRECTED TO THE GENERAL CONTRACTOR, WHO WILL RELAY THEM TO THE ARCHITECT.
- PRIOR TO CONTRACT EXECUTION, THE G.C. IS RESPONSIBLE TO REVIEW THE SCOPE OF WORK AND ASSOCIATED PROJECT PHASING REQUIREMENTS OF THE OWNER, AND TO ADVISE BOTH THE OWNER AND THE ARCHITECT OF ANY EXISTING CONDITIONS OR OTHER RELEVANT ISSUES WHICH MAY AFFECT THE PROJECT SCHEDULE AND OTHER REQUIREMENTS.
- IF REQUESTED BY THE OWNER OR OTHERWISE REQUIRED BY THE DOCUMENTS THE G.C. SHALL PROVIDE THE FOLLOWING SUBMITTALS ON THE FORMAT OF CURRENT A.I.A. DOCUMENTS, UNLESS OTHERWISE ALLOWED:
A-308 CONTRACTOR'S QUALIFICATION STATEMENT.
9-109 CERTIFICATE OF INSURANCE
A-311 OR A-312, AS APPLICABLE, PERFORMANCE & LABOR & MATERIAL PAYMENT BOND.
- AFTER EXECUTION OF THE CONTRACT FOR CONSTRUCTION, AND PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE G.C. WILL FURNISH THE OWNER WITH A SCHEDULE OF VALUES, AND A PROPOSED CONSTRUCTION SCHEDULE.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL FIELD CONDITIONS, DIMENSIONS, AND ALIGNMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. APPLIES TO THE ASSOCIATED INFORMATION CONTAINED IN THE CONSTRUCTION DOCUMENTS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CURRENT SET OF CONTRACT CONSTRUCTION DOCUMENTS ON SITE DURING THE COURSE OF CONSTRUCTION, WHICH INDICATE ALL APPROVED CHANGES TO THE WORK.
- MATERIAL SUBSTITUTION WILL BE CONSIDERED IF SUBMITTED TO THE ARCHITECT IN WRITING FOR HIS REVIEW, AND WRITTEN ACCEPTANCE, IN ACCORDANCE WITH THE PROJECT MANUAL.
- DIMENSIONS SHOWN ON THE PLANS ARE TO FACE OF STUD OR CONCRETE, UNLESS OTHERWISE INDICATED.
- THESE DRAWINGS SHOULD NOT BE SCALED.

SYMBOLS



INDEX OF DRAWINGS

- TS TITLE SHEET
S-1 SITE, GRADING, & UTILITY PLAN
L-1 LANDSCAPE PLAN
A1 FOUNDATION PLAN
A2 FOUNDATION DETAILS
A2a U.G. PARKING PLAN
A3 FIRST FLR. FRAMING PLAN
A4 SECOND FLR. FRAMING PLAN
A5 LOFT FLR. FRAMING PLAN
A6 ROOF FRAMING PLAN
A7 FIRST FLOOR PLAN
A8 SECOND FLOOR PLAN
A9 LOFT FLOOR PLAN
A10 1/4' FIRST FLOOR PLANS
A11 1/4' SECOND FLOOR PLANS
A12 1/4' LOFT PLANS
A13 NOT USED AT THIS TIME
A14 NOT USED AT THIS TIME
A15 GARAGE ELECTRIC PLAN
A16 1/4' FIRST FLOOR ELECTRIC PLANS
A17 SECOND FLOOR ELECTRIC PLANS
A18 1/4' LOFT ELECTRIC PLANS
A19 ELEVATIONS
A20 ELEVATIONS
A21 WALL SECTIONS
A22 WALL SECTIONS
A23 BUILDING SECTIONS
A24 BUILDING SECTIONS
A25 DETAILS

RENDERING



PROJECT DATA

OWNER /DEVELOPER: CONSTRUCTION MANAGER: SAVANNA ON THE GREEN, LLC. MADISON, WI. CONSTRUCTION CONSULTANTS: ELLIOTT CONSTRUCTION INC. MIDDLETON, WISCONSIN DESIGNER: LOUTHER & ASSOCIATES DESIGN LLC MADISON, WISCONSIN CIVIL ENGINEER: ROYAL OAKS ENGINEERING MADISON, WISCONSIN STRUCTURAL ENGINEER: JIM BANDT OREGON, WISCONSIN ENGINEER OF RECORD: BANDT ENGINEERING OREGON, WISCONSIN	PROJECT DESCRIPTION CONDOMINIUMS PROJECT ADDRESS LOTS 1 CSM 1226 SW 1/4 OF THE NE 1/4, OF SEC. 12, T06N, R06E, 6733 FAIRHAVEN ROAD CITY OF MADISON, DANE COUNTY, WISCONSIN ZONING R1D RESIDENTIAL OCCUPANCY TYPE R-2, RESIDENTIAL R-2, UNDERGROUND PARKING	DEVELOPMENT DATA: LAND AREA: 26271 SQ. FT. (6.0 ACRES) BUILDING HEIGHT - 3 STORIES FIN. 1ST FLOOR TO ROOF DECK + 36'-0" BUILDING AREA: TOTAL GROSS NET BUILDING 6,477 S.F. 2,182 S.F. 7,189 S.F. 5,198 S.F. 13,708 S.F. 8,415 S.F.	CONSTRUCTION TYPE TYPE V-A - AT RESIDENTIAL AREA TYPE I-A - AT PARKING GARAGE OWNER LOUTHER & ASSOCIATES DESIGN LLC 120 TELEMARK PARKWAY MT. HOEN, WI 53672 608.437.1201 STRUCTURAL ENGINEER BANDT ENGINEERING PC 155 HICKORY COURT OREGON, WI 53675 PH 608.433.9494 PROJ. NO. 200710
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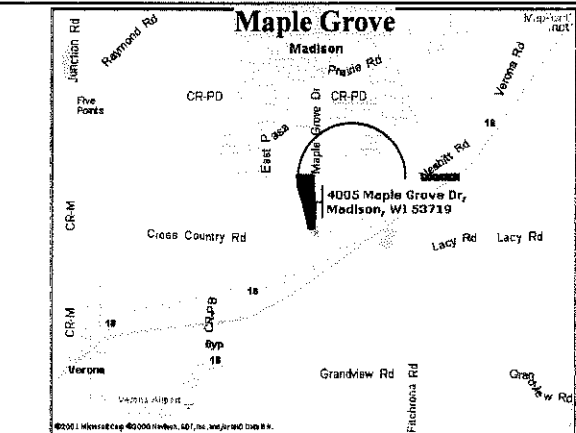
APPROVALS

BUILDER	CLIENT	ARCHITECT OR ENGINEER SEAL

APPROVAL AGENCY

CODE DATA: JURISDICTION CODE: WISCONSIN UNIMPLE. COMMERCIAL BUILDING CODE OCCUPANCY TYPE: R-2, RESIDENTIAL CONSTRUCTION TYPE: V-A - AT R-2 AREA (RESIDENTIAL) FIRE PROTECTION: AT UNDERGROUND PARKING: FULLY AUTOMATIC FIRE SUPPRESSION SYSTEM PER NFPA-13 (DRY OR DELCO) (2) 1/2" SEPARATION BETWEEN R-2 AND R-2 PROVIDED AT RESIDENTIAL AREA. AUTOMATIC FIRE SUPPRESSION SYSTEM PER NFPA-13A	PARKING DATA: UNDERGROUND PARKING: 81 NET UNDERGROUND PARKING STALLS SURFACE PARKING: 4 NET SURFACE PARKING STALLS TOTAL: 85 HANDICAP PARKING STALLS REQUIRED: (2) HANDICAP PARKING STALLS PROVIDED: (3) SIDE STALLS REQUIRED: 18 SIDE STALLS PROVIDED: 18
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LOCATION MAP



ABBREVIATIONS

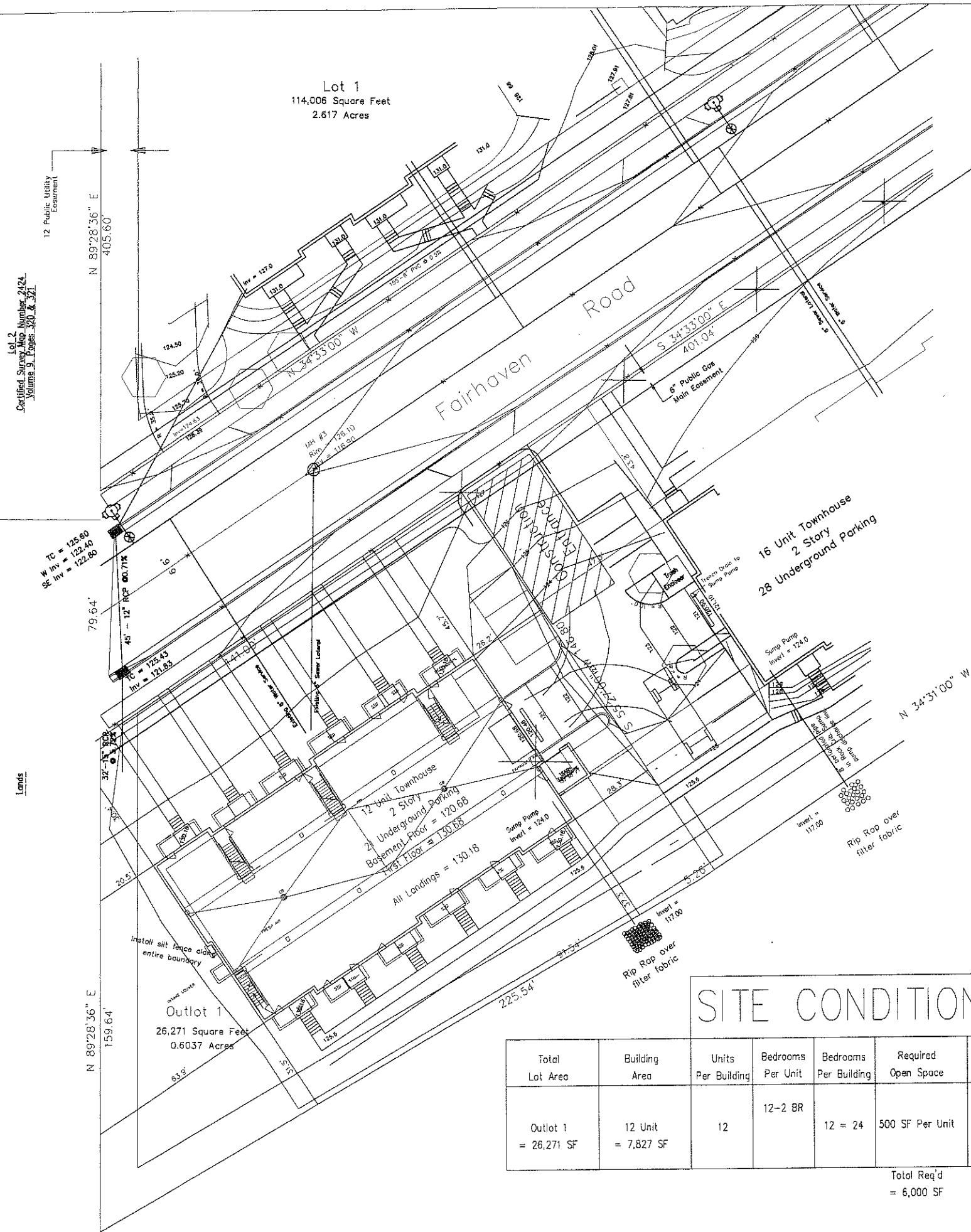
AB ANCHOR BOLT	FLR FLOOR	GT GLAZED TILE
APF ABOVE FINISH FLOOR	POP FACE OF FINISH	QTY QUANTITY
ACT ACoustical CEILING TILE	FCM FACE OF MASONRY	R RADIUS
BM BEAM	FSB FACE OF STUD	REIN REINFORCE (ED) (ING)
BOF BOTTOM OF FOOTING	FRR FIBERGLASS REINFR. PANEL	RM ROOM
CJ CONSTRUCTION JOINT	GWB GYPSUM WALL BOARD	SMT SIMILAR
CLG CEILING	G.C. GENERAL CONTRACTOR	S.S.T. STAINLESS STEEL
CL CENTER LINE	HT HEIGHT	STL STEEL
COL COLUMN	IE IN OTHER WORDS...	TEP-TI TEMPERED
CONC. CONCRETE	JT JOINT	TB TRUSS BEARING
CT CERAMIC TILE	INSUL INSULATION	TOC TOP OF CONCRETE
D DEPTH	INT INTERIOR	TOP TOP OF FOOTING
DO DITTO	L LENGTH	TOB TOP OF STEEL
DS DOWNPOUT	MAT MATERIAL	TOW TOP OF WALL
DM DIMENSION	MET METAL	TYP TYPICAL
EJ EXPANSION JOINT	MFP MULTIPLE POINT DELIVERY	UN UNLESS OTHERWISE NOTED
EPS EXT. INSUL. FINISH SYSTEM	MFR MOISTURE RESISTANT	VB VINYL BASE
ETR EXISTING TO REMAIN	NTS NOT TO SCALE	VBAR VAPOR BARRIER
EQ EQUAL	PL PLATE	VCT VINYL COMPOSITION TILE
EUB EACH WAY AT BOTTOM	FR PAIR	VP VERIFY IN FIELD
EXT EXTERIOR	PT POINT	VP VISION PANEL
FD FLOOR DRAIN	OD OUTSIDE DIMENSION	W WIDTH
FEK FIRE EXTINGUISHER	POB POINT OF SALE	W WITH
FF FINISH FLOOR		WD WOOD

LOUTHER & ASSOCIATES DESIGNS LLC
20 TELEMARK PARKWAY, MT. HOEN, WISCONSIN 53672 • 608.437.1201
SAVANNA ON THE PARK PHASE 4, 12 UNITS
PROJECT NO. 200710
DATE: 10/13/2017
BY: [Signature]
CHECKED BY: [Signature]
DATE: 10/13/2017
TITLE SHEET
12 OF 25

Lot 2
Certified Survey Map Number 2424
Volume 9, Pages 320 & 321

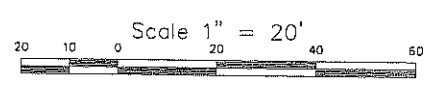
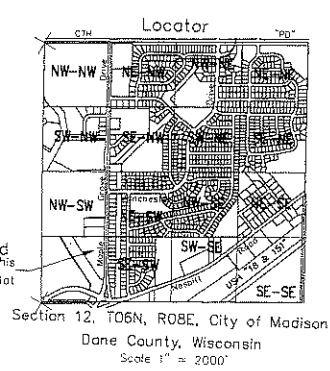
Lands

Lot 1
114,006 Square Feet
2.617 Acres



LEGEND:

- Existing Contours
- Finish Contours
- Finish Elevation
- Silt Fence - back of walk all around
- Earth Berm
- Fabric Garbage Truck Movement
- Street Signs
- Stone Wall
- Existing "No Parking"
- Existing "Restricted Lane Ends"
- Existing "Curb Lane"
- Parking
- Bicycles and Right Turns Only
- Proposed "Stop"
- Stand Pipe in Sump Pump Line
- Perforated Pipe Stone Bed



NOTES:

1. Garbage & trash to be removed by private vendor.
2. Snow removal & maintenance will be done by private vendor.
3. Bike parking available in garage and some surface areas.
4. All steps to have railings to meet code.
5. Trucks leaving site during construction shall clean tires. All material deposited in public right of way shall be swept up daily.
6. Place 2000 CF Polymers on all disturbed areas with slopes greater than 5:1.
7. Garage floor drains will discharge into sanitary sewers and is to be designed by the plumbing contractor.
8. All buildings will be built at one time.

Prepared By:
Royal Oak Engineering
5610 Medical Circle
Madison, WI 53719
608-274-0500

Prepared For:
Bill Roche - Savanna on the park LLC
6425 Odana Road
Madison, WI 53719
608-277-9322

Lot 1, CSM No. 12128
Savanna on the Park
Site Plan, PUD - GDP - SIP
Control & Grading Plan

Lying in the Southwest 1/4 of the
Southwest 1/4 of Section 12, T06N,
R08E, City of Madison,
Dane County, Wisconsin

SITE CONDITIONS

Total Lot Area	Building Area	Units Per Building	Bedrooms Per Unit	Bedrooms Per Building	Required Open Space	Open Space Provided	Required Parking	Parking Surface	Parking Garage
Outlot 1 = 26,271 SF	12 Unit = 7,827 SF	12	12-2 BR	12 = 24	500 SF Per Unit		1.75 Per 2 BR	6	20
				Total Req'd = 6,000 SF		6,300 SF	Total Req'd = 21	Total = 6	Total = 20

verano/section12/permits/outlet19/
14564LA-4 - DESIGN

Fairhaven Road



4387 Schwartz Rd.
Madison, WI 53682
PH: (608) 827-9401
FAX: (608) 827-9402
WEB: www.olsonwills.com

Savanna On The Park 12 Unit

Fairhaven
Madison, WI

NOTE:
ALL PLANTING BED TO BE WASHSTONE
WITH BLACK VINYL EDGING UNLESS
NOTED DIFFERENTLY

LANDSCAPE WORKSHEET
Paving, Site, Storage Area and Loading Area
(Section 20 of Madison General Ordinance)

Project Location/Address: Northwest of Intersection of Lake View Ln. & Riverside Ct.
Name of Project: Village of Fanning Landscaping
Address: [Blank]

Number of Trees Planted:
The number of trees to be planted for a parking lot is based on the number of parking stalls. Using the formula: 10 trees per 100 parking stalls. The number of trees to be planted is based on the number of parking stalls. The number of trees to be planted is based on the number of parking stalls.

Number of Parking Stalls: 8
Total Area: 10000
Number of Curbs: 1

Number of Planting Beds:
Number of Planting Beds: 130
Number of Planting Beds: 8
Number of Planting Beds: 30

Subject	Quantity	Notes
Curbs 2" x 12"	1	
Planting Beds	130	
Planting Beds	8	
Planting Beds	30	
TOTAL	168	

Approved by: [Blank]

RAIN GARDEN PLANTS

(planted in drifts, with 12" on center spacing)

COMMON NAME	SCIENTIFIC NAME	SIZE	ROOT TYPE	QUANTITY
Nodding Pink Onion	Allium certinum	3"	container	24
Red Milkweed	Asclepias incarnata	3"	container	8
New England Aster	Aster novae-angliae	3"	container	18
White Pine Indigo	Baptisia lactosa	3"	container	4
White Aster	Boltonia asteroides	3"	container	12
Blue Flag Iris	Iris versicolor	3"	container	12
Prairie Blackmaster	Liatris scariosa	3"	container	12
Wild Geranium	Geranium macranthum	3"	container	8
Smooth Penstemon	Penstemon digitalis	3"	container	8
Sweet Black-eyed Susan	Rudbeckia subtomentosa	3"	container	18
Ohio Goldenrod	Solidago ohioensis	3"	container	12
Black-eyed Susan	Rudbeckia hirta	3"	container	18
Wild Sunflower	Helianthus annuus	3"	container	18
Joe-Pye Weed	Eupatorium maculatum	3"	container	8
Ox-eye Sunflower	Helicopsis scabra	3"	container	18
Wild Iris	Iris sibirica	3"	container	18
Common Bluebell	Lobelia siphilitica	3"	container	18
Cardinal Flower	Lobelia cardinalis	3"	container	18
Great Blue Lobelia	Lobelia siphilitica	3"	container	18
Monkeyflower	Mimulus lewisii	3"	container	8
Black-eyed Susan	Rudbeckia trilobis	3"	container	18
Yellow Coneflower	Rudbeckia hirta	3"	container	18
Brown-eyed Susan	Rudbeckia trilobis	3"	container	18
Cupplant	Siphium perfoliatum	3"	container	11
Prairie Dock	Siphium perfoliatum	3"	container	11
Golden Alexander	Zizia aurea	3"	container	12
Blue Star	Andropogon gerardii	3"	container	12
Canada Wild Rye	Elymus canadensis	3"	container	12
Canada Wild Rye	Elymus canadensis	3"	container	12
Blueberry Grass	Hyssopus officinalis	3"	container	12
Fox Sedge	Carex vulpinoidea	3"	container	12
TOTAL				648

Note: Plant plugs to be installed by landscape contractor.

RAIN GARDEN (845 SF)
SHREDDED BARK MULCH w/ SHOVEL-CUT EDGING

(3) BLACK HILLS SPRUCE

(1) RIVER BIRCH

(1) JAPANESE TREE LILAC

(2) SNOWMOUND SPIREA

(1) YOUNGSTOWN JUNIPER

(3) STELLA D'ORO DAYLILY

(2) MISS KIM LILAC

(8) HAMELN DWF FOUNTAIN GRASS

(3) YOUNGSTOWN JUNIPER

(1) JAPANESE TREE LILAC

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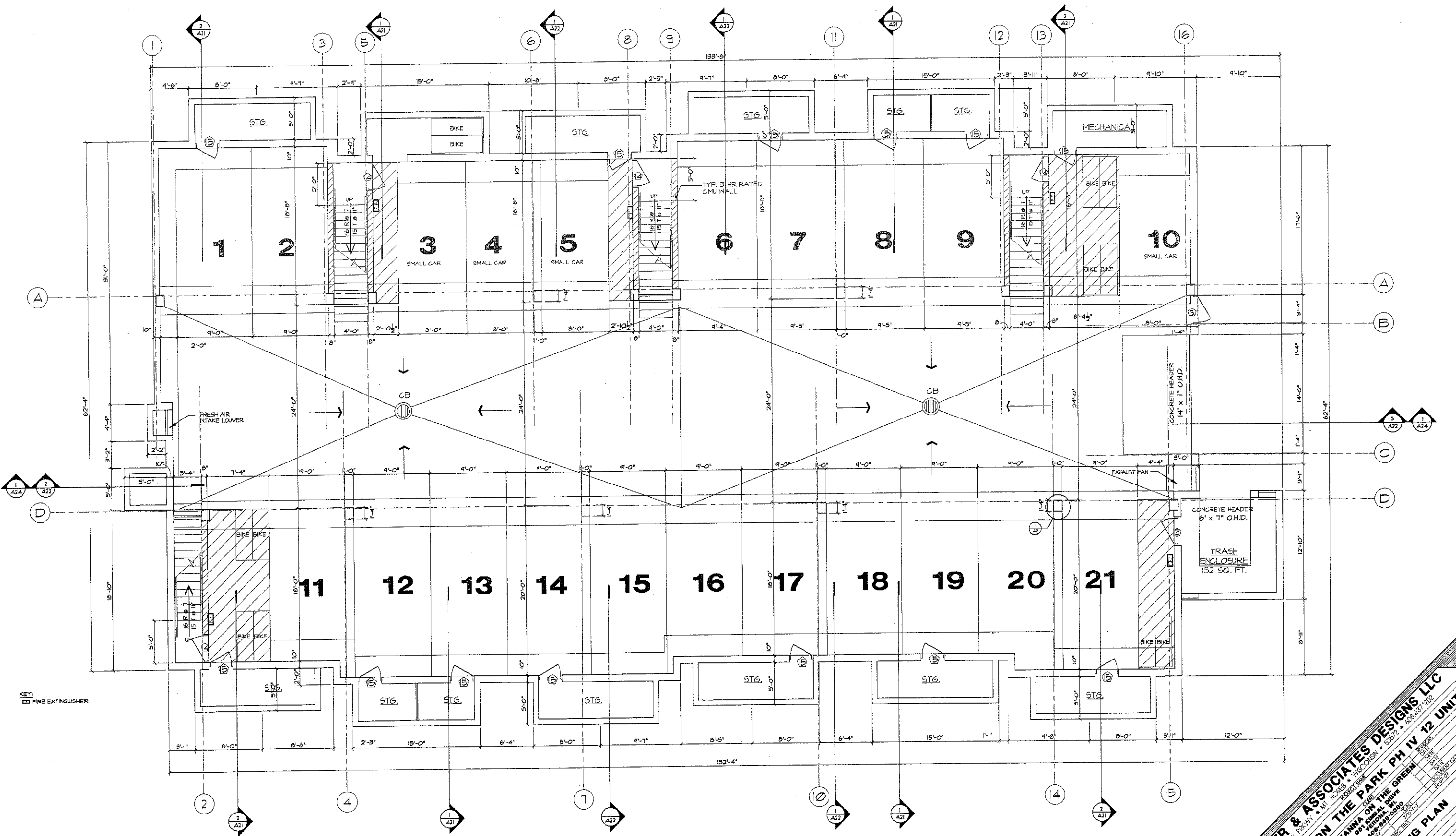
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KEY:
 FIRE EXTINGUISHER

1 **PARKING GARAGE, 8,447 SQ. FT.**
 A28 3/16" = 1'-0"



LOUTHER & ASSOCIATES DESIGNS LLC
 120 FLYING DUTCHMAN RD. SUITE 1000, WASHINGTON, VA 22192
 (703) 433-8800

SAVANNA ON THE PARK PH IV 12 UNIT
 PROJECT NAME: SAVANNA ON THE PARK PH IV 12 UNIT
 PROJECT NO.: 2017-001
 PROJECT DATE: 03/16/2017
 PROJECT TYPE: UG PARKING PLAN
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

A28a

- TYPICAL TOILET FIXTURES
- (A) MEDICINE CABINET @ 48" AFF. TO BOTTOM OF CABINET
 - (B) 24" TOILET BAR @ 48" AFF.
 - (C) 18" TOILET BAR @ 48" AFF.
 - (D) TOILET DISPENSER @ 18" AFF.

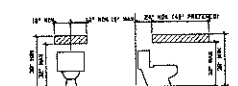
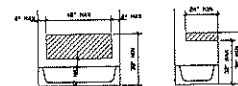
WALL TYPES:
 TYPICAL PARTY WALL:
 DOUBLE WALL, 3/4" STUDS AT 16" O.C. (W/ 1" GAP BETWEEN PLATES) W/ 1 LAYER 5/8" FIRE CODE GYP. BOARD ON EACH OUTER FACE & 1/2" EXT. GYP. SHEATHING W/ 3/4" ATTENUATION BLANKET ON ONE STUD SIDE WALL ONLY. 1/2" AIR GAP BETWEEN WALLS. 1 LAYER 5/8" FIRE CODE GYP. BOARD ON RC-1 CHANNELS @ 24" O.C. WHERE PLUMBING WALL IS ALSO PARTY WALL. APPLY 5/8" GAB OVER ENTIRE WALL BEFORE SETTING TUB MODULE. ADJUST WALL DIMENSIONS AS REQ'D AT TUB & SHOWER MODULES.

NOTE:
 SEE UNIT PLANS FOR WALL TYPES.

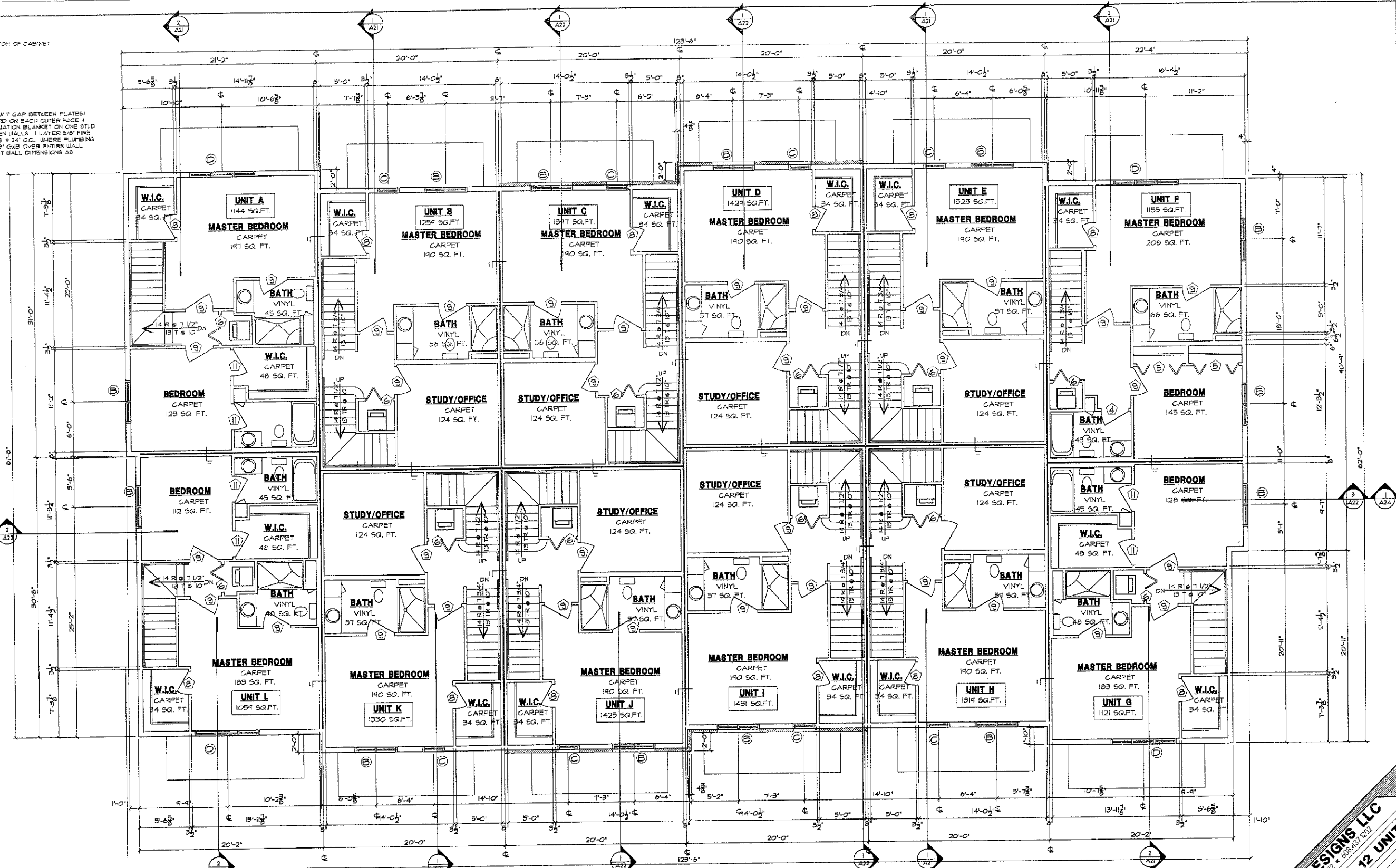
- 3/8" GYP. BRD.
- 3/4" ATTENUATION BLANKET
- 1/2" EXT. GYP. SHEATHING
- 1" AIR GAP
- 2 x 4 UD STUD
- RC-1 CHANNEL
- 5/8" FIRE CODE GYP. BRD.

- TYPICAL UNIT NOTES
1. LIGHT FIXTURES, ELECTRICAL OUTLETS, THERMOSTATS AND OTHER ELECTRICAL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL OTHER APPLICABLE CODES. ALL ELECTRICAL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. ALL ELECTRICAL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 2. ALL BEDROOM CLOSETS TO HAVE TWO CLOSET RODS AND TWO HANGERS. ALL CLOSET RODS TO BE 1/2" DIA. ALL CLOSET HANGERS TO BE 1/2" DIA. ALL CLOSET RODS AND HANGERS TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 3. ALL BATH ROOMS TO HAVE ONE TUB AND ONE SHOWER. ALL TUBS AND SHOWERS TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
 4. ALL CABINET DESIGNATIONS ARE PER LOCAL CODES.

NOTE:
 IN BEDROOM CLOSETS USE DOUBLE BARS AND HANGERS. IN BATH ROOMS USE DOUBLE BARS AND HANGERS. IN ALL OTHER CLOSETS USE SINGLE BARS AND HANGERS. IN ALL OTHER CLOSETS USE SINGLE BARS AND HANGERS.



■ FIRE EXTINGUISHER



SECOND FLOOR PLAN, 7,529 SQ. FT.

ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOORS	BASES	WALLS	Ceilings	REMARKS
1	PARKING LEVEL	1	1	1	1	
2	STAIR	1	1	1	1	
3	STAIR ENCLOSURE	1	1	1	1	
4	STORAGE AREAS	1	1	1	1	
5	ELECTRICAL	1	1	1	1	
6	LIVING	1	1	1	1	
7	DINING	1	1	1	1	
8	KITCHEN	1	1	1	1	
9	BATHROOM	1	1	1	1	
10	CL. (CLOSET)	1	1	1	1	
11	W.C. (WATER CLOSET)	1	1	1	1	
12	W.I.C. (WATER CLOSET)	1	1	1	1	

DOOR SCHEDULE

MARK	DOOR	CLASS	GLASS	LABEL	REMARKS/LOCATION
1	3'-0" x 6'-8" 1/3/4"	INTL	ENTRY	NO	ENTRY DR. W/ 1/2" TYP. INSL. APARTMENT ENTRY FROM CORRIDOR
2	3'-0" x 6'-8" 1/3/4"	INTL	FLUSH	NO	MECH. RT.
3	3'-0" x 6'-8" 1/3/4"	INTL	FLUSH	NO	BATH & BORN'S
4	3'-0" x 6'-8" 1/3/4"	INTL	FLUSH	NO	GLS. BI-HOLD
5	3'-0" x 6'-8" 1/3/4"	INTL	FLUSH	NO	POCKET DOOR
6	3'-0" x 6'-8" 1/3/4"	INTL	FLUSH	NO	CLOSET DOOR
7	3'-0" x 6'-8" 1/3/4"	INTL	FLUSH	NO	FL. BEDROOM BATH
8	3'-0" x 6'-8" 1/3/4"	INTL	FLUSH	NO	BEDROOM / BATH OVERHEAD
9	3'-0" x 6'-8" 1/3/4"	INTL	FLUSH	NO	INSL. EXT. PANEL
10	3'-0" x 6'-8" 1/3/4"	INTL	FLUSH	NO	HANDL. INSL.
11	3'-0" x 6'-8" 1/3/4"	INTL	FLUSH	NO	STORAGE UNIT DR. HOLLOW ROLL UP CLO.
12	3'-0" x 6'-8" 1/3/4"	INTL	FLUSH	NO	

WINDOW SCHEDULE

MARK	MODEL	MANUFACTURER	R.O. SIZE		TYPE	MATERIAL	GRILLES
			WIDTH	HEIGHT			
1	CW255	ANDERSON	4'-8" 1/2"	6'-4" 13/16"	CABEMENT	CLAD	FRAIRIE
2	CW245	ANDERSON	4'-8" 1/2"	6'-4" 13/16"	CABEMENT	CLAD	FRAIRIE
3	CW145	ANDERSON	7'-4" 3/8"	4'-4" 13/16"	CABEMENT	CLAD	FRAIRIE
4	CW145-3	ANDERSON	7'-4" 3/8"	4'-4" 13/16"	CABEMENT	CLAD	FRAIRIE
5	CW155	ANDERSON	7'-4" 3/8"	6'-4" 13/16"	CABEMENT	CLAD	FRAIRIE
6	CW255	ANDERSON	4'-8" 1/2"	6'-4" 13/16"	CABEMENT	CLAD	FRAIRIE
7	CW155	ANDERSON	7'-4" 3/8"	3'-4" 13/16"	CABEMENT	CLAD	FRAIRIE

LOUTHER & ASSOCIATES DESIGNS LLC
 200 TELEMARK DRIVE • MT. KEOCK, MISSOURI 64577 • 660.431.7022

SAVANNA ON THE PARK PH IV 12 UNIT

PROJECT NUMBER: 2024-0010
 DATE: 08/20/24
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT MANAGER: [Name]

SECOND FLOOR PLAN

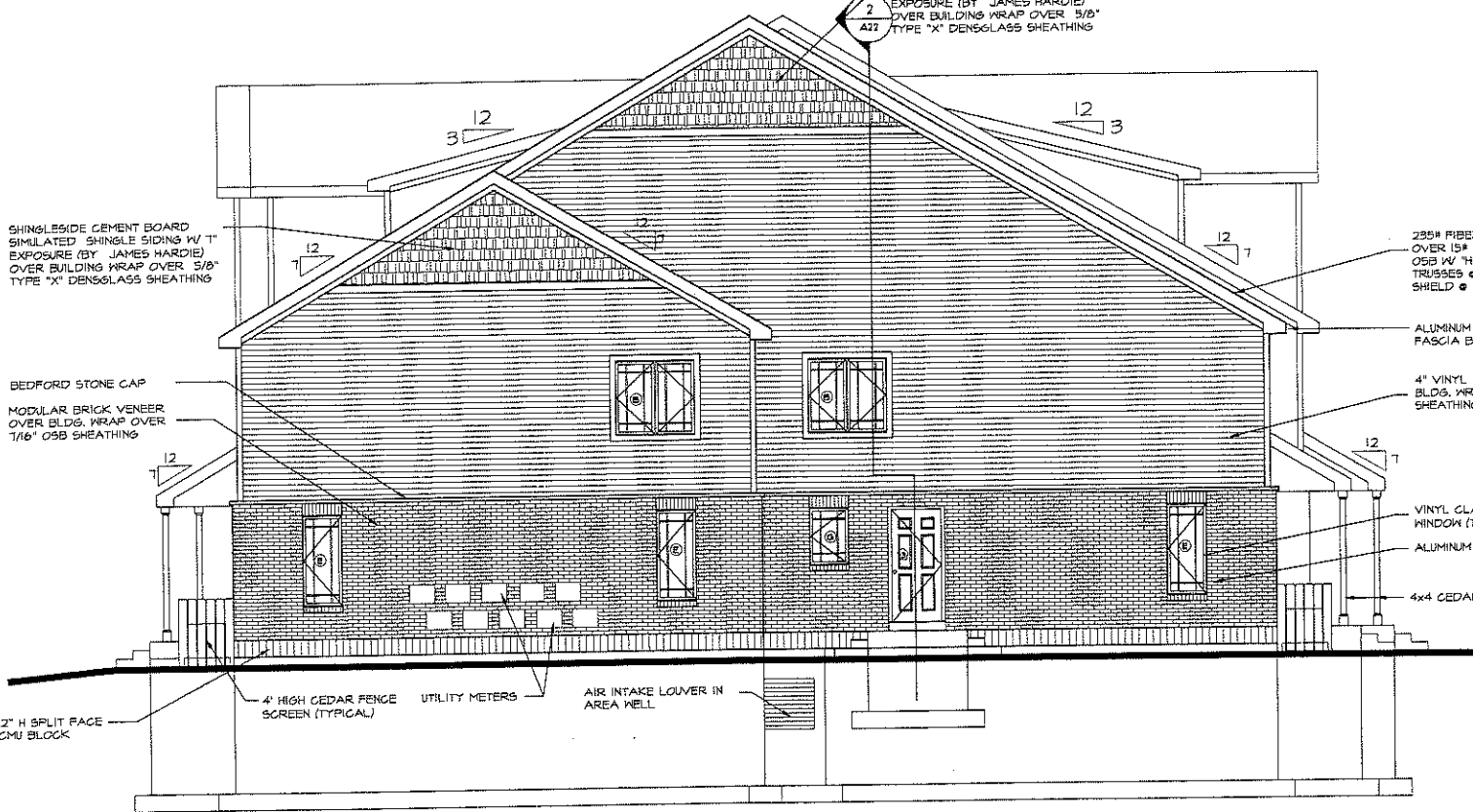
A8



- ROOF RIDGE
ELEVATION - 137'-0"
- TOP OF LOFT FLOOR WALL
ELEVATION - 126'-11 7/8"
- LOFT FLOOR WINDOW HEADER
ELEVATION - 125'-6 3/4"
- TOP OF LOFT FLOOR
ELEVATION - 118'-10 3/4"
- ROOF TRUSS BEARING
ELEVATION - 118'-0 1/2"
- SECOND FLOOR WINDOW HEADER
ELEVATION - 116'-8 1/8"
- TOP OF SECOND FLOOR
ELEVATION - 110'-0 1/8"
- FIRST FLOOR WINDOW HEAD
ELEVATION - 107'-10"
- TOP OF FIRST FLOOR
ELEVATION - 101'-0"
- TOP OF FOUNDATION WALL
ELEVATION - 100'-0"
- TOP OF FOUNDATION FOOTING
ELEVATION - 91'-3"
- TOP OF FOUNDATION FOOTING
ELEVATION - 87'-10"

1 NORTHEAST ELEVATION:
A18 3/18" x 1'-0"

- ROOF RIDGE
ELEVATION - 137'-0"
- TOP OF LOFT FLOOR WALL
ELEVATION - 126'-11 7/8"
- LOFT FLOOR WINDOW HEADER
ELEVATION - 125'-6 3/4"
- TOP OF LOFT FLOOR
ELEVATION - 118'-10 3/4"
- ROOF TRUSS BEARING
ELEVATION - 118'-0 1/2"
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- FIRST FLOOR WINDOW HEAD
ELEVATION - 107'-10"
- TOP OF FIRST FLOOR
ELEVATION - 101'-0"
- TOP OF FOUNDATION WALL
ELEVATION - 100'-0"
- TOP OF FOUNDATION FOOTING
ELEVATION - 91'-3"
- TOP OF FOUNDATION FOOTING
ELEVATION - 87'-10"



2 SOUTHWEST ELEVATION:
A19 3/18" x 1'-0"

LOUTHER & ASSOCIATES DESIGNS LLC
 600 TELEMARK DRIVE • MARIETTA, GA 30067 • 770-427-1002
 ARCHITECTS • INTERIORS • LANDSCAPE ARCHITECTS

SAVANNA ON THE PARK PH IV 12 UNIT
 CLIENT: SAVANNA ON THE PARK
 PROJECT: PH IV 12 UNIT
 DATE: 03/18/2022
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NUMBER: [Number]
 SHEET NUMBER: [Number]

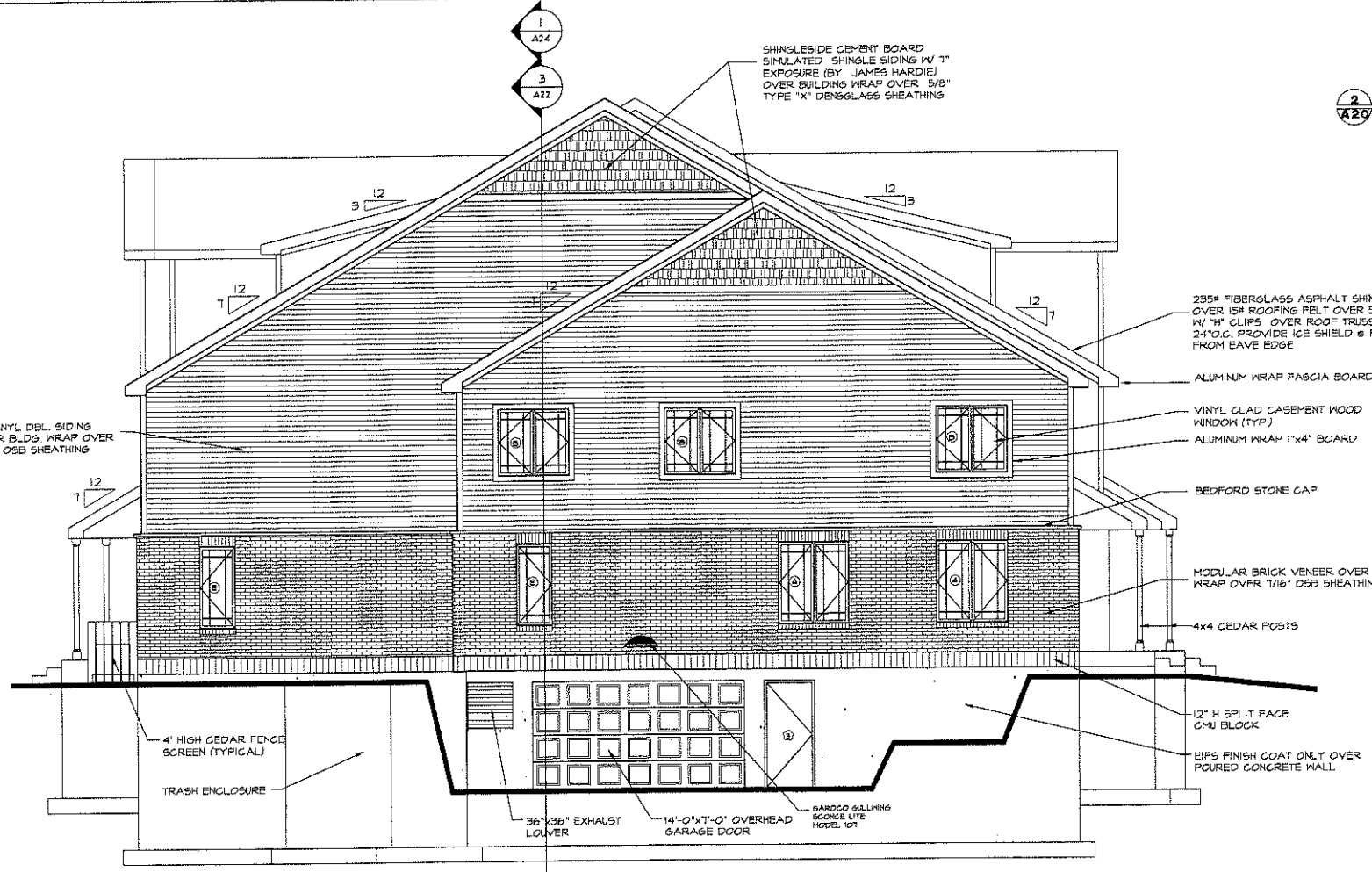
ELEVATIONS
 A19



- ROOF RIDGE
ELEVATION - 137'-0"
- TOP OF LOFT FLOOR WALL
ELEVATION - 126'-11 7/8"
- LOFT FLOOR WINDOW HEADER
ELEVATION - 125'-6 3/4"
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ELEVATION - 107'-10"
- TOP OF FIRST FLOOR
ELEVATION - 101'-0"
- TOP OF FOUNDATION WALL
ELEVATION - 100'-0"
- TOP OF FOUNDATION FOOTING
ELEVATION - 91'-3"
- TOP OF FOUNDATION FOOTING
ELEVATION - 87'-10"

2 NORTHWEST ELEVATION
A20 3/16" = 1'-0"

- ROOF RIDGE
ELEVATION - 137'-0"
- TOP OF LOFT FLOOR WALL
ELEVATION - 126'-11 7/8"
- LOFT FLOOR WINDOW HEADER
ELEVATION - 125'-6 3/4"
- TOP OF LOFT FLOOR
ELEVATION - 118'-10 3/4"
- ROOF TRUSS BEARING
ELEVATION - 118'-0 1/2"
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ELEVATION - 107'-10"
- TOP OF FIRST FLOOR
ELEVATION - 101'-0"
- TOP OF FOUNDATION WALL
ELEVATION - 100'-0"
- TOP OF FOUNDATION FOOTING
ELEVATION - 91'-3"
- TOP OF FOUNDATION FOOTING
ELEVATION - 87'-10"



2 NORTHEAST ELEVATION
A20 3/16" = 1'-0"

LOUTHER & ASSOCIATES DESIGNS LLC
200 TELEMARK PARKWAY • WILKES BARRE, PA 18202 • 570-833-1000

SAVANNA ON THE PARK PH IV 12 UNIT

PROJECT: SAVANNA ON THE PARK PH IV 12 UNIT
 CLIENT: SAVANNA ON THE GREEN
 901 WINDY DRIVE
 600 WINDY DRIVE
 WILKES BARRE, PA 18202

DATE: 03/12/17
 DRAWN BY: J. LOUTHER
 CHECKED BY: J. LOUTHER
 PROJECT ENGINEER: J. LOUTHER
 SCALE: AS SHOWN

A20