

# SAVANNA ON THE PARK TOWNHOUSES

\* PHASE "1" (50 UNITS) \* CONDOMINIUM'S \*  
MAPLE GROVE DRIVE, MADISON, WISCONSIN

8 Large  
8 reduced 11"x17"  
1 reduced 8 1/2"x11"  
AZ, A17, A18

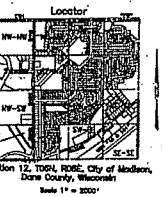
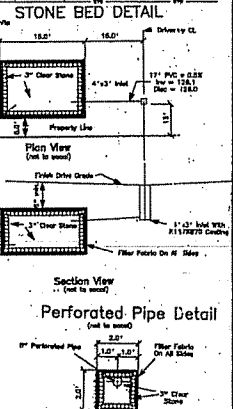
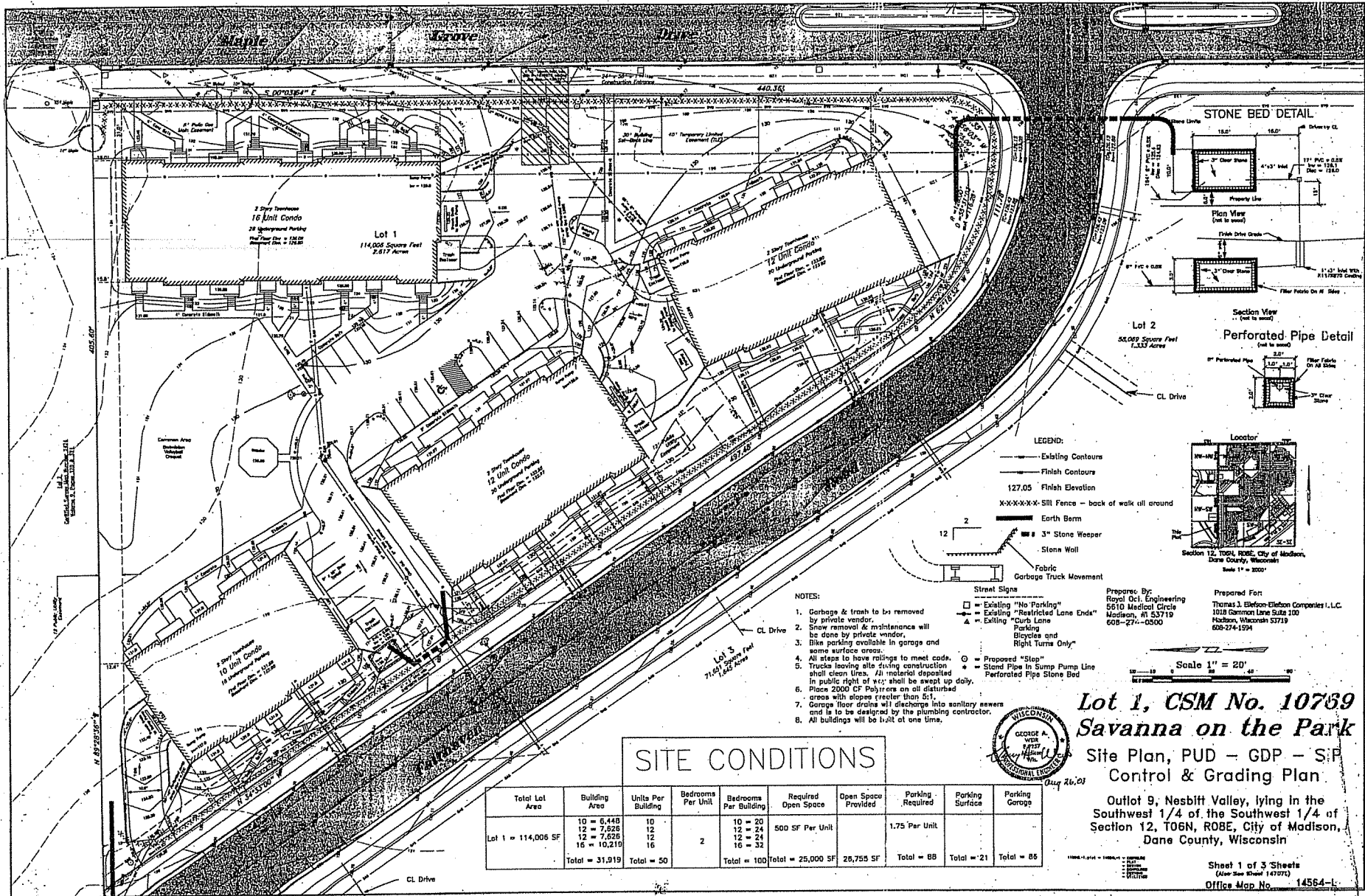
GENERAL NOTES	SYMBOLS	INDEX OF DRAWINGS	RENDERINGS																																																																																																																											
<p>1. THIS DRAWING IS A PART OF A SET OF CONSTRUCTION DOCUMENTS DATED 10/20/07.</p> <p>2. THE ARCHITECTS, AND OR ENGINEERS SEAL, SCOPE OF RESPONSIBILITY IS LIMITED TO THE INFORMATION SHOWN ON THE "AS PREPARED" DRAWINGS AND THE PROJECT MANUAL. IF ANY, WHICH REPRESENTS HIS UNDERSTANDING OF THE PROJECT REQUIREMENTS PROVIDED BY THE OWNER'S AGENTS, OR REPRESENTATIVE, THE ENGINEER'S SEAL(S), IF ANY, AND SCOPE OF RESPONSIBILITY APPLIED ONLY TO THE INFORMATION ON THEIR DRAWINGS AND CALCULATIONS. THE STRUCTURAL CALCULATIONS ARE PART OF THE DOCUMENTS.</p> <p>3. THE OWNER, GENERAL CONTRACTOR AND THEIR CONSULTANTS SHOULD REVIEW THE DESIGN INTENT, WORK SCOPE, AND GENERAL ADEQUACY OF THESE DOCUMENTS TO SATISFY THEIR OBLIGATIONS FOR THE FINISHED PROJECT, AND ADVISE THE ARCHITECT OF ANY OMISSIONS.</p> <p>4. THE SCOPE OF WORK IS AS SHOWN ON THE PLANS. CORRECT THIS WITH THE OWNER PRIOR TO CONSTRUCTION. ALL WORK SHALL COMPLY WITH APPLICABLE CODES.</p> <p>5. THE G.C. SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.</p> <p>6. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROPER CODE DESIGN AND RELATED PERMIT ACQUISITIONS FOR ALL CIVIL, SITE DRAINAGE, PULPING, ELECTRICAL, HVAC WORKS REQUIRED, FOR THE COMPLETED PROJECT IN ACCORDANCE WITH CODE.</p> <p>7. QUESTIONS FROM SUBCONTRACTORS SHOULD BE DIRECTED TO THE GENERAL CONTRACTOR, WHO SHALL RELAY THEM TO THE ARCHITECT.</p> <p>8. PRIOR TO CONTRACT EXECUTION, THE G.C. IS RESPONSIBLE TO REVIEW THE SCOPE OF WORK AND ASSOCIATED PRODUCT FINISHING REQUIREMENTS OF THE OWNER, AND TO ADVISE BOTH THE OWNER AND THE ARCHITECT OF ANY EXISTING CONDITIONS OR OTHER RELEVANT ISSUES WHICH MAY AFFECT THE PROJECT IN ACCORDANCE WITH CODE.</p> <p>9. IF REGULATED BY THE OWNER OR OTHERS AS REQUIRED BY THE DOCUMENTS THE G.C. SHALL PROVIDE THE FOLLOWING INFORMATION ON THE PORT OF CURRENT ALL DOCUMENTS UNLESS OTHERWISE ALLOWED: A - 50% CONTRACTORS QUALIFICATION STATEMENT. G - 50% CERTIFICATE OF INSURANCE. L - 50% OR A - 50% AN APPLICATION, PERFORMANCE &amp; LABOR &amp; MATERIAL PAYMENT BOND.</p> <p>10. AFTER EXECUTION OF THE CONTRACT FOR CONSTRUCTION AND PRIOR TO COMMENCEMENT OF CONSTRUCTION THE G.C. WILL FURNISH THE OWNER WITH A SCHEDULE OF VALUES AND A PROPOSED CONSTRUCTION SCHEDULE.</p> <p>11. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL FIELD CONDITIONS, DIMENSIONS AND ALIGNMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. APPLICABLE TO THE ASSOCIATED INFORMATION CONTAINED IN THE CONSTRUCTION DOCUMENTS.</p> <p>12. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CURRENT SET OF CONSTRUCTION DOCUMENTS ON SITE DURING THE COURSE OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.</p> <p>13. MATERIAL SUBSTITUTION WILL BE CONSIDERED &amp; SUBMITTED TO THE ARCHITECT IN WRITING FOR HIS REVIEW AND WRITTEN ACCEPTANCE, IN ACCORDANCE WITH THE PROJECT MANUAL.</p> <p>14. DIMENSIONS SHOWN ON THE PLANS ARE TO FACE OF STUD OR CONCRETE, UNLESS OTHERWISE INDICATED.</p> <p>15. THESE DRAWINGS SHOULD NOT BE SCALED.</p>	<p>SECTION REFERENCE (SHEET #)</p> <p>ELEVATION REFERENCE (SHEET #)</p> <p>DETAIL REFERENCE (SHEET #)</p> <p>WALL TYPE REFERENCE</p> <p>EQUIPMENT REFERENCE</p> <p>CABLEWORK REFERENCE</p> <p>EXISTING CONST. TO REMAIN</p> <p>DEMOLITION</p> <p>NEW OR RELOC. CONSTRUCTION</p> <p>PROPERTY LINE SETBACKS, LINE EXISTING GRADES NEW GRADES</p> <p>GAS LINE WATER LINE SANTIAPER LINE RIGID PIPING LINE IRRIGATION LINE BURIED ELECTRIC BURIED TELEPHONE CABLE</p> <p>TELEPHONE PEDESTAL LIGHT POLE POWER POLE DRIVE LIGHT WATER METER GAS SHUTOFF FIRE HYDRANT MANHOLE LANDSCAPING</p> <p>SMOKE DETECTOR CLASS A FIRE EXTINGUISHER EXIT LIGHT FIRE ALARM HORN FIRE ALARM PULL STATION EMERGENCY LIGHT</p> <p>EXISTING DOOR</p> <p>NEW DOOR</p>	<p>10 TITLE SHEET</p> <p>0-1 SITE PLAN</p> <p>0-2 GRADING, UTILITY, &amp; EROSION CONTROL PLAN SURVEY</p> <p>L-1 LANDSCAPE PLAN</p> <p>L-2 FOUNDATION LANDSCAPE PLAN</p> <p>A1 FOUNDATION PLAN</p> <p>A2 FOUNDATION DETAILS</p> <p>A3a U.G. PAVING PLAN</p> <p>A3 U.G. PAVING PLAN</p> <p>A4 U.G. PAVING PLAN</p> <p>A5 U.G. PAVING PLAN</p> <p>A6 U.G. PAVING PLAN</p> <p>A7 U.G. PAVING PLAN</p> <p>A8 U.G. PAVING PLAN</p> <p>A9 U.G. PAVING PLAN</p> <p>A10 U.G. PAVING PLAN</p> <p>A11 U.G. PAVING PLAN</p> <p>A12 U.G. 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Check all buildings for notes in buildings to be added

**LOUTHER & ASSOCIATES DESIGN LLC**  
ARCHITECTS  
1000 E. MAIN ST., SUITE 100  
MADISON, WISCONSIN 53702  
TEL: 608.261.1111 FAX: 608.261.1112  
WWW.LADDESIGN.COM

**SAVANNA ON THE PARK**  
PHASE 1  
MAPLE GROVE DRIVE, MADISON, WISCONSIN  
TOWNHOUSES

**TITLE SHEET**  
NO. 101  
DATE: 10/20/07  
SCALE: AS SHOWN



- LEGEND:
- Existing Contours
  - Finish Contours
  - 127.05 Finish Elevation
  - X-X-X-X-X-Sill Fence - back of walk all around
  - Earth Berm
  - 3" Stone Weeper
  - Stone Wall
  - Fabric Truck Movement
  - Street Signs
  - Existing "No Parking"
  - Existing "Restricted Lane Ends"
  - ▲ Existing "Curb Lane Parking Bicycles and Right Turns Only"
  - Proposed "Stop"
  - Stand Pipe In Sump Pump Line
  - Perforated Pipe Stone Bed

- NOTES:
1. Garbage & trash to be removed by private vendor.
  2. Snow removal & maintenance will be done by private vendor.
  3. Bike parking available in garage and some surface areas.
  4. All sites to have railings to meet code.
  5. Trucks leaving site during construction shall clean tires. All material deposited in public right of way shall be swept up daily.
  6. Place 2000 CF Polytrons on all disturbed areas with slopes greater than 5:1.
  7. Garage floor drains will discharge into sanitary sewers and to be designed by the plumbing contractor.
  8. All buildings will be built at one time.

### SITE CONDITIONS

Total Lot Area	Building Area	Units Per Building	Bedrooms Per Unit	Bedrooms Per Building	Required Open Space	Open Space Provided	Parking Required	Parking Surface	Parking Garage
Lot 1 = 114,005 SF	10 = 6,448 12 = 7,826 12 = 7,826 16 = 10,219	10 12 12 16	2	10 = 20 12 = 24 12 = 24 16 = 32	500 SF Per Unit	28,755 SF	1.75 Per Unit		
<b>Total = 31,919</b>	<b>Total = 50</b>			<b>Total = 100</b>	<b>Total = 25,000 SF</b>		<b>Total = 88</b>	<b>Total = 21</b>	<b>Total = 85</b>

## Lot 1, CSM No. 10769 Savanna on the Park

Site Plan, PUD - GDP - S/P  
Control & Grading Plan

Outlot 9, Nesbitt Valley, lying in the  
Southwest 1/4 of the Southwest 1/4 of  
Section 12, T06N, R06E, City of Madison,  
Dane County, Wisconsin



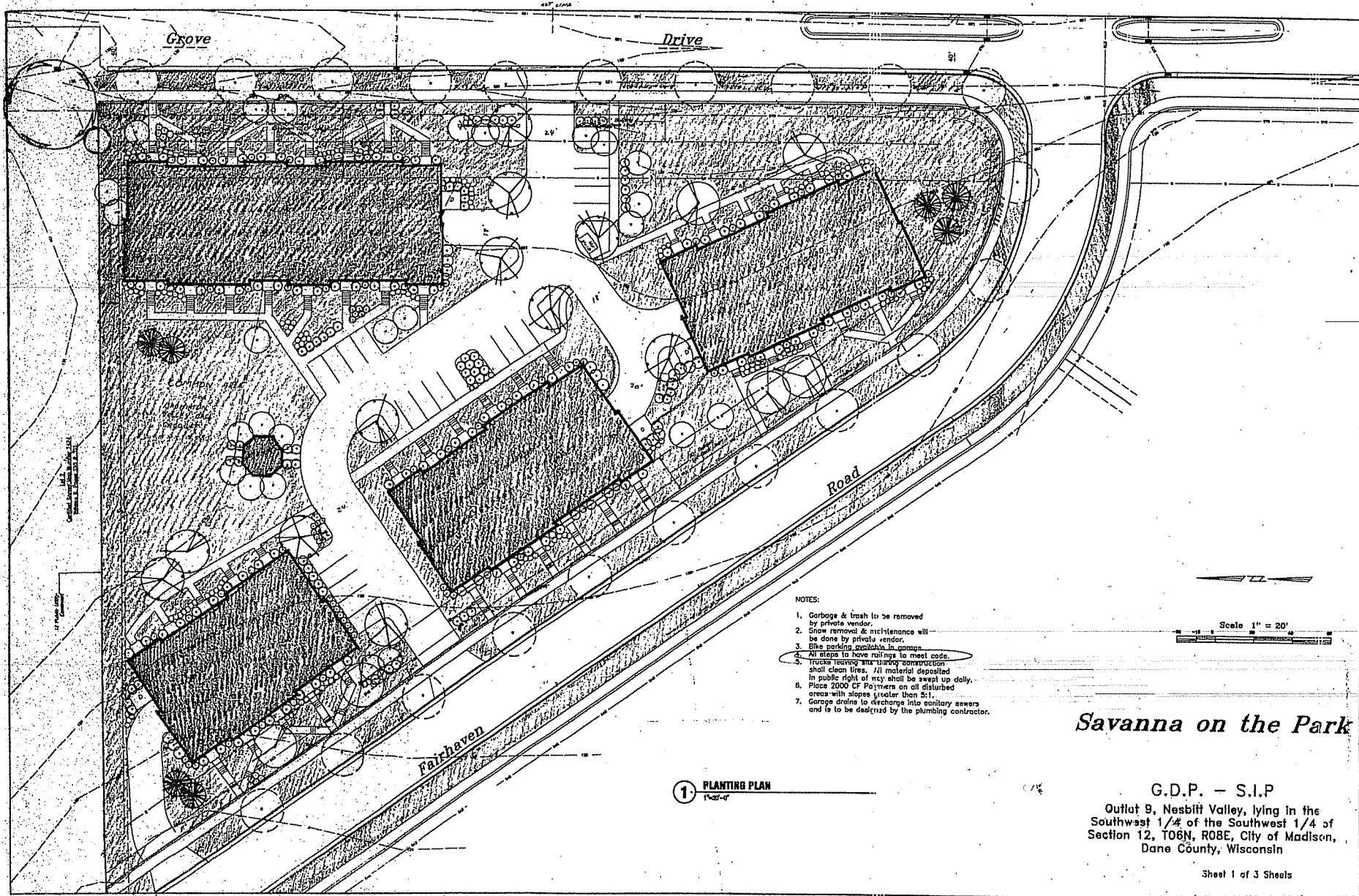
July 26, 03

Sheet 1 of 3 Sheets  
(See Site Sheet 147073)  
Office Map No. 14564-L

Prepared By:  
Royal Ocl. Engineering  
5510 Medical Circle  
Madison, WI 53719  
608-271-0506

Prepared For:  
Thomas J. Elefson-Elabon Companies L.L.C.  
1019 Cannon Lane Suite 100  
Madison, Wisconsin 53719  
608-274-1594

Scale 1" = 20'



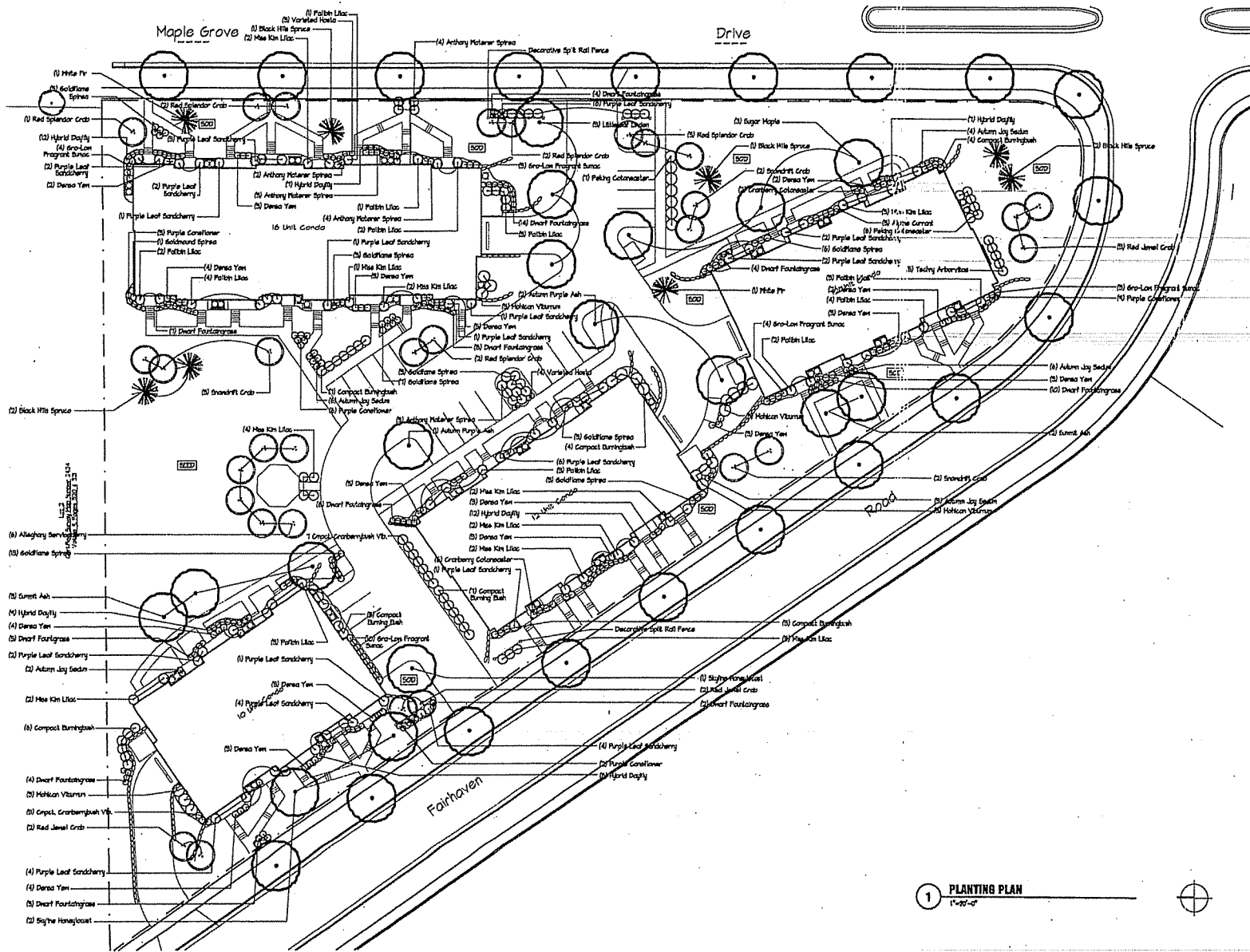
- NOTES:
1. Garbage & brush to be removed by private vendor.
  2. Snow removal & maintenance will be done by private vendor.
  3. Bike parking available in garage.
  4. All steps to have railings to meet code.
  5. Trucks leaving site during construction shall clean tires. All material deposited in public right of way shall be swept up daily.
  6. Place 2000 CF Postmrs on all disturbed areas with slopes greater than 5:1.
  7. Garage drains to discharge into sanitary sewers and is to be destroyed by the plumbing contractor.

Scale 1" = 20'

**1 PLANTING PLAN**

**Savanna on the Park**

G.D.P. - S.I.P  
 Outlot 9, Nesbitt Valley, lying in the  
 Southwest 1/4 of the Southwest 1/4 of  
 Section 12, T06N, R08E, City of Madison,  
 Dane County, Wisconsin



Developer  
**Savanna on the Park**  
 Savanna on the Park, LLC  
 6425 Odessa Road - HARTISON, VA 22074  
 Phone 211-8120

Contractor  
**ELEFFSON CONSTRUCTION CO.**  
 1016 GARDEN LANE, SUITE 100  
 WASHINGTON, VA 22191 (703) 274-1044  
 Royal Oak Engineering  
 3610 Medical Circle  
 Madison, VA 22074  
 608-274-0500  
 Louwer Architectural Design  
 7004 Midberry Drive  
 Madison, VA 22074  
 608-646-5771

General Note

TREES	SIZE	ROOT
Autumn Purple Ash	2 1/2"	BB
Red Jewel Crab	6"	BB
Red Splendor Crab	6"	BB
Gravelly Crab	6"	BB
Evergreen TREES		
Black Hills Spruce	6"	BB
Techy Arborvitae	4"	BB
White Fir	6"	BB
SHRUBS		
Anthony Melrose Spruce	18"	CONT.
Compad. Buringbush	18"	CONT.
Compad. Crabapple Yb.	18"	CONT.
Crabapple Colonaeolar	18"	CONT.
Densio Yem	18"	CONT.
Edward Hound Homeogkale	18"	CONT.
Goldflame Spruce	18"	CONT.
Bro-Low Program Sunos	18"	CONT.
Gray Dogwood	4"	HT.
Hoa Kin Lilioc	18"	CONT.
Holkon Vitarum	18"	CONT.
Peking Colonaeolar	18"	CONT.
Purple Leaf Sandcherry	4"	HT.
Palish Lilioc	18"	CONT.
PERENNIALS		
Autumn Jay Sedum	1 gal	CONT.
Dwarf Foutulogras	1 gal	CONT.
Hybrid Daily	1 gal	CONT.
Purple Conallower	1 gal	CONT.

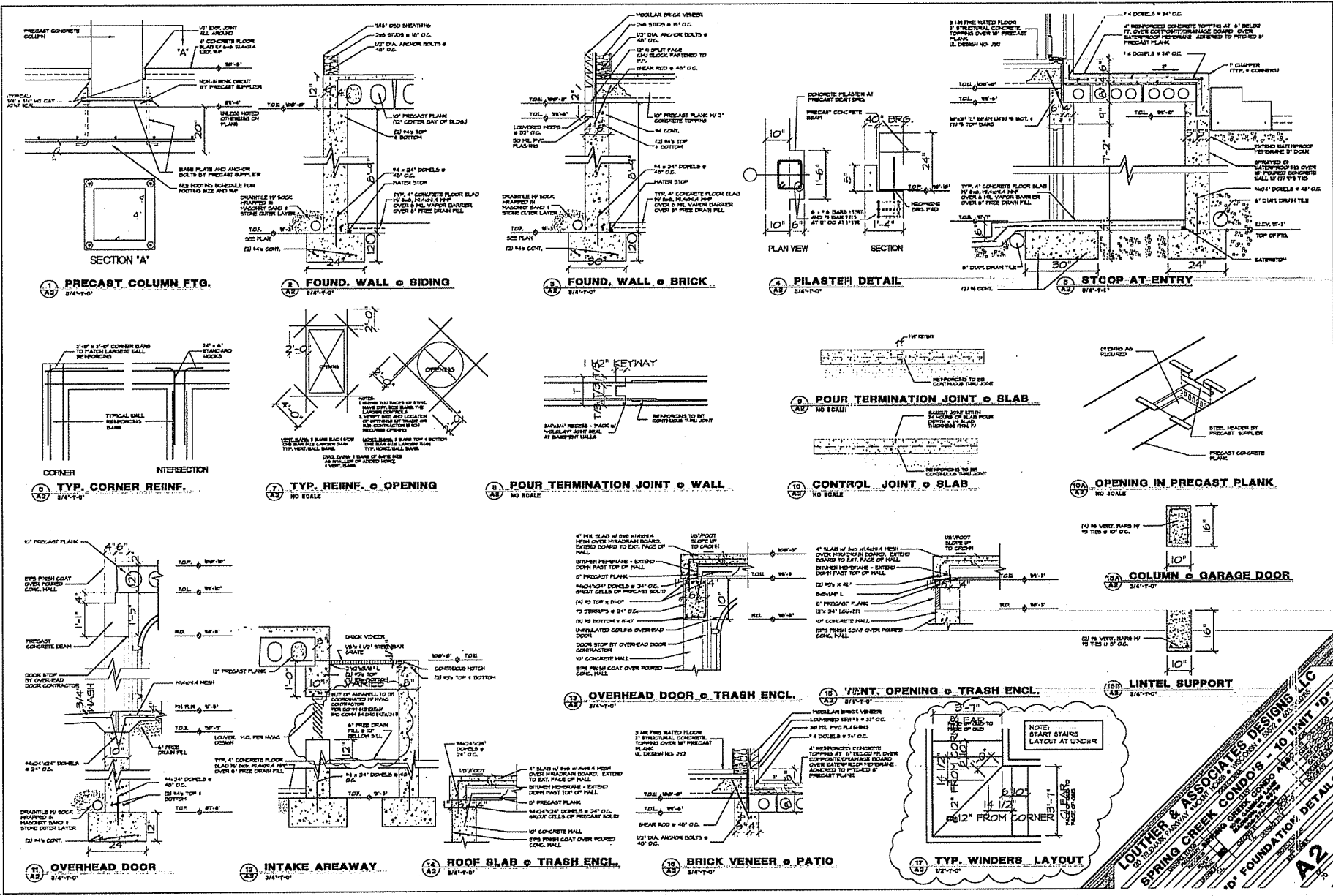
1. PLANTING BEDS ARE TO RECEIVE A MIXTURE OF HARDWOOD SHREDDED BARK MULCH SPREAD TO A 1" (1/2") DEPTH.  
 2. INDIVIDUAL TREES AND SHRUBS WITH THE LAWN AREAS RECEIVE BARK MULCH SPREAD TO A 1/2" OR 3" DEPTH OF MULCH BED FOR 2-3 YEAR PROTECTION.  
 3. LAWN AREAS SHALL BE FERTILIZED AND SEEDS AT A RATE OF 4 LBS. PER 1000 SQ. FT. SEED MIX SHALL BE SELECTED BY OWNER.  
 4. FINAL PLANT BED MULCH MATERIALS (2" DEPTH) TYPE TO BE SELECTED BY OWNER AND LANDSCAPE CONTRACTOR.

Project Title  
**Part of Outlot 9,  
 Nesbitt Valley  
 FUD(GDP)(SIP)**  
 07/21/02 THE CITY OF MADISON, ILLINOIS  
 08/20/02 FUD CONSULTATION MEETING  
 10/09/02 ILL. SUBMITTAL

Drawing Title  
**Planting Plan  
 and Details**  
 Project No. Drawing No.  
5-2

1 **PLANTING PLAN**  
 1"=20'-0"





1. PRECAST COLUMN FTG.  
3/4" x 4'-0"

2. FOUND. WALL o SIDING  
3/4" x 4'-0"

3. FOUND. WALL o BRICK  
3/4" x 4'-0"

4. PILASTER DETAIL  
3/4" x 4'-0"

5. STOOP AT ENTRY  
3/4" x 4'-0"

6. TYP. CORNER REINF.  
3/4" x 4'-0"

7. TYP. REINF. o OPENING  
NO SCALE

8. POUR TERMINATION JOINT o WALL  
NO SCALE

9. CONTROL JOINT o SLAB  
NO SCALE

10. OPENING IN PRECAST PLANK  
NO SCALE

11. OVERHEAD DOOR  
3/4" x 4'-0"

12. INTAKE AREAWAY  
3/4" x 4'-0"

13. ROOF SLAB o TRASH ENCL.  
3/4" x 4'-0"

14. BRICK VENEER o PATIO  
3/4" x 4'-0"

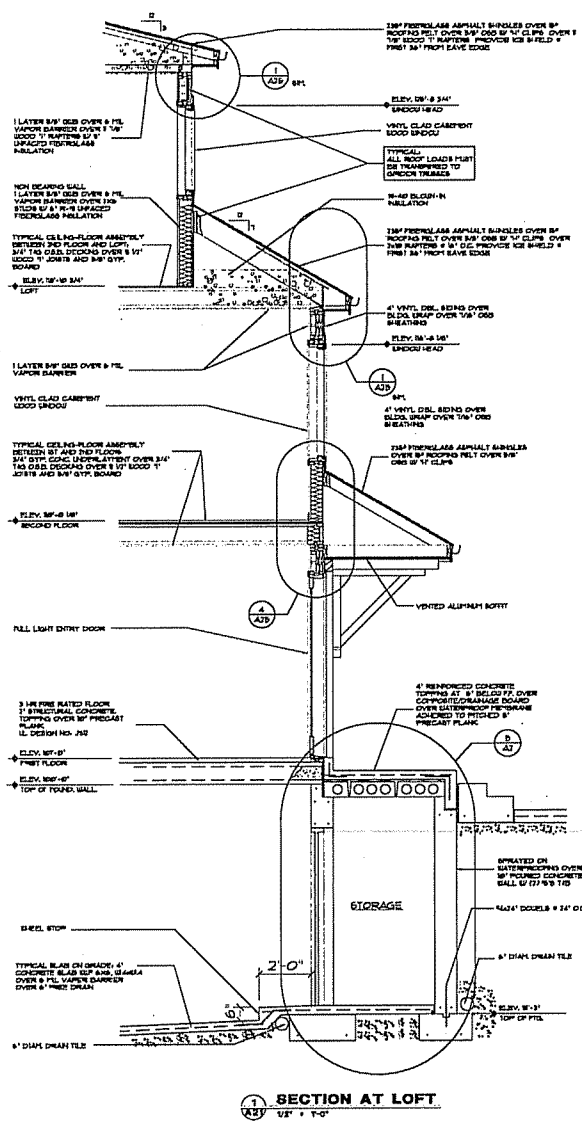
15. TYP. WINDERS LAYOUT  
3/4" x 4'-0"

16. LINTEL SUPPORT  
3/4" x 4'-0"

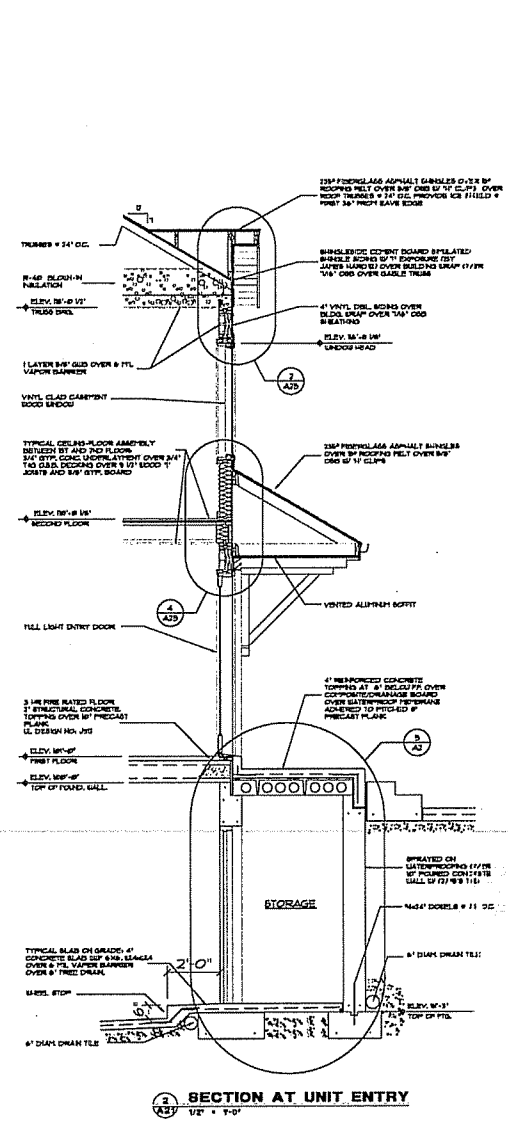
**LOUHER & ASSOCIATES DESIGNS, INC.**  
 2000 W. 10th Street, Suite 100  
 Anchorage, Alaska 99503  
 (907) 561-1111  
 FAX (907) 561-1112  
 www.louher.com

**SPRING CREEK CONDO'S - 10 UNIT TD**  
 FOUNDATION DETAILS

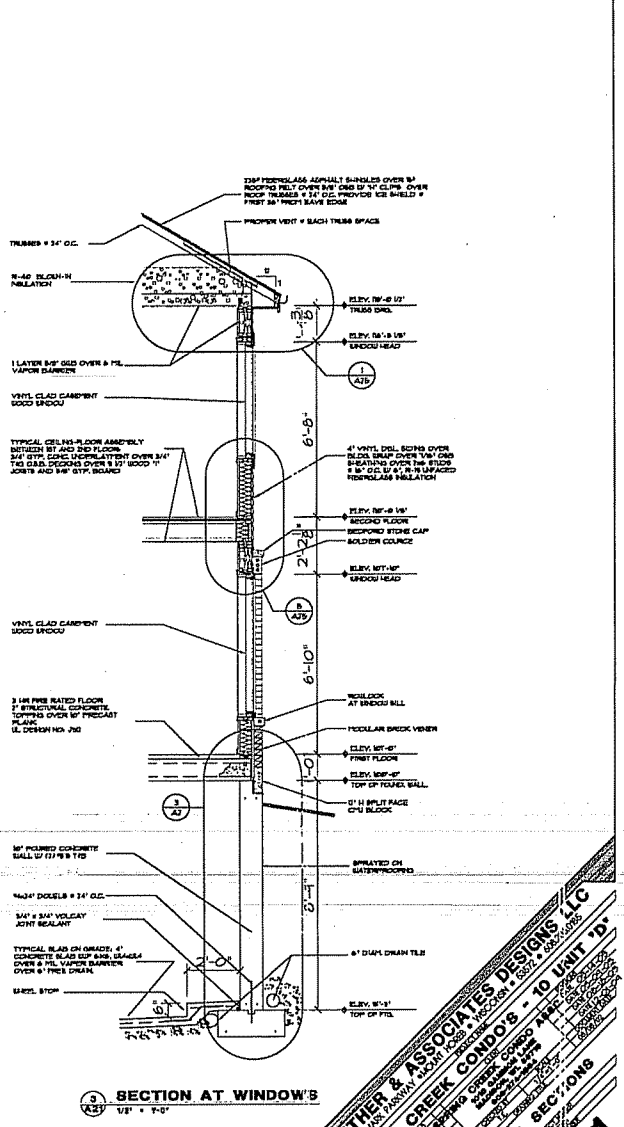
**A2**



**SECTION AT LOFT**  
1/2" = 1'-0"

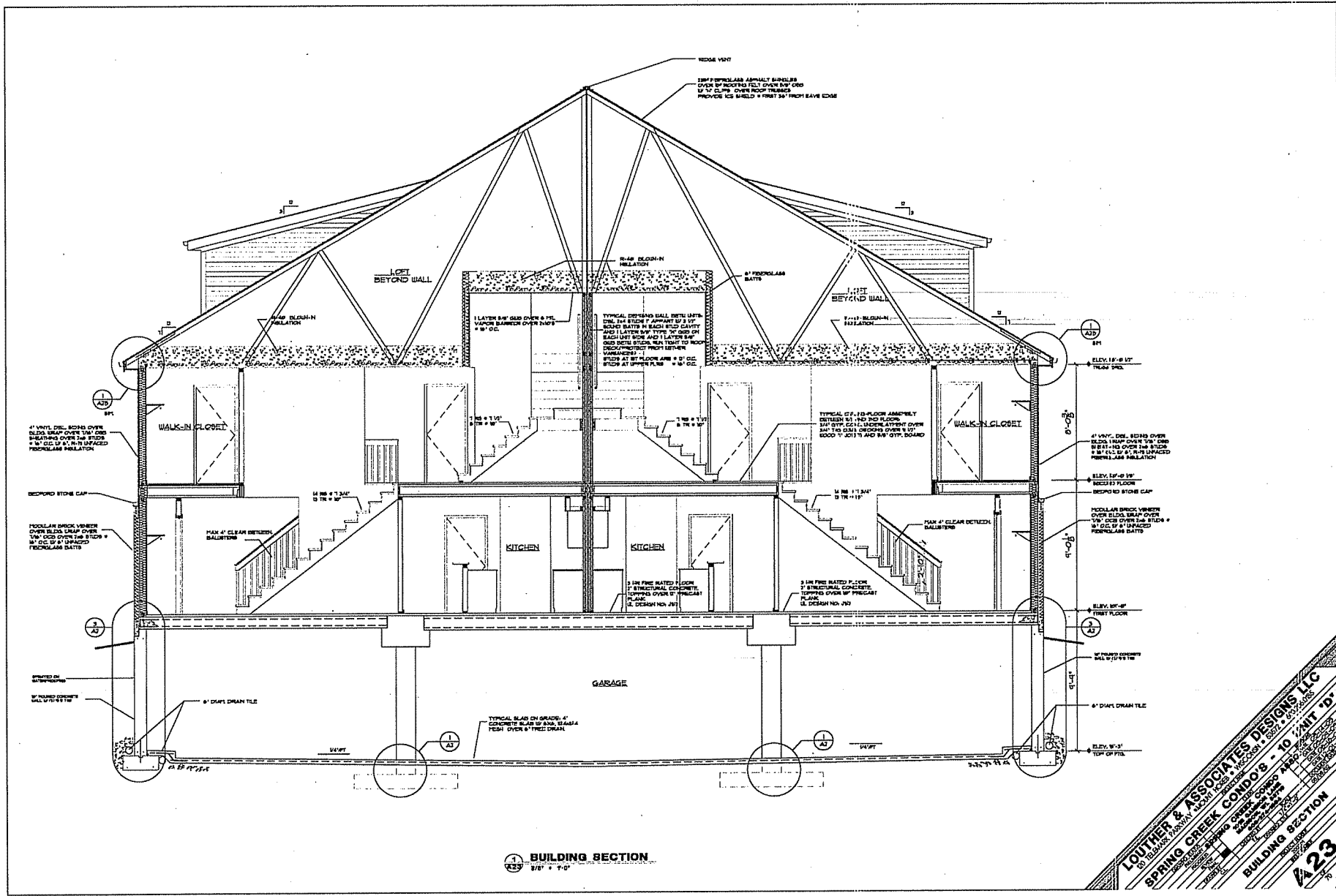


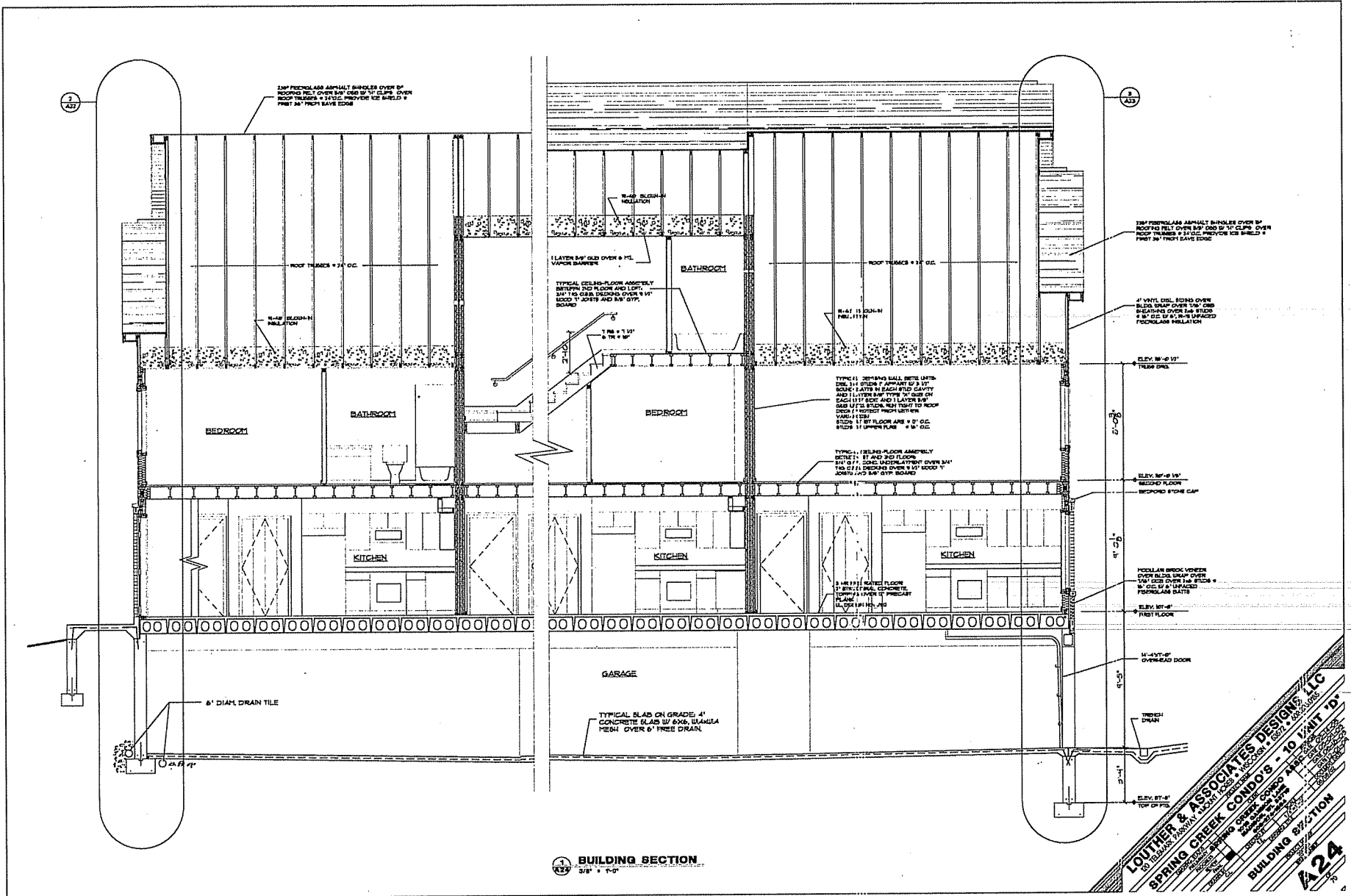
**SECTION AT UNIT ENTRY**  
1/2" = 1'-0"



**SECTION AT WINDOW'S**  
1/2" = 1'-0"

**LOUTHER & ASSOCIATES DESIGNS LLC**  
 2000 W. 10th Street, Suite 100, Denver, CO 80202  
 (303) 733-1111  
 www.louther.com  
**SPRING CREEK CONDOS - TO UNIT 101**  
 WALL SECTIONS  
 A21





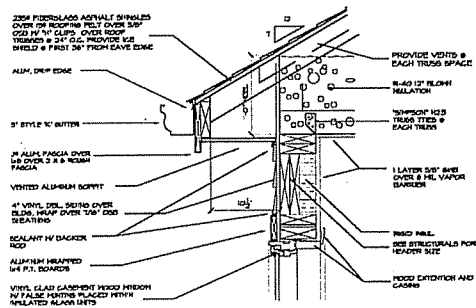
**BUILDING SECTION**  
3/4" = 1'-0"

**LOUTHER & ASSOCIATES DESIGNS LLC**  
 ARCHITECTS  
 10100 W. 12th St., Suite 100  
 Overland Park, KS 66204  
 Phone: 913.666.1111  
 Fax: 913.666.1112  
 www.louthers.com

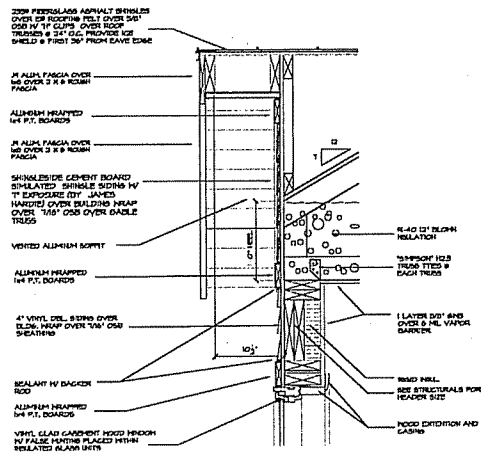
**SPRING CREEK COMBO'S - 1010 W. 12th St.**  
 PROJECT NO. 2008-011  
 SHEET NO. 1010-1010-1010  
 DATE: 08/15/08

**BUILDING SECTION**  
 A24

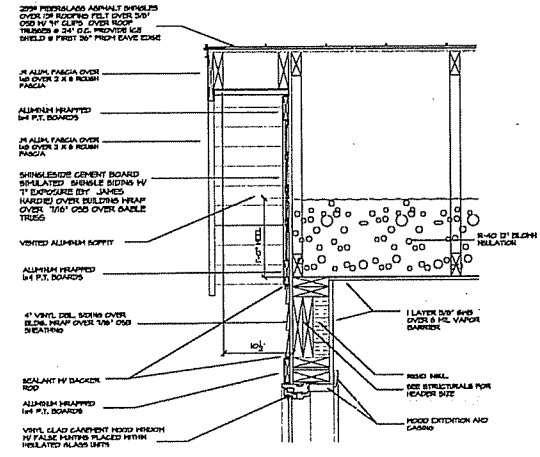




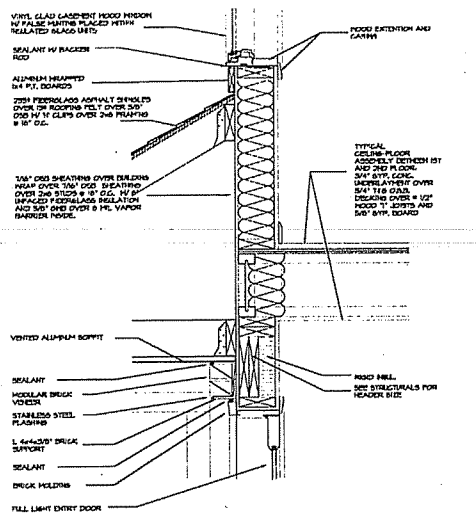
**1 TYPICAL OVERHANG**  
1 1/2" - 1'-0"



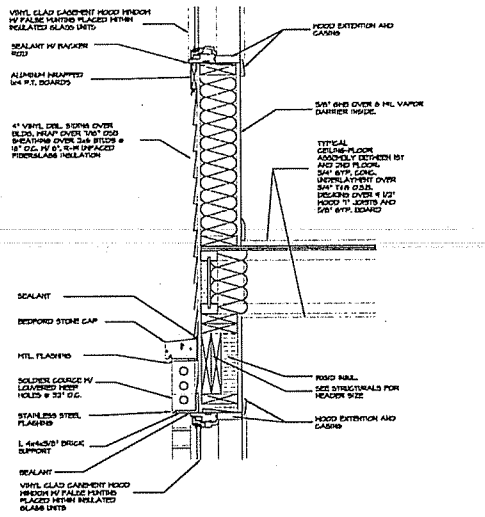
**2 OVERHANG AT GABLE**  
1 1/2" - 1'-0"



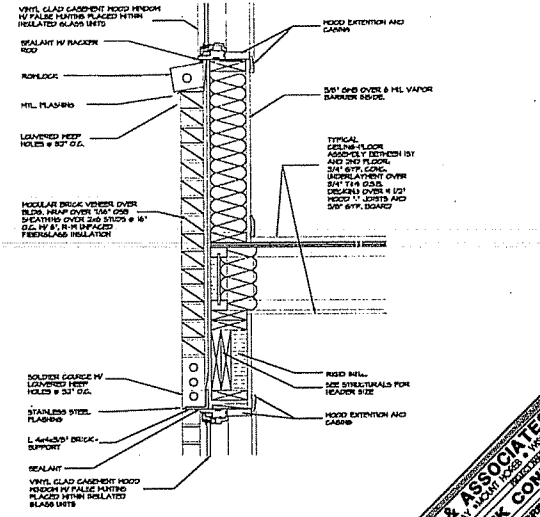
**3 OVERHANG AT GABLE**  
1 1/2" - 1'-0"



**4 OVERHANG AT ENTRY DOOR**  
1 1/2" - 1'-0"

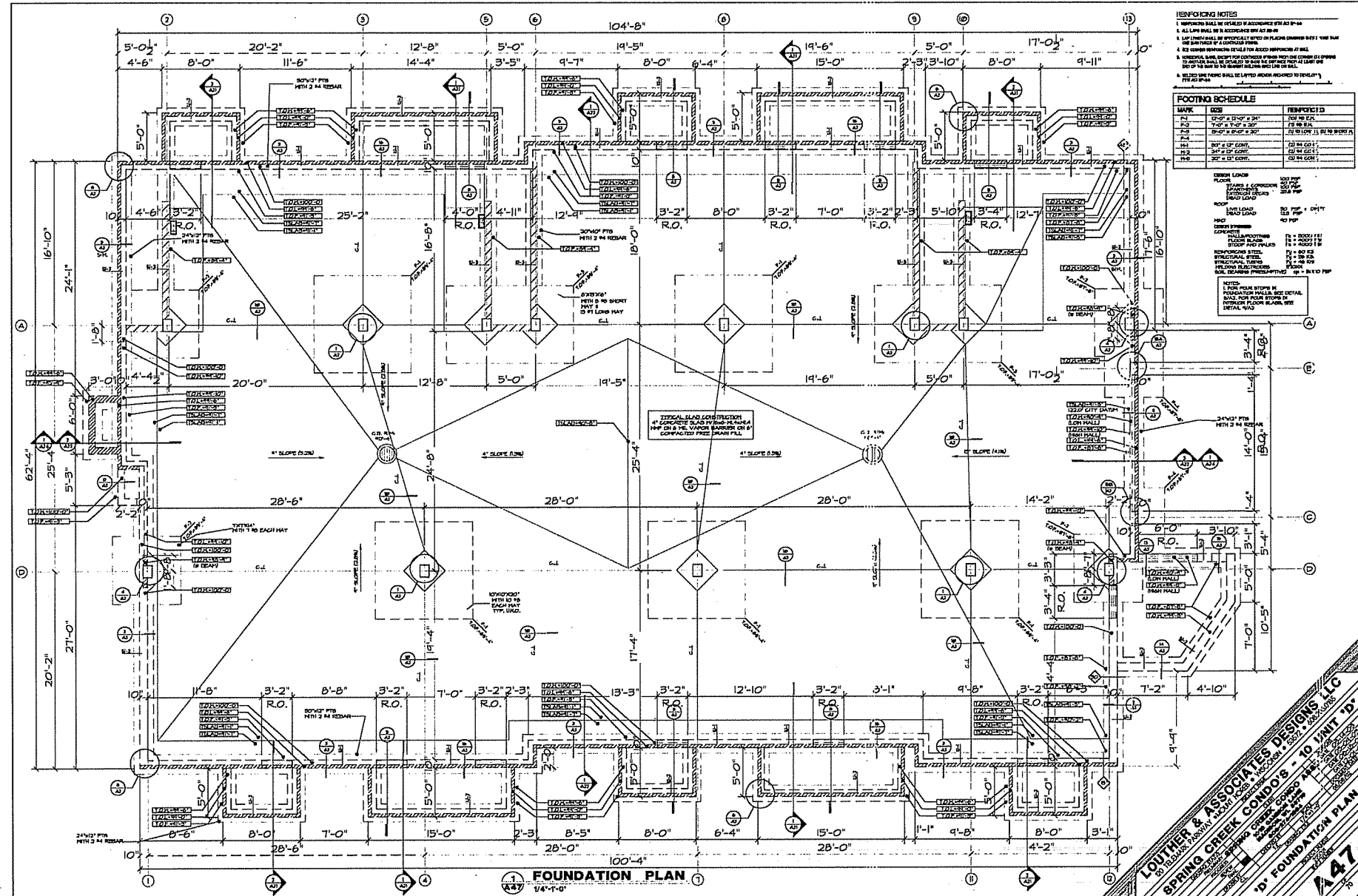


**5 WINDOW HEAD(AT BRICK/SILL(AT SIDING)**  
1 1/2" - 1'-0"



**6 WINDOW HEAD/SILL AT BRICK VENEER**  
1 1/2" - 1'-0"

**LOUTHER & ASSOCIATES DESIGNS LLC**  
 10000 Spring Creek Road, Suite 100, Dallas, TX 75243  
 (972) 425-1111  
 www.louthers.com  
 10 UNIT 10  
 SPRING CREEK CONDOS - 10 UNIT 10  
 425  
 DETAIL 22



**REWORKING NOTES**

1. REWORKING SHALL BE DONE IN ACCORDANCE WITH 805.04
2. ALL LINES SHALL BE IN ACCORDANCE WITH 805.04
3. ALL DIMENSIONS SHALL BE SPECIFICALLY NOTED ON PLACES SHOWN BY 1. THIS DRAWING IS TO BE USED FOR CONSTRUCTION OF THE FOUNDATION ONLY.
4. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH 805.04
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18. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH 805.04
19. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH 805.04
20. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH 805.04

MARK	SIZE	REMARKS
1	12" x 12" x 12"	CONCRETE
2	12" x 12" x 12"	CONCRETE
3	12" x 12" x 12"	CONCRETE
4	12" x 12" x 12"	CONCRETE
5	12" x 12" x 12"	CONCRETE
6	12" x 12" x 12"	CONCRETE
7	12" x 12" x 12"	CONCRETE
8	12" x 12" x 12"	CONCRETE
9	12" x 12" x 12"	CONCRETE
10	12" x 12" x 12"	CONCRETE
11	12" x 12" x 12"	CONCRETE
12	12" x 12" x 12"	CONCRETE
13	12" x 12" x 12"	CONCRETE
14	12" x 12" x 12"	CONCRETE
15	12" x 12" x 12"	CONCRETE
16	12" x 12" x 12"	CONCRETE
17	12" x 12" x 12"	CONCRETE
18	12" x 12" x 12"	CONCRETE
19	12" x 12" x 12"	CONCRETE
20	12" x 12" x 12"	CONCRETE

ITEM	DESCRIPTION	QUANTITY	UNIT
1	CONCRETE	100	CU YD
2	REINFORCEMENT BARS	100	LB
3	FORMWORK	100	SQ YD
4	BRICK	100	1000
5	CEMENT MORTAR	100	CU YD
6	PLASTER	100	SQ YD
7	PAINT	100	GAL
8	GLASS	100	SQ FT
9	DOOR	100	EA
10	WINDOW	100	EA
11	ROOFING	100	SQ YD
12	MECHANICAL	100	EA
13	ELECTRICAL	100	EA
14	LANDSCAPE	100	SQ YD
15	SEWER	100	EA
16	WATER	100	EA
17	PLUMBING	100	EA
18	MECHANICAL	100	EA
19	ELECTRICAL	100	EA
20	LANDSCAPE	100	SQ YD

**NOTES**

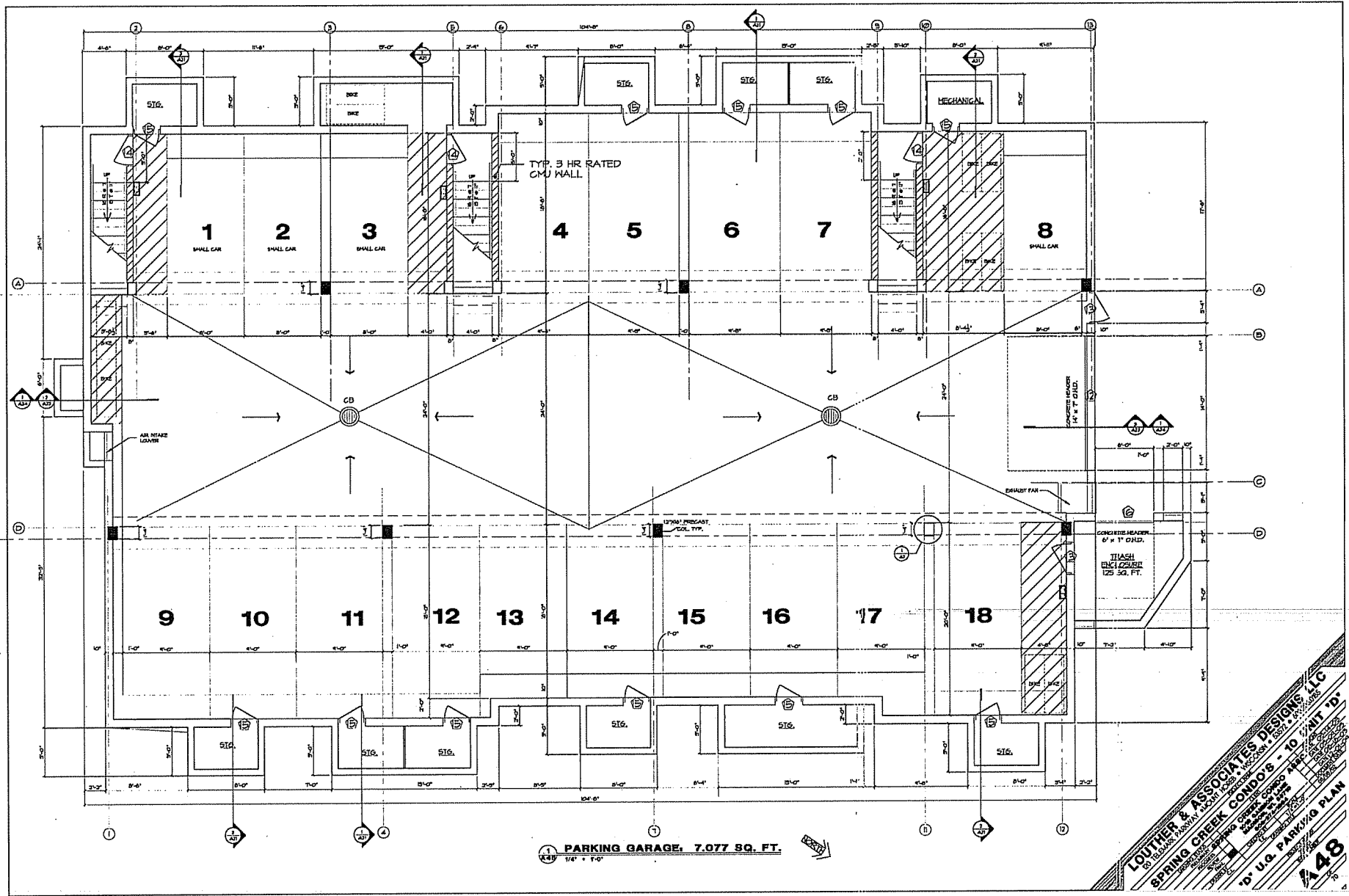
1. FOUNDATION SHALL BE IN ACCORDANCE WITH 805.04
2. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH 805.04
3. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH 805.04
4. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH 805.04
5. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH 805.04
6. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH 805.04
7. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH 805.04
8. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH 805.04
9. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH 805.04
10. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH 805.04
11. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH 805.04
12. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH 805.04
13. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH 805.04
14. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH 805.04
15. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH 805.04
16. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH 805.04
17. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH 805.04
18. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH 805.04
19. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH 805.04
20. ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH 805.04

**FOUNDATION PLAN**  
1/4" = 1'-0"

**LOUTHER & ASSOCIATES DESIGNS LLC**  
2000 W. 10th Street, Suite 100, Oklahoma City, OK 73106  
Tel: 405.521.1234 Fax: 405.521.1235  
www.louthers.com

**SPRING CREEK CONDOS - 10 UNIT 'D'**  
FOUNDATION PLAN

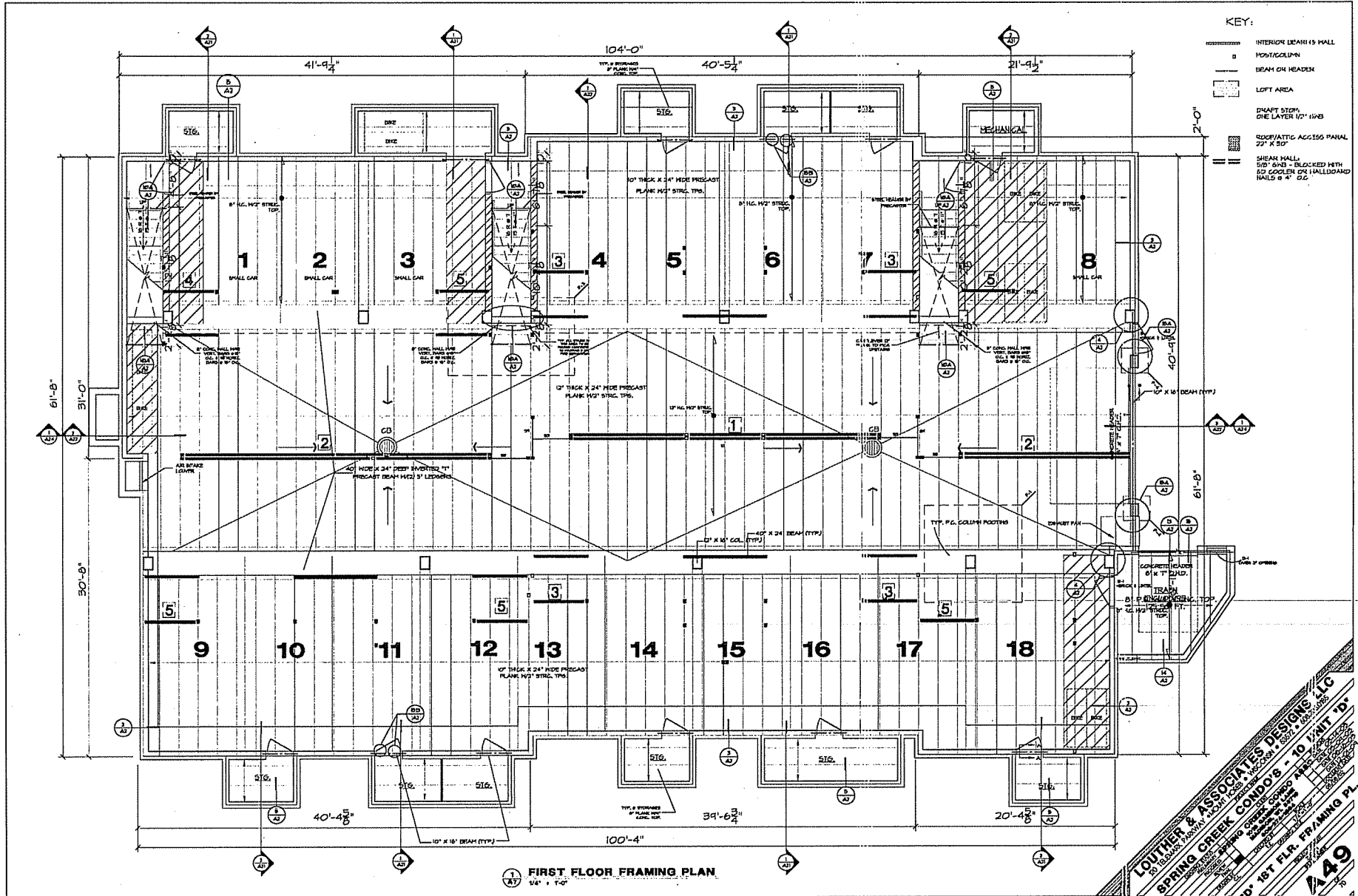
**47**



**PARKING GARAGE, 7,077 SQ. FT.**  
 1/4" = 1'-0"

**LOUTHER & ASSOCIATES DESIGNS LLC**  
 ARCHITECTS  
 1000 W. 10TH ST. SUITE 100  
 DENVER, CO 80202  
 (303) 733-1111  
 WWW.LA-DESIGNS.COM

**SPRING CREEK CONDOS - 10 UNIT 'D'**  
 10' U.O. PARKING PLAN  
 448



- KEY:**
- INTERIOR BEAM 15 HALL
  - POST/COLUMN
  - BEAM ON HEADER
  - LOFT AREA
  - CHART STEP ONE LAYER 1/2" HWS
  - SCAFFOLDING ACCESS PANEL 22" X 50"
  - SEPARATE WALL 5/8" SHEET - BLOCKED WITH 60 COILERS OR HALDDOARD W/ 2" X 4"

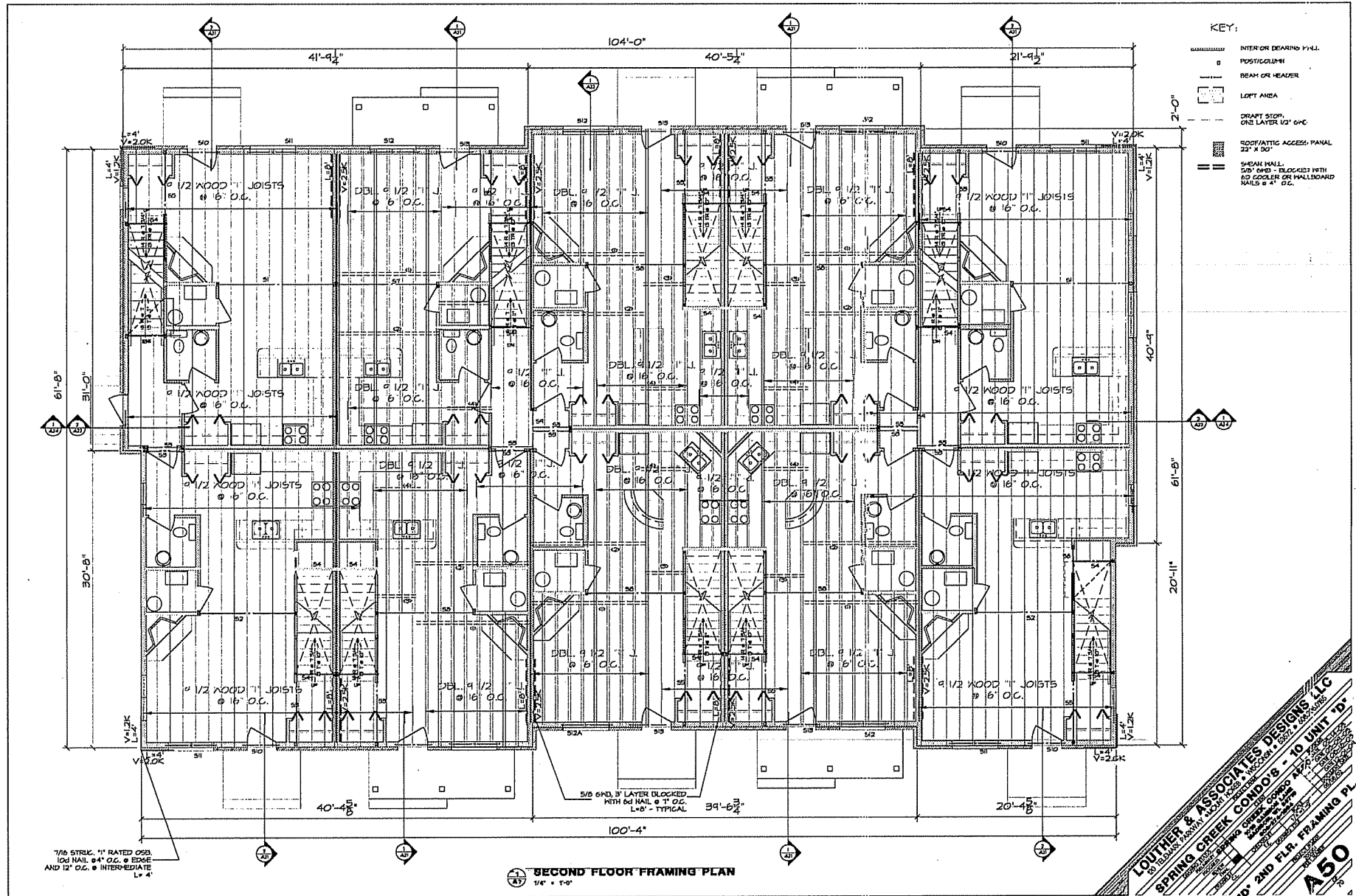
**FIRST FLOOR FRAMING PLAN**  
1/4" = 1'-0"

**LOUTHER & ASSOCIATES DESIGNERS LLC**  
 2015 BAYVIEW PARKWAY, SUITE 100, GREENSBORO, NC 27409  
 336-833-8888  
 WWW.LA-DESIGNERS.COM

**SPRING CREEK CONDO'S - 10 UNIT 1D**  
 1015 W. HUNTER STREET, GREENSBORO, NC 27409  
 336-833-8888  
 WWW.LA-DESIGNERS.COM

**1D 1ST FLR. FRAMING PL.**

**49**



- KEY:**
- INTERIOR BEARING WALL
  - POST/COLUMN
  - BEAM OR HEADER
  - LOFT AREA
  - DRAFT STOP, ONE LAYER 1/2" GFC
  - ROOF/ATTIC ACCESS PANEL 22" X 30"
  - SHEATH WALL, 5/8" GFD - BLOCKED WITH 2" COOLER OR WALLBOARD NAILS @ 4" O.C.

7/8 STRIK, 1" RATED OSB,  
10d NAIL @ 4" O.C. @ EDGE  
AND 12" O.C. @ INTER-MEDIATE  
L-4

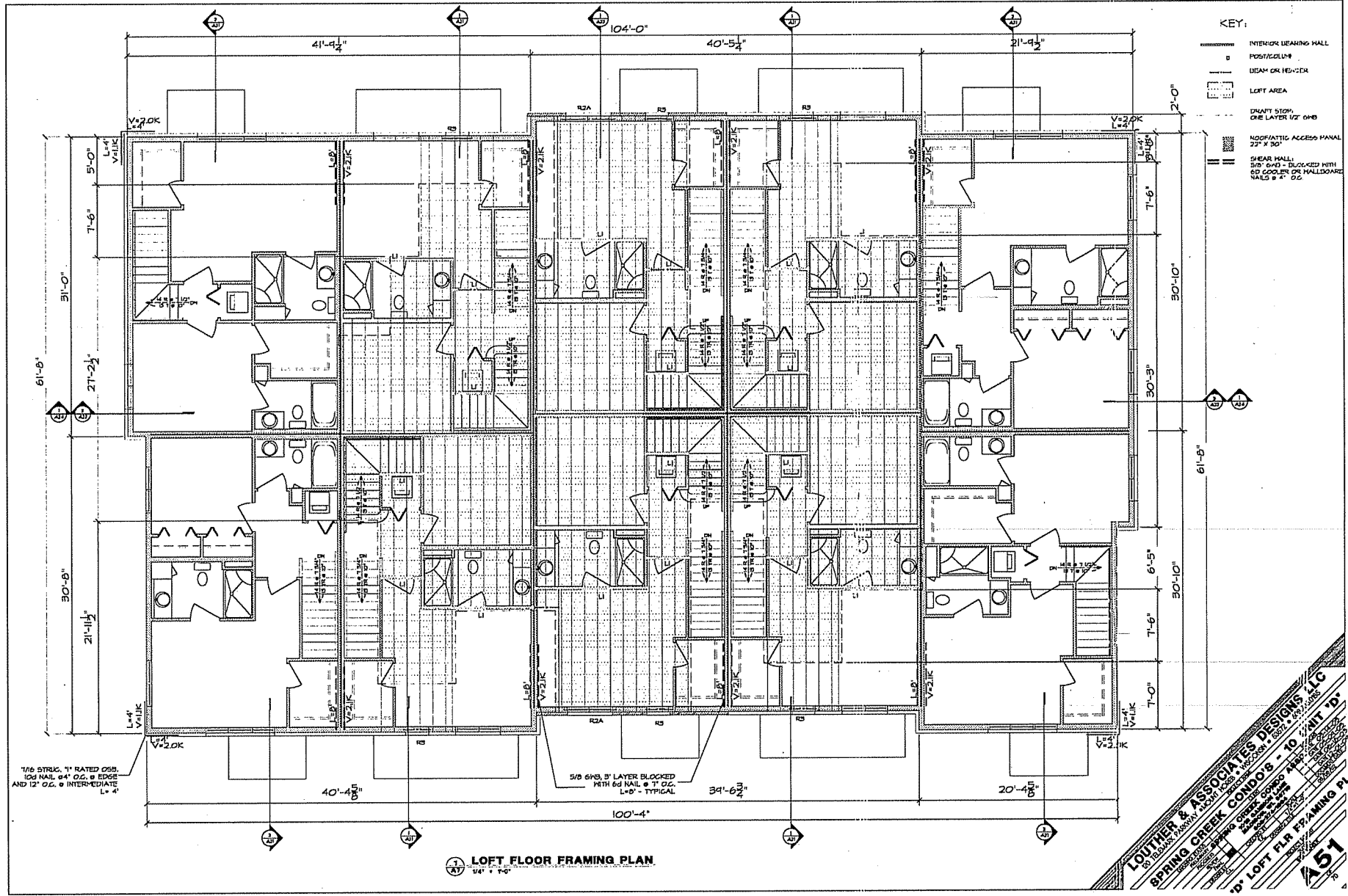
**SECOND FLOOR FRAMING PLAN**  
1/4" = 1'-0"

**LOUTHER & ASSOCIATES DESIGNS LLC**  
30 Red Bank Avenue  
North Charleston, SC 29405  
803.792.1111  
www.louthers.com

**SPRING CREEK CONDO'S - 10 UNIT 1D**  
ARCHITECT: LOUTHER & ASSOCIATES DESIGNS LLC  
DATE: 08/17/2011  
PROJECT NO: 1100000001

**2ND FLR. FRAMING PL.**

**A50**



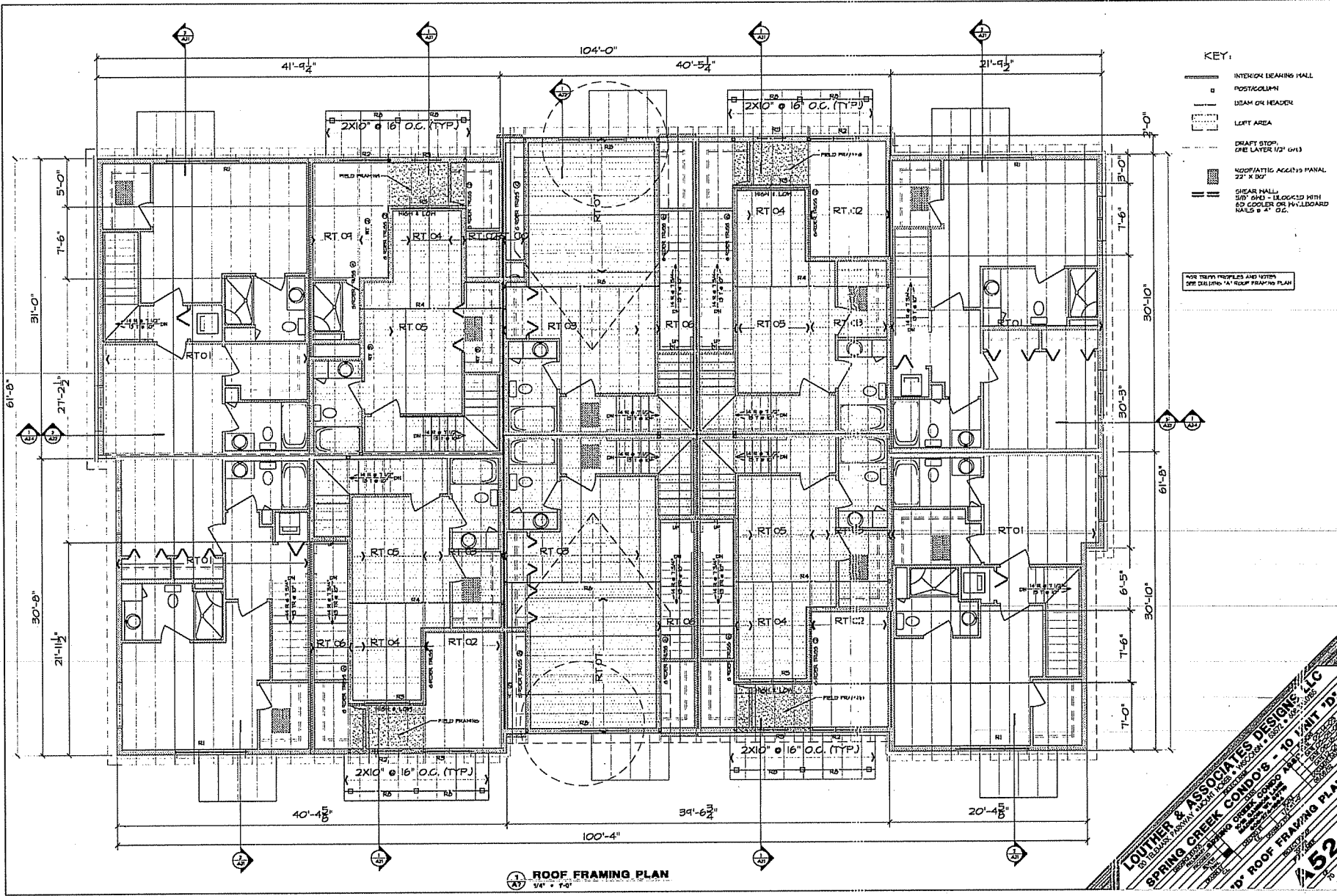
- KEY:**
- INTERIOR BEARING WALL
  - POST/BEAM
  - BEAM OR HEADER
  - LOFT AREA
  - DRAFT STOP, ONE LAYER 1/2" GBS
  - MODIFIED ACCESS PANEL 22" X 30"
  - SHEAR WALL, 5/8" GBS - BLOCKED WITH 6D COOLERS OR HALLDOORS NALS @ 4" OC

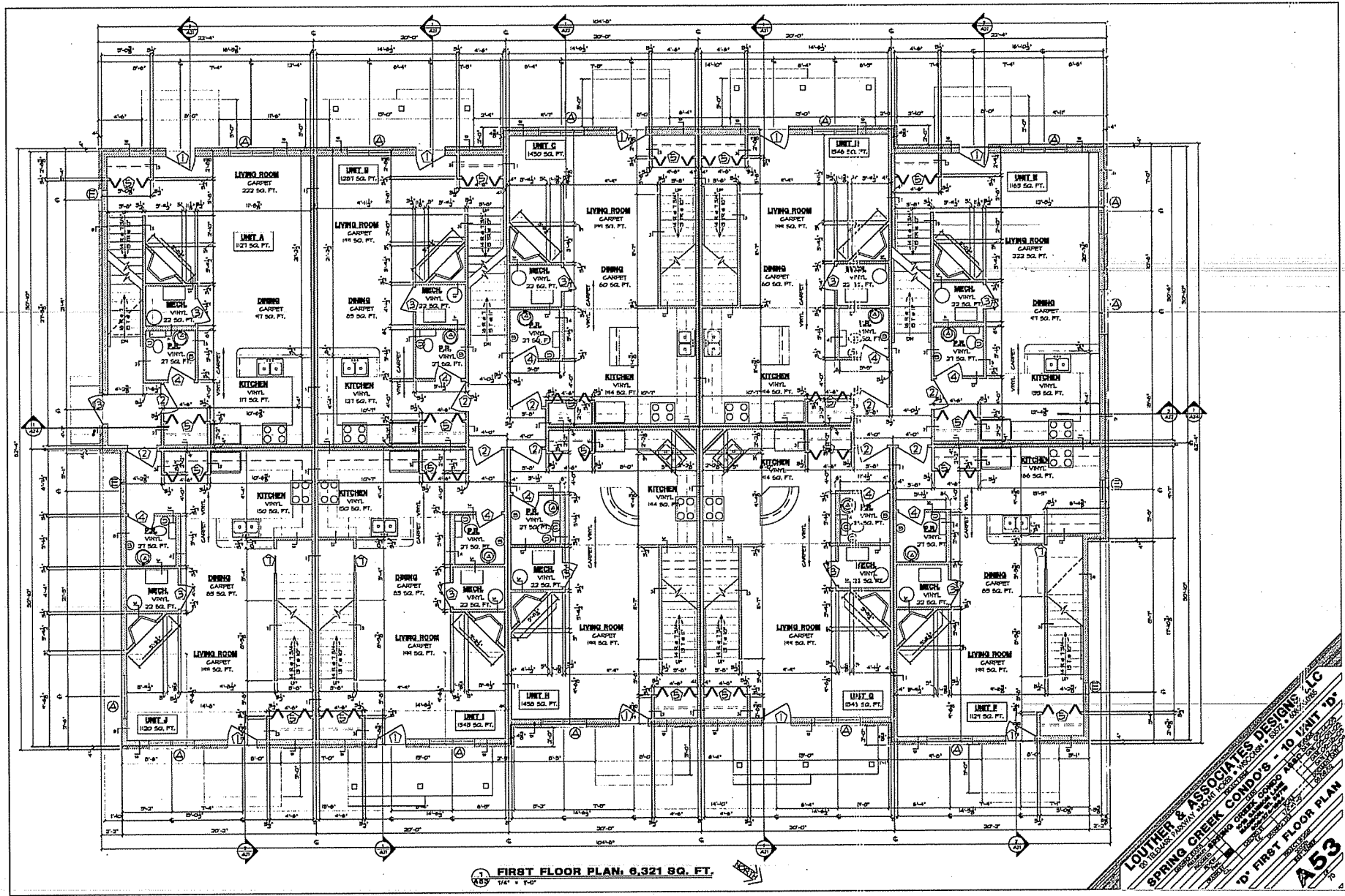
**LOFT FLOOR FRAMING PLAN**  
 1/4" = 1'-0"

**LOUTHER & ASSOCIATES DESIGN LLC**  
 ARCHITECTS  
 1000 W. 15TH ST. SUITE 200  
 DENVER, CO 80202  
 TEL: 303.733.1111  
 FAX: 303.733.1112  
 WWW.LA-ARCHITECTS.COM

**SPRING CREEK CONDOS - TO UNIT 10**  
 10' LOFT FLOOR FRAMING PLAN

451



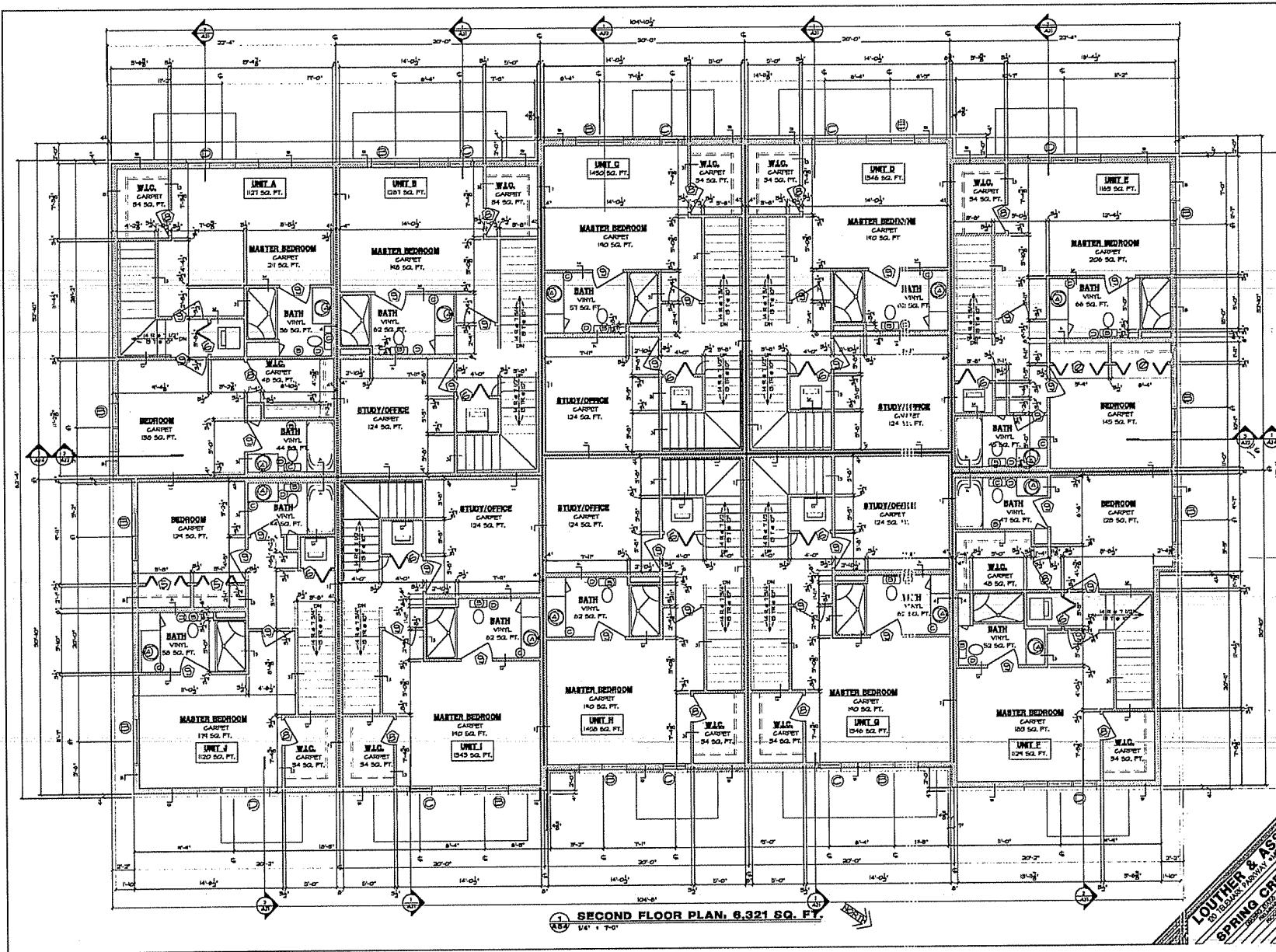


**LOUTHER & ASSOCIATES DESIGNS LLC**  
 REGISTERED ARCHITECTS  
 1015 W. 14TH AVENUE, SUITE 100  
 DENVER, CO 80202  
 TEL: 303.733.1111  
 FAX: 303.733.1112  
 WWW.LA-DESIGNS.COM

**SPRING CREEK CONDOS - 10 UNIT 10'**  
 PROJECT NO. SC-10-01  
 SHEET NO. 101 - FIRST FLOOR PLAN  
 DATE: 10/15/10

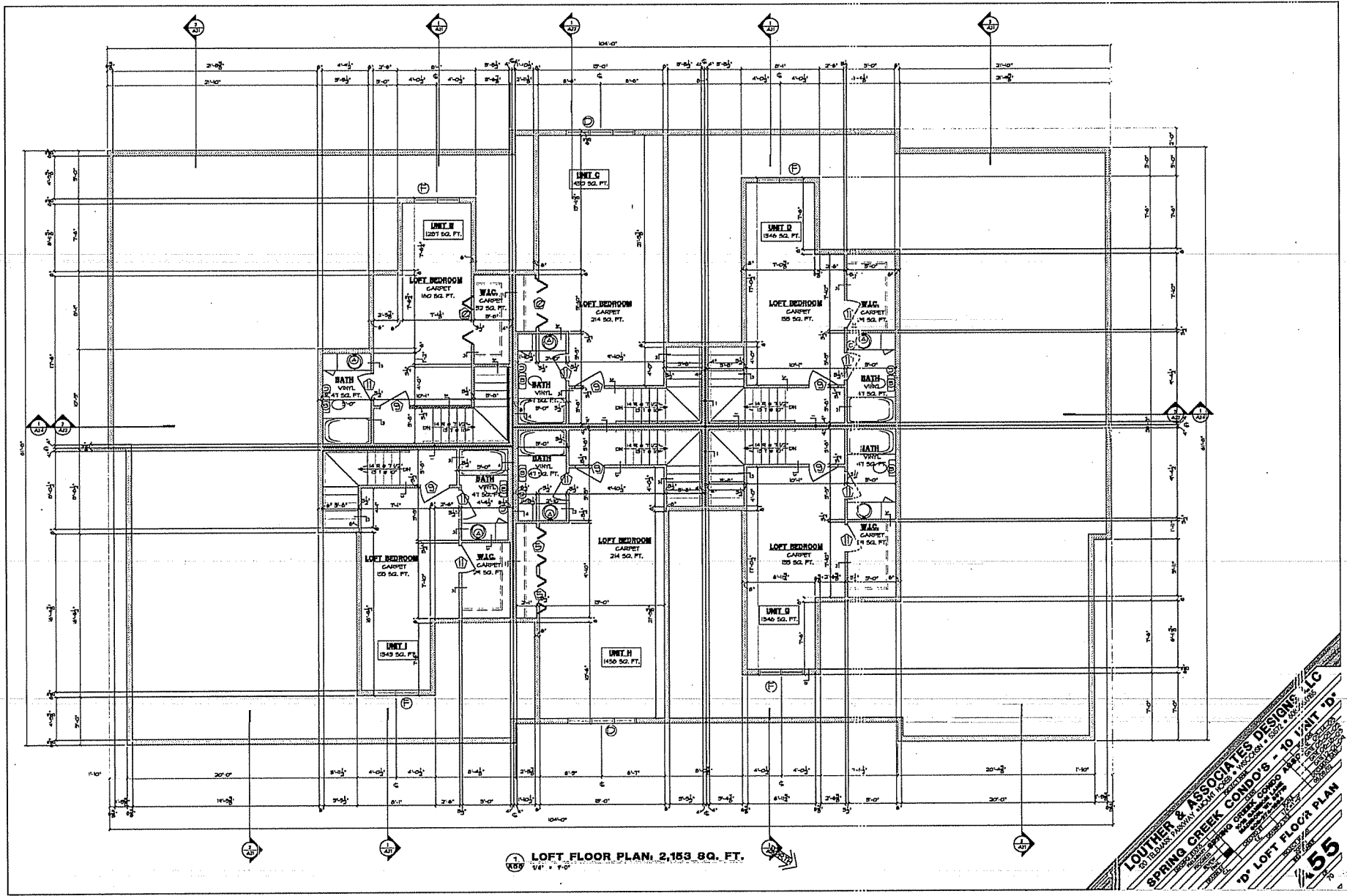
**A53**





1 SECOND FLOOR PLAN, 6,321 SQ. FT.  
1/4" = 1'-0"

**LOUTHER & ASSOCIATES DESIGN, LLC**  
 5015 W. 10TH AVE., SUITE 100, DENVER, CO 80202  
 (303) 751-1100  
 WWW.LA-DESIGN.COM  
 10' SECOND FLOOR PLAN  
 154



**LOUTHER & ASSOCIATES DESIGN, LLC**  
 ARCHITECTS  
 1015 W. 10TH AVENUE, SUITE 100  
 DENVER, CO 80202  
 (303) 733-1111  
 WWW.LA-ARCHITECTS.COM

**SPRING CREEK CONDO'S - 10 UNIT 'D'**  
 1015 W. 10TH AVENUE, SUITE 100  
 DENVER, CO 80202  
 (303) 733-1111  
 WWW.LA-ARCHITECTS.COM

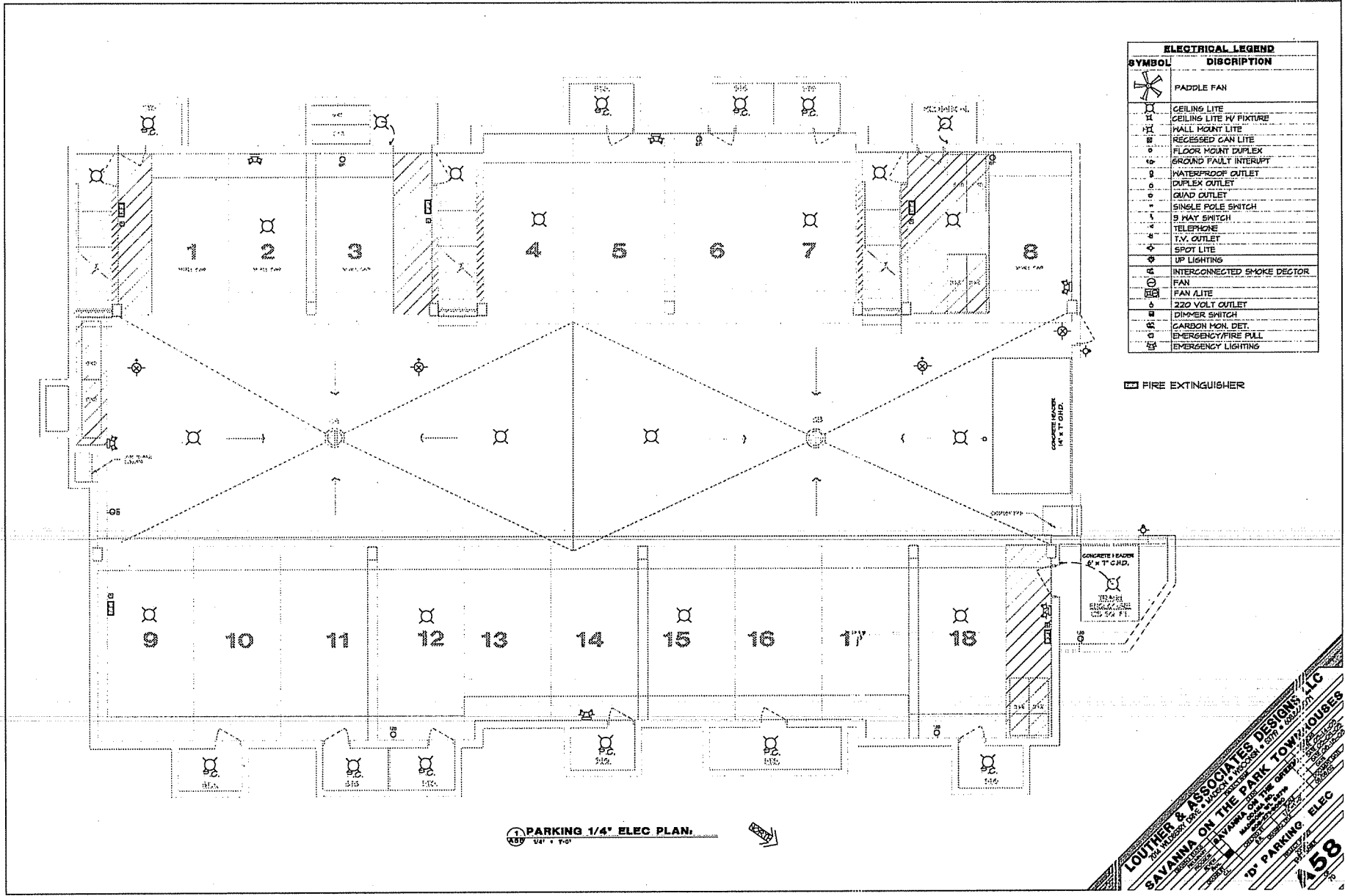
**'D' LOFT FLOOR PLAN**

**155**



ELECTRICAL LEGEND	
SYMBOL	DISCRPTION
	PADDLE FAN
	CEILING LITE
	CEILING LITE W/ FIXTURE
	HALL MOUNT LITE
	RECESSED CAN LITE
	FLOOR MOUNT DUPLEX
	GROUND FAULT INTERRUPT
	WATERPROOF OUTLET
	DUPLEX OUTLET
	QUAD OUTLET
	SINGLE POLE SWITCH
	5 WAY SWITCH
	TELEPHONE
	T.V. OUTLET
	SPOT LITE
	UP LIGHTING
	INTERCONNECTED SMOKE DETECTOR
	FAN
	FAN LITE
	220 VOLT OUTLET
	DIMMER SWITCH
	CARBON MON. DET.
	EMERGENCY FIRE PULL
	EMERGENCY LIGHTING

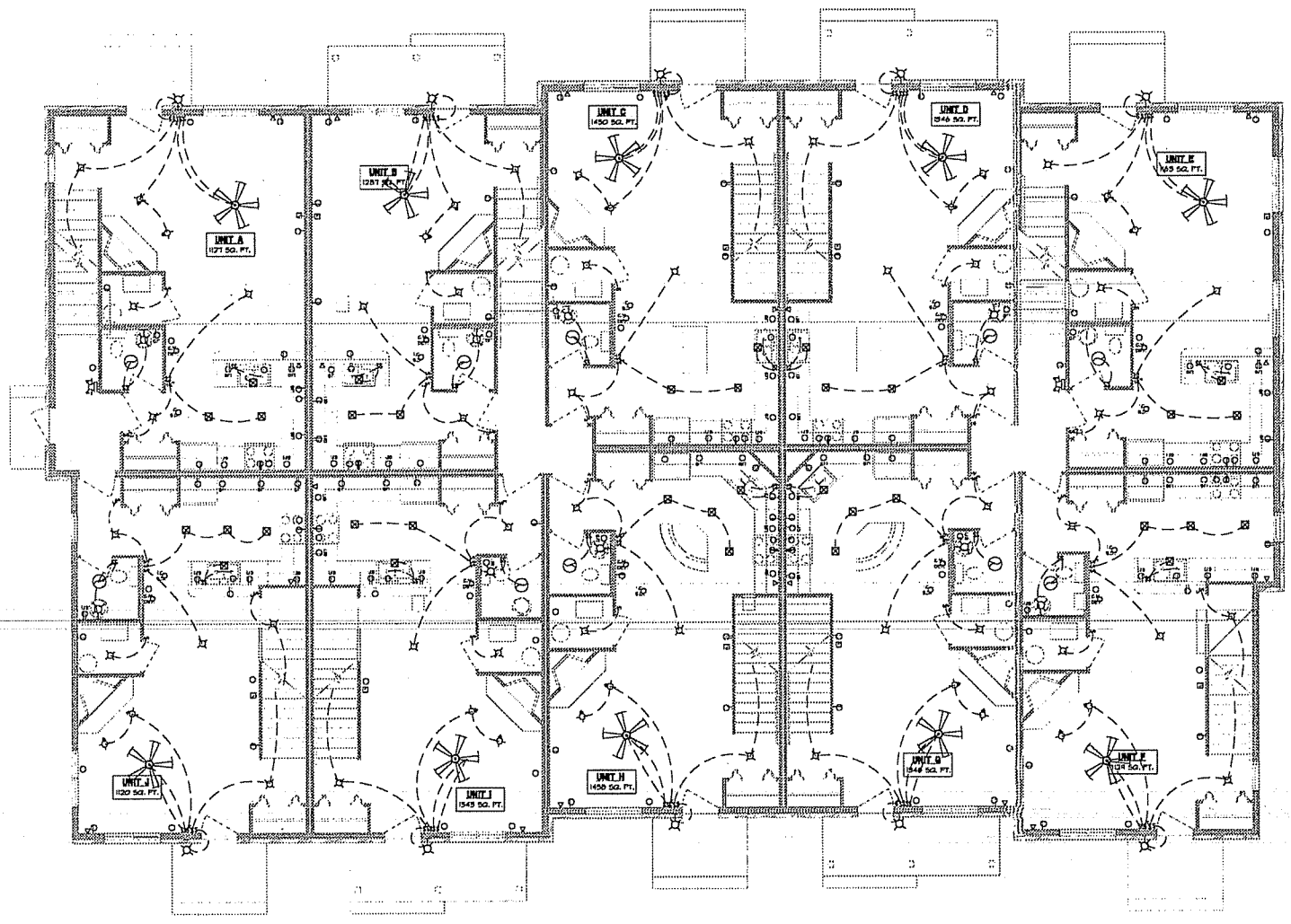
FIRE EXTINGUISHER



**PARKING 1/4" ELEC PLAN.**  
1/4" = 1'-0"

**LOUHER & ASSOCIATES DESIGNS LLC**  
 SAVANNAH ON THE PARK TOWNSHIP  
 158  
 10' PARKING ELEC

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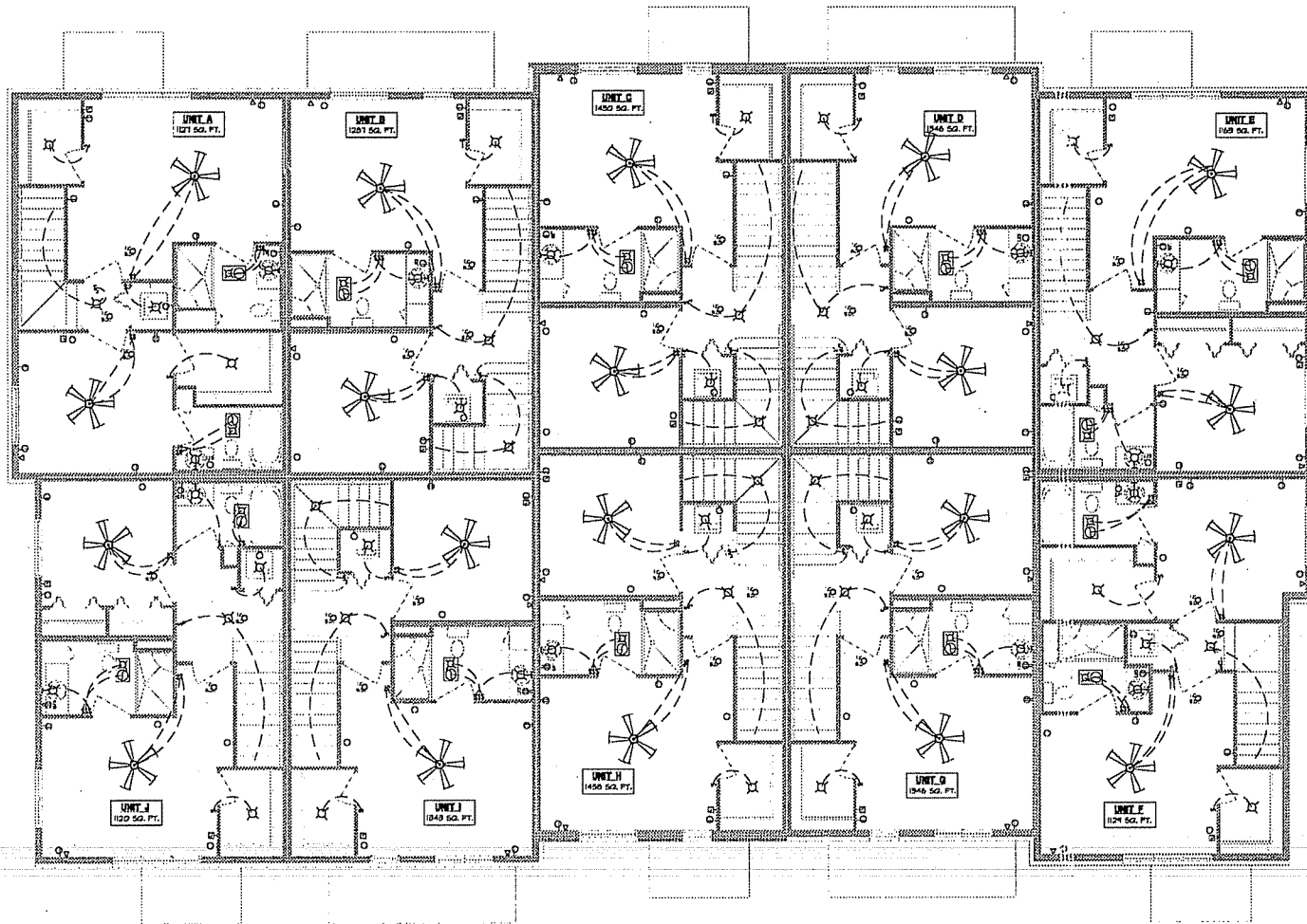


ELECTRICAL LEGEND	
SYMBOL	DISCRIPTION
	PADDLE FAN
	CEILING LITE
	CEILING LITE W/ FIXTURE
	WALL MOUNT LITE
	RECESSED CAN LITE
	FLOOR MOUNT DUPLEX
	STANDARD FAULT INTERRUPT
	WATERPROOF OUTLET
	DUPLEX OUTLET
	QUAD OUTLET
	SINGLE POLE SWITCH
	3 WAY SWITCH
	TELEPHONE
	T.V. OUTLET
	SPOT LITE
	JP LIGHTING
	INTERCONNECTED SMOKE DETECTOR
	FAN
	FAN / LITE
	220 VOLT OUTLET
	DIMMER SWITCH
	CARBON MON. DET.
	EMERGENCY FIRE PILL
	EMERGENCY LIGHTING

FIRE EXTINGUISHER

1 FIRST FLOOR 1/4" ELEC PLAN.  
039 04' x 7'-0"

**LOUTHER & ASSOCIATES DESIGNS, LLC**  
 1500 W. PARKWAY, SUITE 100, PARKTON, MO 64082  
 PH: 816.833.8888 FAX: 816.833.8889  
 WWW.LA-DESIGNS.COM  
 SAVANNA ON THE PARK TOWNHOUSES  
 3D' 1ST. FLR 1/4" ELEC  
 159

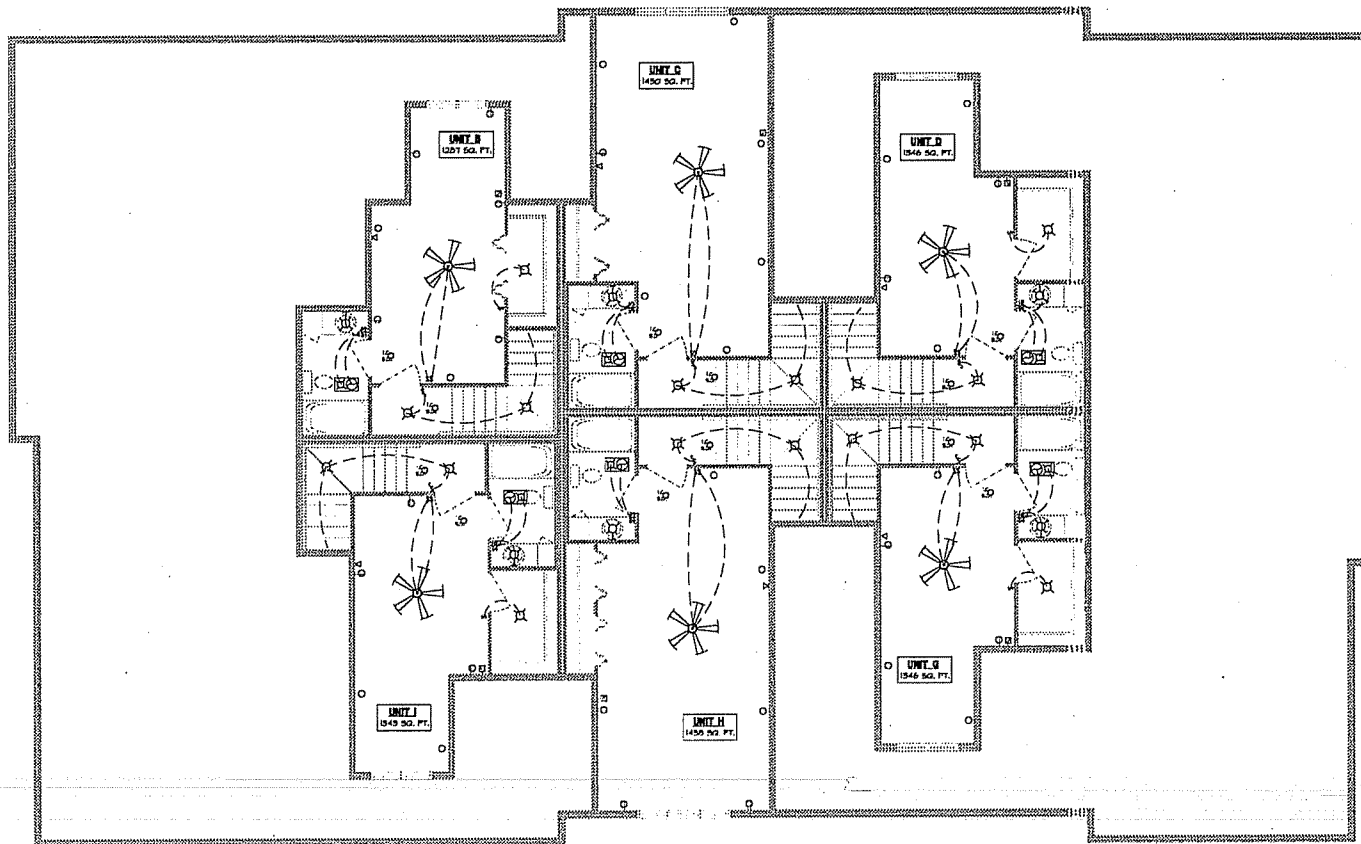


ELECTRICAL LEGEND	
SYMBOL	DISORPTION
	PADDLE FAN
	CEILING LITE
	CEILING LITE W/ FIXTURE
	WALL MOUNT LITE
	RECESSED CAN LITE
	FLOOR MOUNT DUPLEX
	GROUND FAULT INTERRUPT
	WATERPROOF OUTLET
	DUPLEX OUTLET
	QUAD OUTLET
	SINGLE POLE SWITCH
	3 WAY SWITCH
	TELEPHONE
	T.V. OUTLET
	SPOT LITE
	UP LIGHTING
	INTERCONNECTED SMOKE DETECTOR
	FAN
	FAN /LITE
	220 VOLT OUTLET
	DIMMER SWITCH
	CARBON MON. DET.
	EMERGENCY FIRE PULL
	EMERGENCY LIGHTING

FIRE EXTINGUISHER

**SECOND FLOOR 1/4" ELEC. PLAN.**  
1/4" = 1'-0"

**LOUTHER & ASSOCIATES DESIGNS, LLC**  
 10117 W. 10TH AVENUE, SUITE 100, DENVER, CO 80231  
 (303) 751-1100  
**SAVANNA ON THE PARK TOWNHOUSES**  
 10117 W. 10TH AVENUE, SUITE 100, DENVER, CO 80231  
 PROJECT NO. 10117-10-001  
 2D - 2ND FLOOR 1/4" ELEC  
**A60**



ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	PADDLE FAN
	CEILING LITE
	CEILING LITE W/ FIXTURE
	WALL MOUNT LITE
	RECESSED CAN LITE
	FLOOR MOUNT DUPLEX
	GROUND FAULT INTERRUPT
	WATERPROOF OUTLET
	DUPLEX OUTLET
	QUAD OUTLET
	SINGLE POLE SWITCH
	3 WAY SWITCH
	TELEPHONE
	T.V. OUTLET
	SPOT LITE
	UP LIGHTING
	INTERCONNECTED SMOKE DETECTOR
	FAN
	FAN / LITE
	220 VOLT OUTLET
	DIMMER SWITCH
	CARBON MON. DET.
	EMERGENCY FIRE PULL
	EMERGENCY LIGHTING

FIRE EXTINGUISHER

LOFT FLOOR 1/4" ELEC PLAN  
3/4" x 7'-0"

LOUHER & ASSOCIATES DESIGN, LLC  
 SAVANNAH ON THE PARK TOWNHOUSES  
 10' LOFT FLR 1/4" ELEC  
 10/15/10

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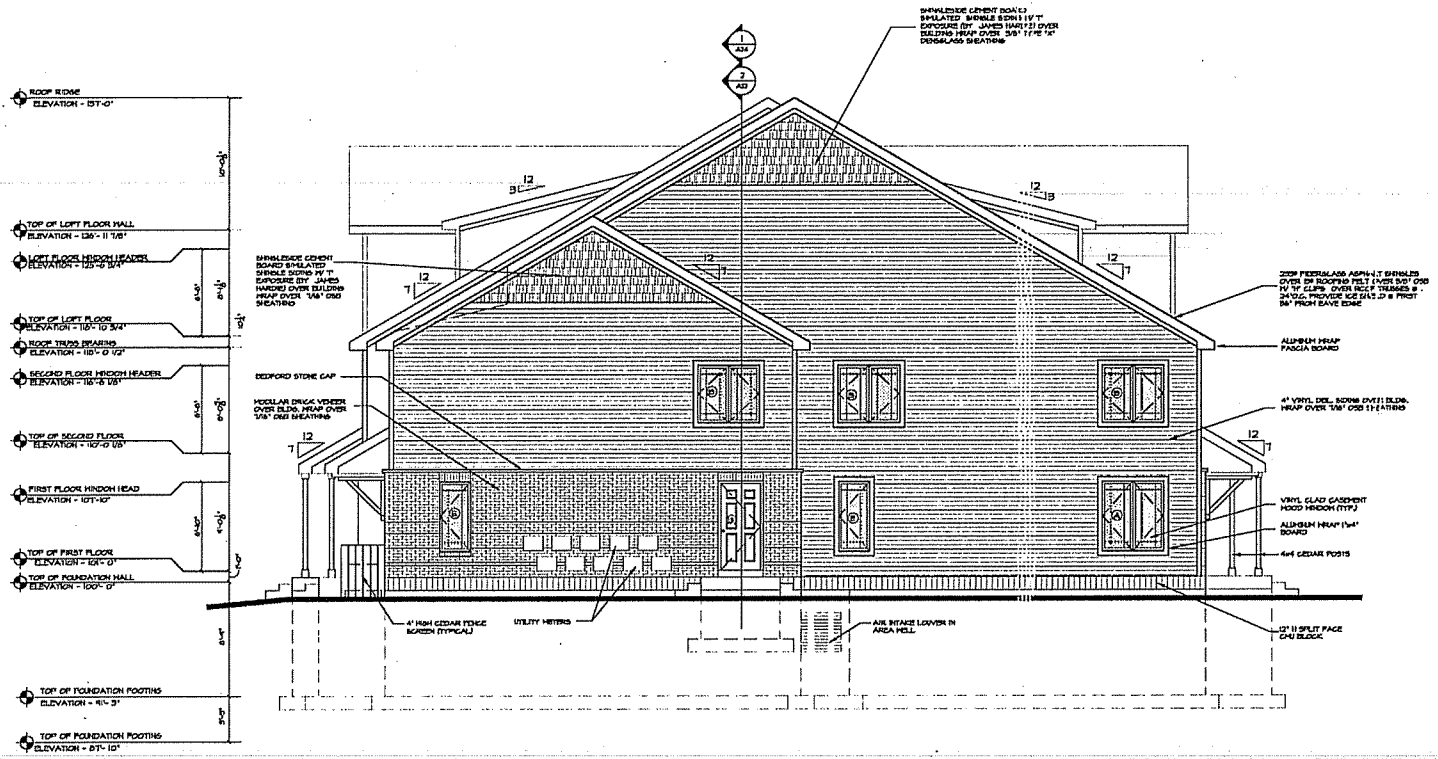
**LOUTHER & ASSOCIATES DESIGN, LLC**  
 ARCHITECTS  
 2010 W. 10TH AVENUE, SUITE 100  
 DENVER, CO 80202  
 TEL: 303.733.1111  
 FAX: 303.733.1112  
 WWW.LA-ARCHITECTS.COM

**SPRING CREEK CONDOS - TO WANT TO**  
 PROJECT NO. 10-001  
 SHEET NO. 10-001-01  
 DATE: 10/10/10

**10' ELEVATION**  
 10' ELEVATION

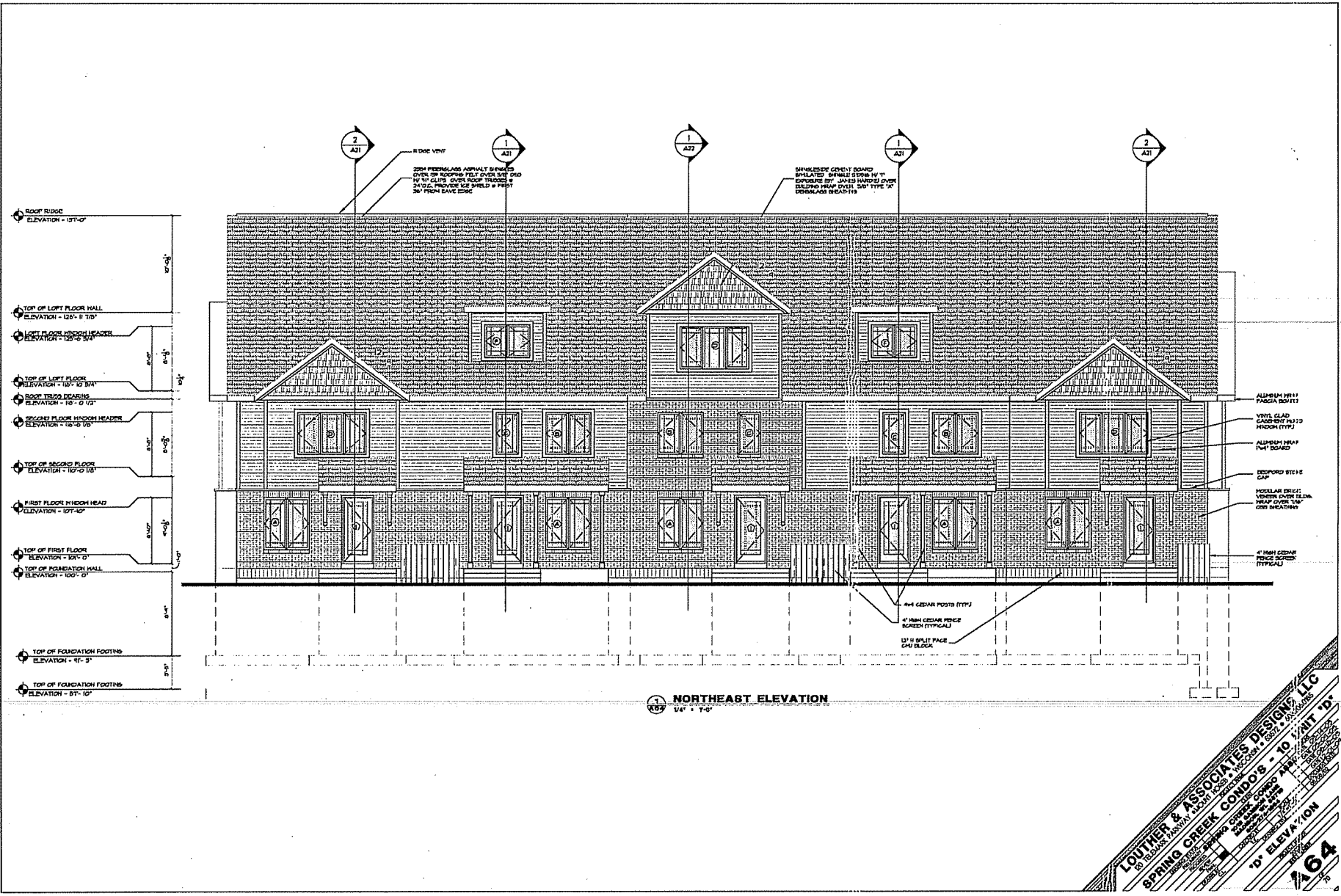
**462**





**SOUTHEAST ELEVATION**  
 1/8" = 1'-0"

**LOUTHER & ASSOCIATES DESIGNS LLC**  
 2014 W. 10th St. Suite 101, Lincoln, NE 68502  
 402.441.2222  
**SPRING CREEK CONDOS - TO UNIT 10**  
 10' ELEVATION  
**A63**



**NORTHEAST ELEVATION**  
1/8" = 1'-0"

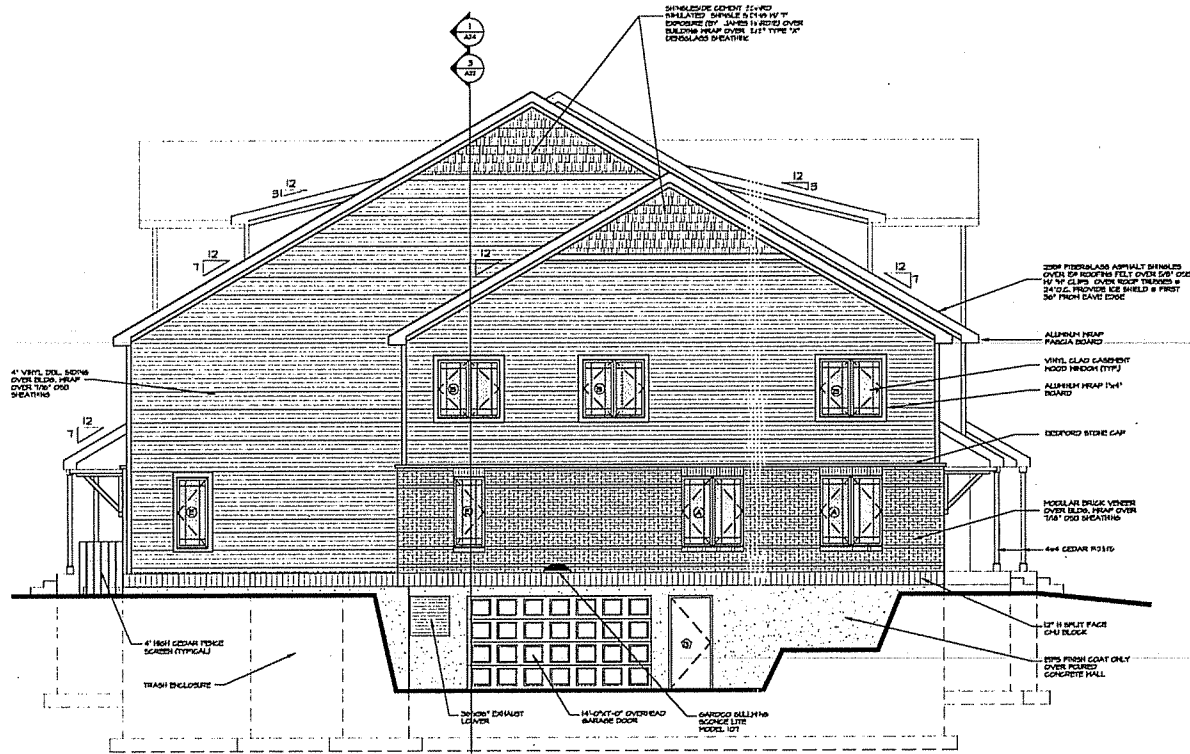
**LOUTHER & ASSOCIATES DESIGN, LLC**  
ARCHITECTS

**SPRING CREEK CONDOS - TO VANT 10'**

10' ELEVATION

**164**

- ROOF RIDGE  
ELEVATION - 131'-0"
- TOP OF LOFT FLOOR HALL  
ELEVATION - 128'-8 1/2"
- LOFT FLOOR KNOCK HEADER  
ELEVATION - 125'-8 3/4"
- TOP OF LOFT FLOOR  
ELEVATION - 118'-0 5/8"
- ROOF TRUSS BEARING  
ELEVATION - 115'-0 1/2"
- GROUND FLOOR KNOCK HEADER  
ELEVATION - 112'-0 1/8"
- TOP OF SECOND FLOOR  
ELEVATION - 107'-0 1/8"
- FIRST FLOOR KNOCK HEAD  
ELEVATION - 107'-0"
- TOP OF FIRST FLOOR  
ELEVATION - 101'-0"
- TOP OF FOUNDATION HALL  
ELEVATION - 100'-0"
- TOP OF FOUNDATION FOOTING  
ELEVATION - 91'-3"
- TOP OF FOUNDATION FOOTING  
ELEVATION - 87'-10"



**NORTHWEST ELEVATION**  
1/4" = 1'-0"

**LOTTIER & ASSOCIATES DESIGNS, LLC**  
 3010 1st Ave. S.E. #100  
 Bellevue, WA 98004  
 Phone: 206.465.4655  
 Fax: 206.465.4656  
 www.lottier.com

**SPRING CREEK CONDOS - TO WANT TO**  
 PROJECT NO. 1477  
 DATE: 11/11/11  
 SHEET NO. 10' ELEVATION

**A65**