

# HILLDALE SHOPPING CENTER PUD GPD - AMENDMENT #1 SIP - AMENDMENT #2

## EXHIBITS FOR PRE-RECORDING FINAL REVIEW

DATE: 10-11-06

PC NUMBER	Description Title Sheet
S/C 100	Main Plan/GDP Amendment
S/C 101	SP Boundary
S/C 102	SP Easement Conditions and Direction Plan
S/C 200	Overall SP Layout Plan
S/C 201	SP Layout Plan West
S/C 202	SP Layout Plan East
S/C 300	Site Details
S/C 301	Site Details
S/C 400	SITE GRADING WEST
S/C 401	SITE GRADING EAST
S/C 402	MASS GRADING WEST
S/C 403	MASS GRADING EAST
S/C 404	EROSION CONTROL WEST
S/C 405	EROSION CONTROL EAST
S/C 406	UTILITY PLAN WEST
S/C 407	UTILITY PLAN EAST
S/C 408	FREY STREET
S/C 409	SWAYER TERRACE
S/C 410	SWAYER TERRACE
S/C 411	HEATHER CREST
S/C 412	WALL DRIVE
S/C 413	WALL DRIVE
S/C 414	WALL DRIVE
S/C 415	WALL DRIVE
S/C 416	UTILITY DETAILS
S/C 417	UTILITY DETAILS
S/C 418	STORM WATER MANAGEMENT WEST
S/C 419	STORM WATER MANAGEMENT EAST
S/C 420	PAVEMENT MARKING AND SIGNING WEST
S/C 421	PAVEMENT MARKING AND SIGNING EAST
S/C 500	FIRE ACCESS PLAN WEST
S/C 501	FIRE ACCESS PLAN EAST
S/C 502	TRUCK ACCESS WEST
S/C 503	TRUCK ACCESS EAST
S/L 100	Paving Design Plan
S/L 200	Paving Design Plan
EL 100	SITE PHOTOGRAPHY

PC NUMBER	Description Title Sheet
L 100	WHELLE FOODS MARKET FLOOR PLAN
L 101	WHELLE FOODS MARKET ROOF PLAN
L 200	WHELLE FOODS MARKET NORTH AND EAST ELEVATIONS
L 201	WHELLE FOODS MARKET WEST AND SOUTH ELEVATIONS
M 100	BUILDING N TYPICAL FLOOR PLAN
M 101	BUILDING N PENTHOUSE / ROOF PLAN
M 200	BUILDING M NORTH ELEVATION
M 201	BUILDING M EAST & WEST ELEVATIONS
M 202	BUILDING M SOUTH ELEVATION
N/O 100	BUILDING N & O TYPICAL FLOOR PLAN
N/O 101	BUILDING N & O PENTHOUSE / ROOF PLAN
N/O 200	BUILDING N & O EAST ELEVATION
N/O 201	BUILDING N & O WEST ELEVATION
N/O 202	BUILDING N & O NORTH AND SOUTH ELEVATIONS
P 100	BUILDING P FLOOR PLAN & ELEVATIONS
Q 100	BUILDING Q FLOOR PLAN & ELEVATIONS
R 101	PARKING LEVEL 1
R 102	PARKING LEVEL 2
R 103	PARKING LEVEL 3
R 104	PARKING LEVEL 4
R 105	PARKING LEVEL 5
R 200	PARKING TRAMPLETTOR ELEVATIONS
R 201	PARKING TRAMPLETTOR ELEVATIONS
X 101	OVERALL NORTH ELEVATION
X 102	OVERALL EAST ELEVATION

HILLDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD MADISON, WI  
HILLDALE BUILDING COMPANY LLC

HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2

Sheet Title:

SUBMITTAL SCHEDULE

Revisions:	Rev.	Date	Description	By

Project Number: 1-06360-01	Drawn By:
Date Issued: 10-11-06	Reviewed By: CG

Sheet Number:

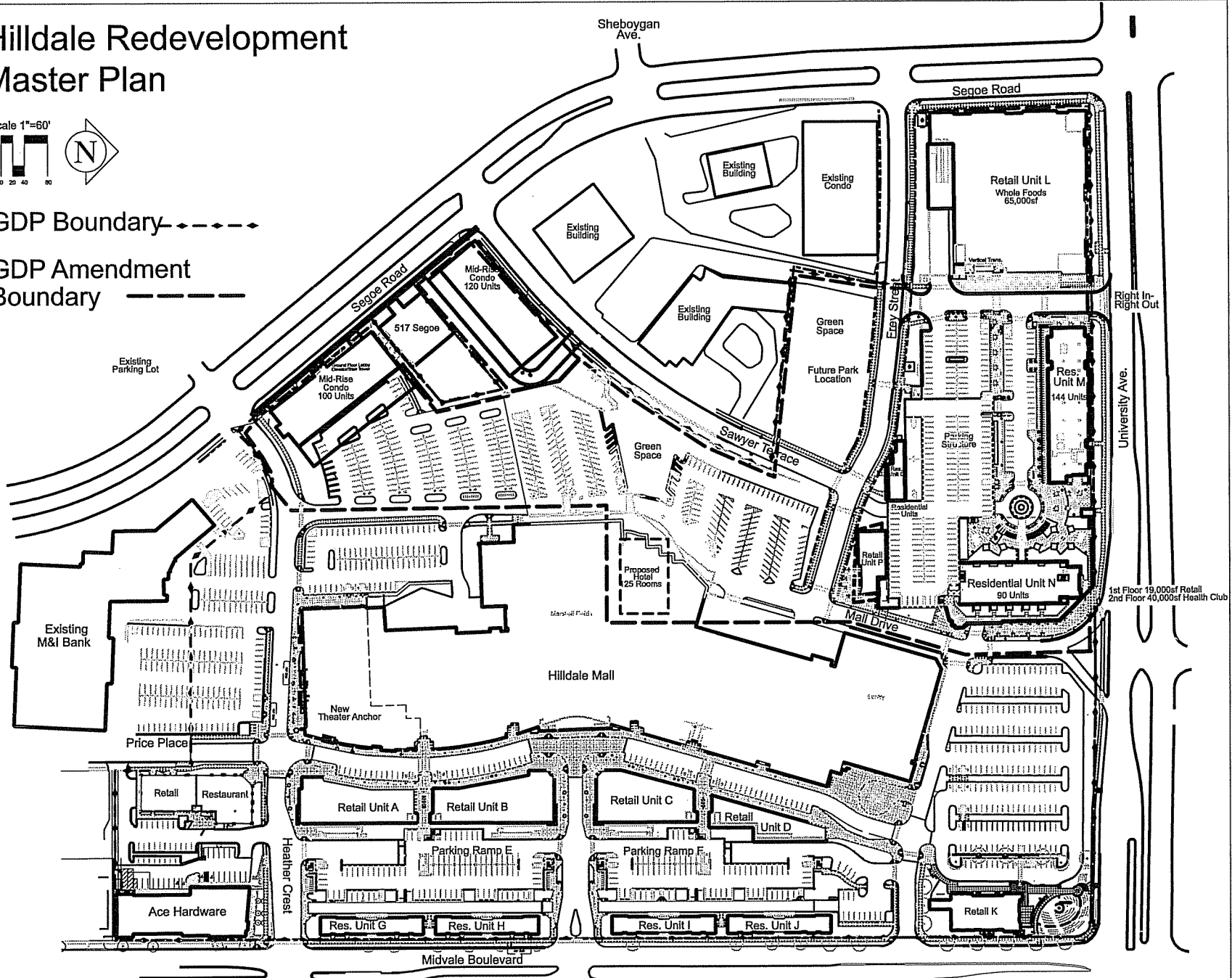
# Hilldale Redevelopment Master Plan

Scale 1"=60'



GDP Boundary - - - - -

GDP Amendment Boundary - - - - -



HILLDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD  
MADISON, WI  
HILLDALE BUILDING COMPANY LLC

Project Title  
Master Plan  
GDP Amendment

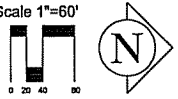
Revision	Date	Description

Project Number: \_\_\_\_\_ Drawn By: \_\_\_\_\_  
Date Issued: 10-11-06 Reviewed By: \_\_\_\_\_

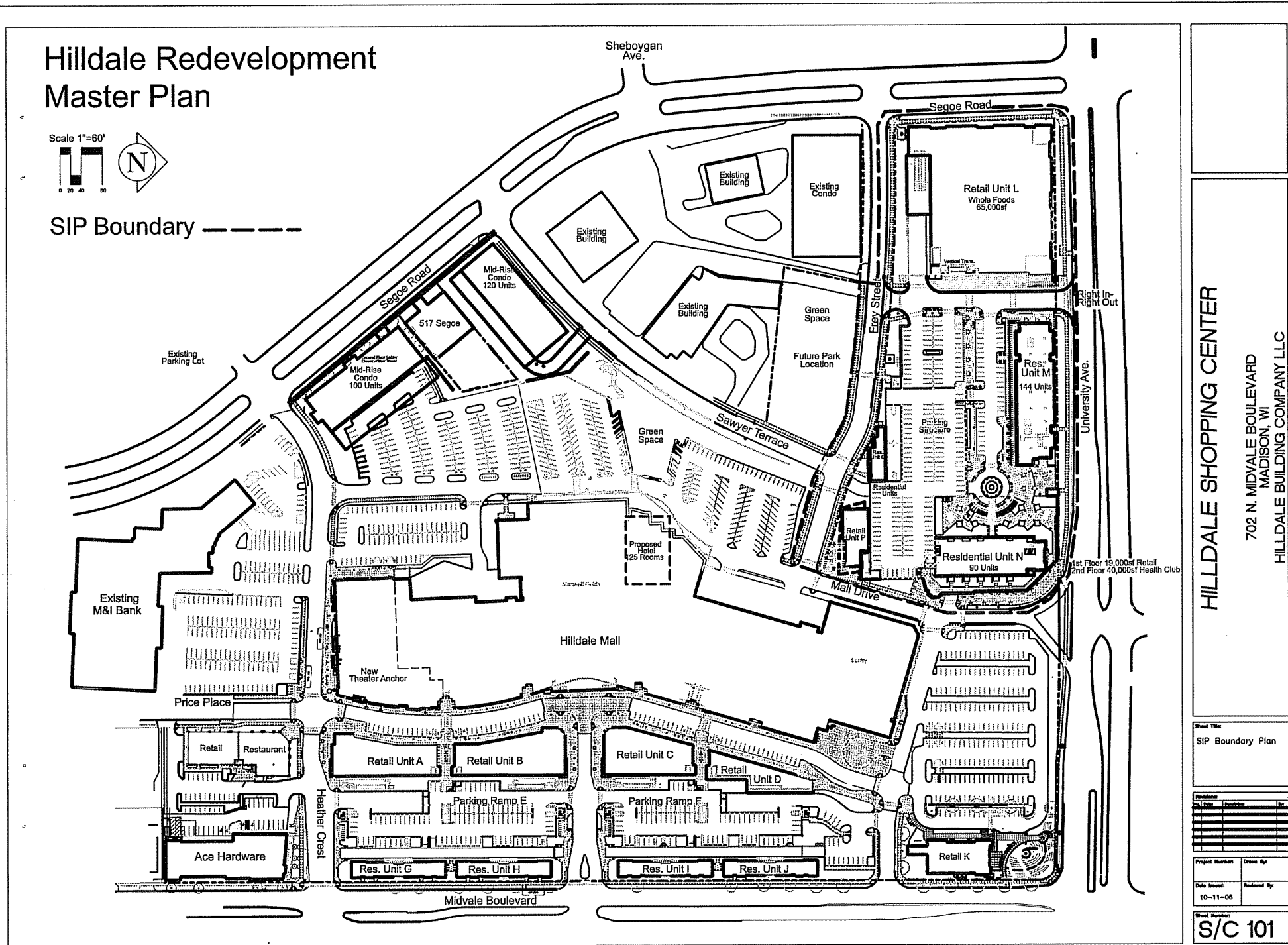
Sheet Number  
**S/C 100**

# Hilldale Redevelopment Master Plan

Scale 1"=60'



SIP Boundary - - - - -



HILLDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD  
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HILLDALE BUILDING COMPANY LLC

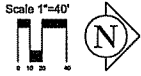
Sheet Title  
SIP Boundary Plan

Revision	Date	Description

Project Number:      Drawn By:  
Date Issued: 10-11-05      Reviewed By:

Sheet Number:  
**S/C 101**

# Hilldale Redevelopment SIP Existing Conditions and Demolition Plan



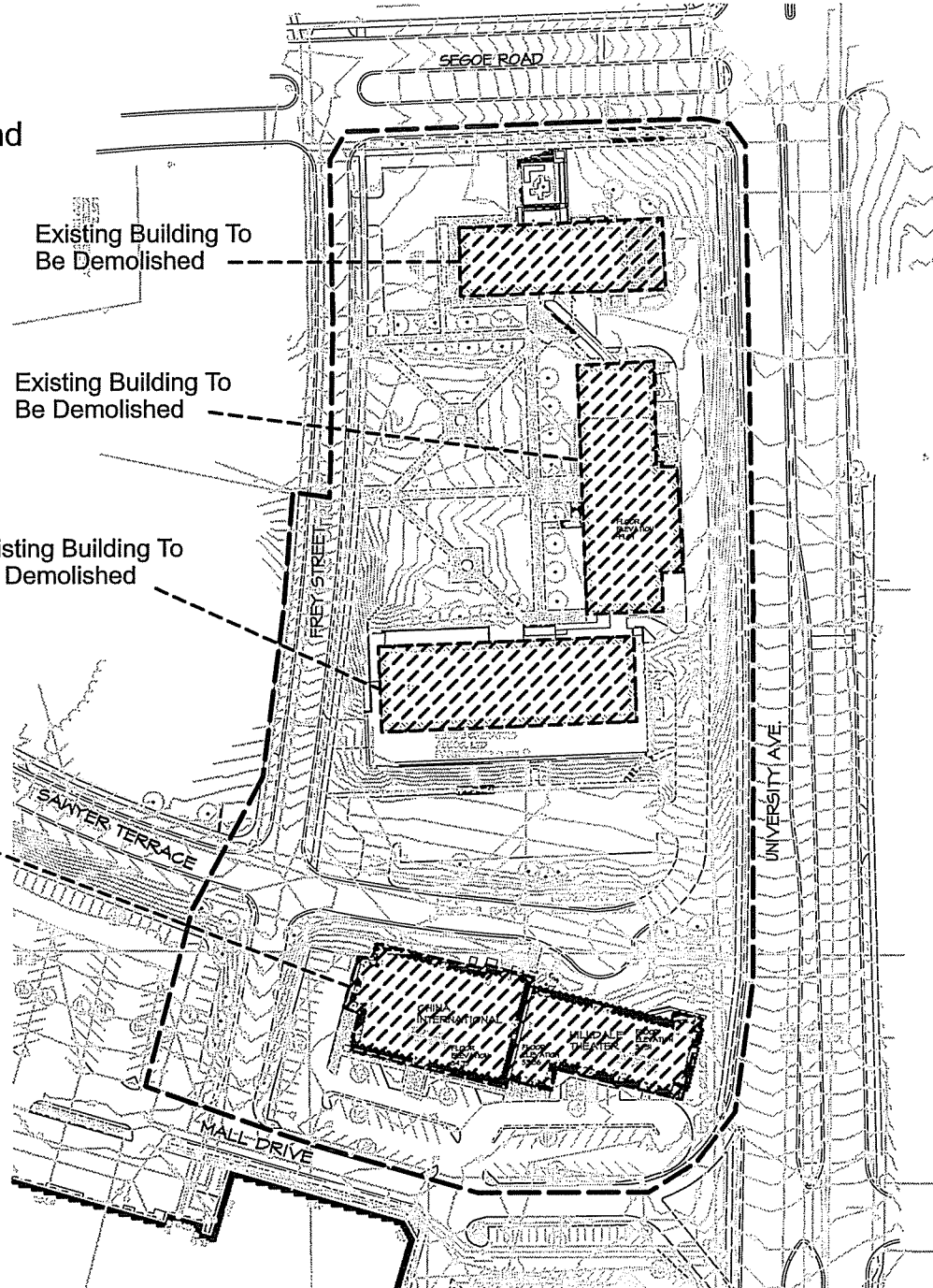
SIP Boundary - - - - -

Existing Building To  
Be Demolished

Existing Building To  
Be Demolished

Existing Building To  
Be Demolished

Existing Building To  
Be Demolished



## HILDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD  
MADISON, WI  
HILDALE BUILDING COMPANY LLC

Sheet Title:  
SIP EXISTING CONDITIONS  
AND SITE DEMOLITION  
PLAN

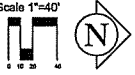
Revision	Date	Description

Project Number:	Drawn By:
10-11-08	MS
Date Issued:	Reviewed By:
10-11-08	KS

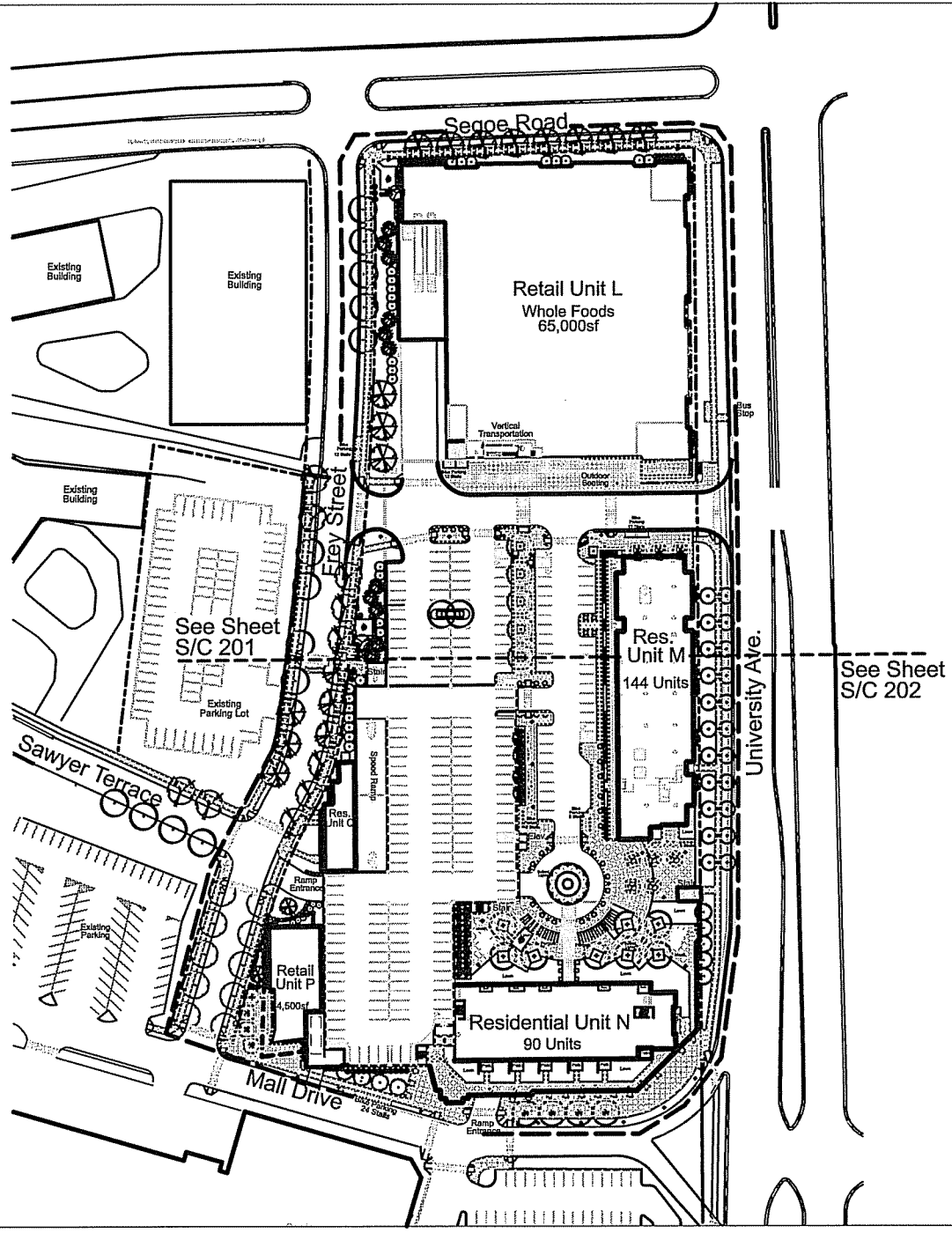
Sheet Number:  
**S/C 102**

# Hilldale Redevelopment SIP Site Plan

Scale 1"=40'



SIP Boundary - - - - -



## HILLDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD  
MADISON, WI  
HILLDALE BUILDING COMPANY LLC

Work Title:  
SIP SITE PLAN

Revision	By	Date	Description

Project Number: MS  
Date Issued: 10-11-06  
Drawn By: MS  
Reviewed By: KS

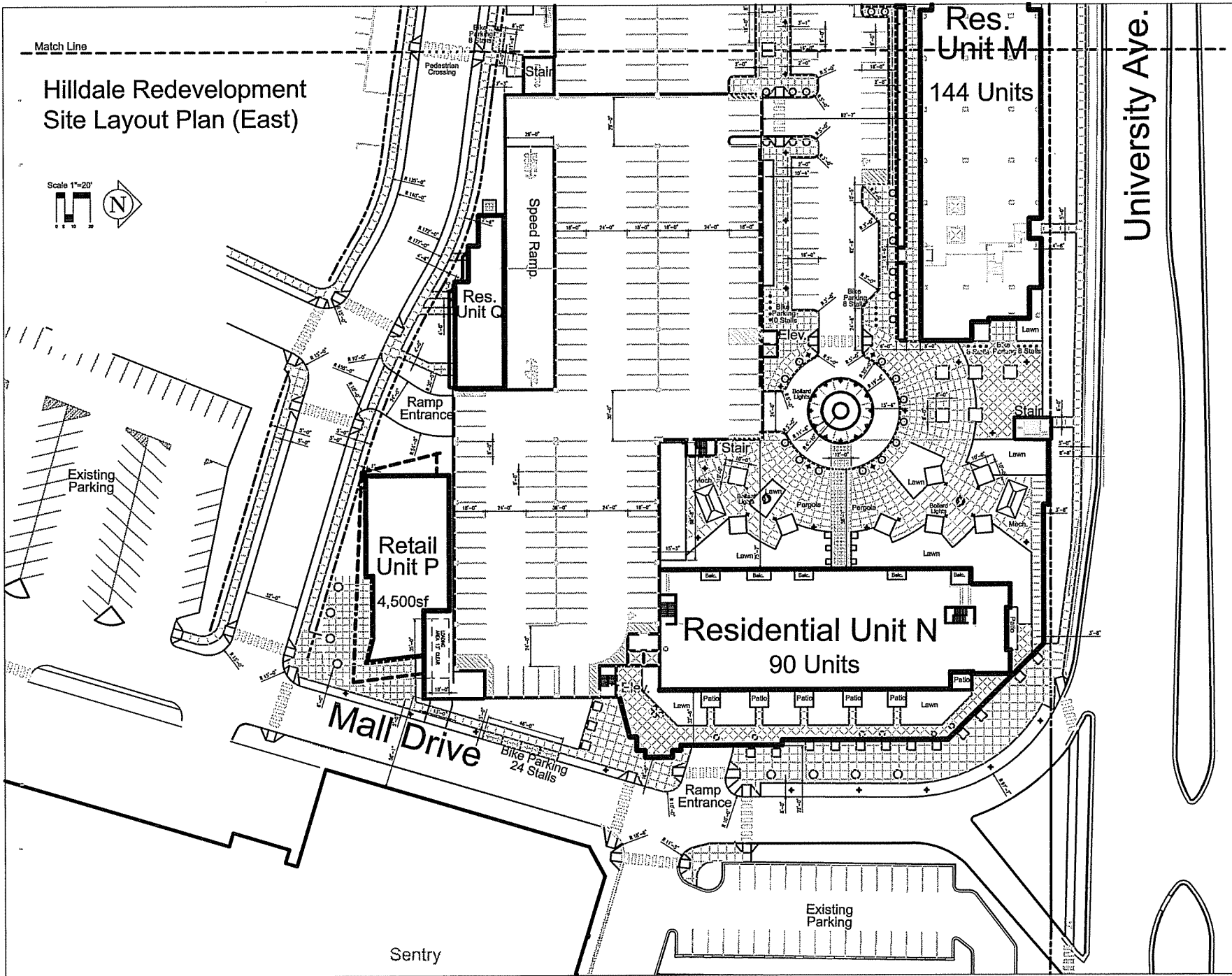
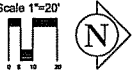
Work Number:  
**S/C 200**



Match Line

# Hilldale Redevelopment Site Layout Plan (East)

Scale 1"=20'



University Ave.

HILLDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD  
MADISON, WI  
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Sheet Title:  
SITE LAYOUT PLAN  
EAST

Revision	Date	By	Checked

Project Number:	Drawn By:
10-11-06	MS
Date Issued:	Reviewed By:
10-11-06	KS

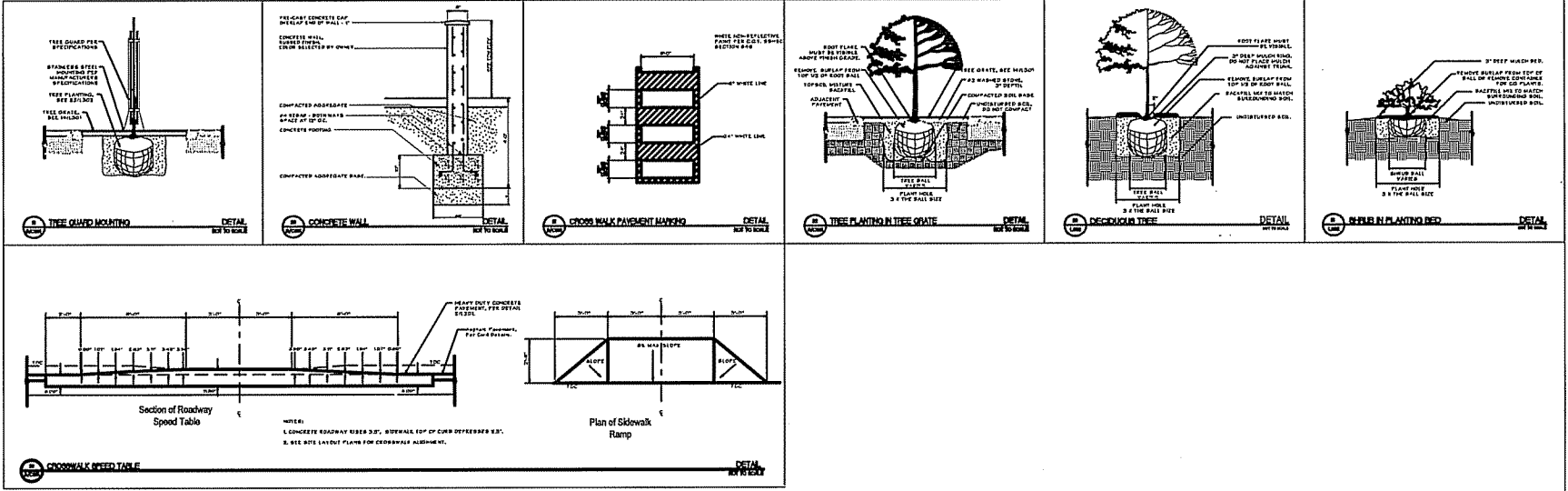
Sheet Number:  
**S/C 202**

Sentry





# Hilldale Redevelopment Site Details



**HILLDALE SHOPPING CENTER**  
702 N. MIDVALE BOULEVARD  
MADISON, WI  
HILLDALE BUILDING COMPANY LLC

Sheet Title:  
**SITE DETAILS**

Revision	Date	Prepared By	By

Project Number: 07000-01  
Drawn By: MS  
Date Issued: 10-11-08  
Reviewed By: KS

Sheet Number:  
**S/C 301**







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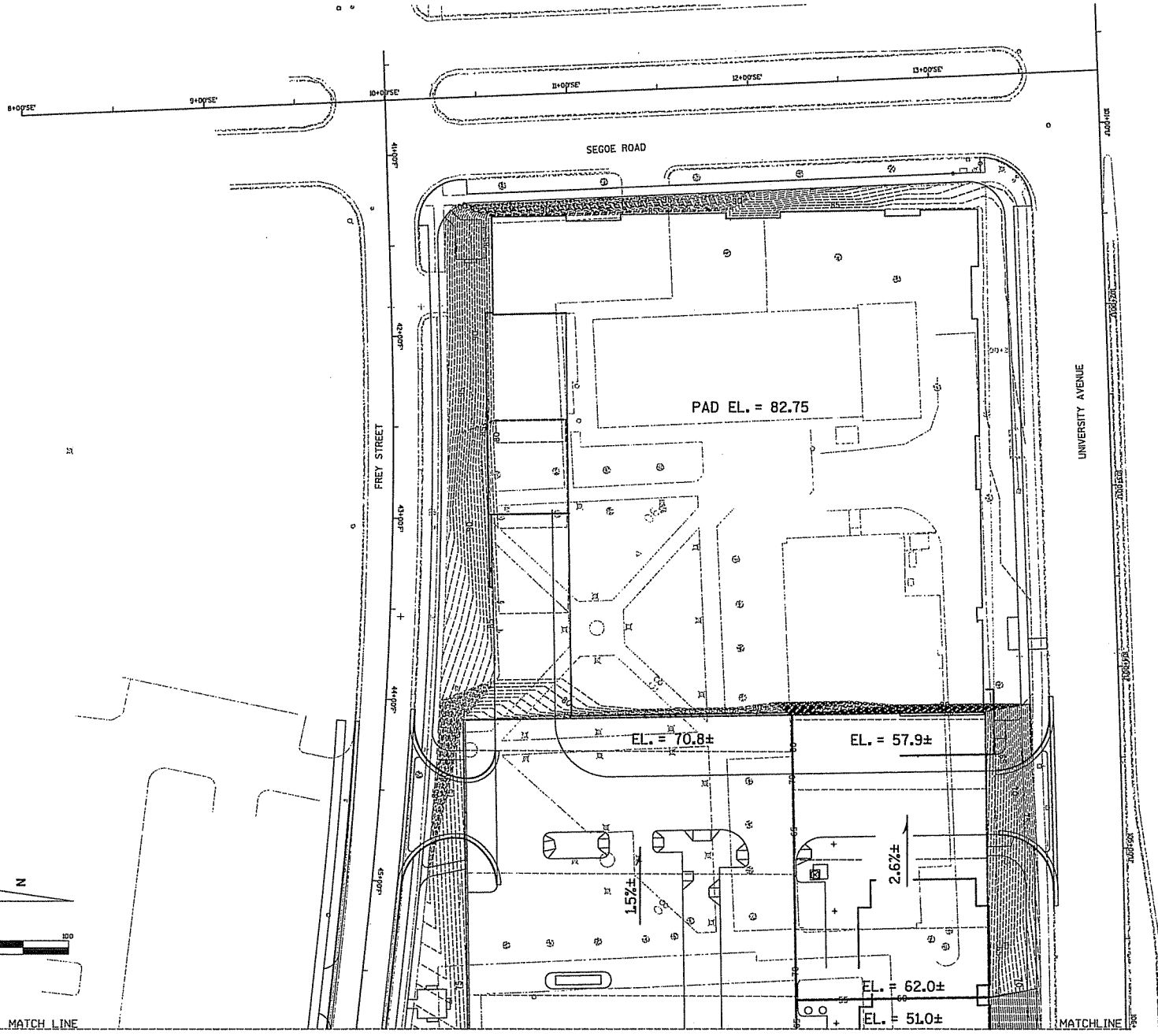
**HILDALE SHOPPING CENTER**  
 702 N. MIDVALE BOULEVARD  
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Sheet Title  
**MASS  
 SITE GRADING  
 WEST**

Revision	No.	Date	By	Reason

Project Number	Drawn By
Date Issued	Reviewed By
10/11/05	

Sheet Number  
**S/C 402**



MATCH LINE

MATCHLINE

EL. = 73.7±

PAD EL. = 51.0±

PAD EL. = 51.0±

UNIVERSITY AVENUE

HALL DRIVE

FREY STREET

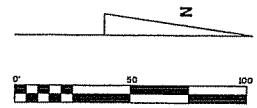
SAWYER TERRACE

ENGINEERS ESTIMATE OF CUT/FILL QUANTITIES PROVIDED FOR INFORMATION ONLY. BIDDER SHALL CALCULATE, VERIFY, AND RELY UPON THEIR OWN QUANTITIES.

AREA NORTH OF FREY STREET  
CUT = 105,000 C.Y.  
FILL = 200 C.Y.

THESE NUMBERS ARE BASED ON EXISTING CONTOURS VS. PROPOSED ROUGH GRADING CONTOURS SHOWN. PLEASE NOTE THAT THE AREAS BETWEEN THE MATCH LINES AND PROPOSED BUILDINGS, WALLS, STREET WILL HAVE TO BE "RE-FILLED" UPON COMPLETION OF THE BELOW GRADE STRUCTURE.

THE ROUGH GRADING CONTOURS ARE TO THE APPROXIMATE SUBGRADE ELEVATIONS NOT THE FINISHED GRADE. THE EXISTING PARKING GARAGE HAS BEEN TAKEN INTO ACCOUNT. HOWEVER THE OTHER BUILDING BASEMENTS, ETC. HAVE NOT BEEN INCLUDED IN THE EXISTING CONTOURS.



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Sheet Title  
**MASS SITE GRADING EAST**

Revision	No.	Date	Description	By

Project Number: 10/11/08  
Date Issued: 10/11/08

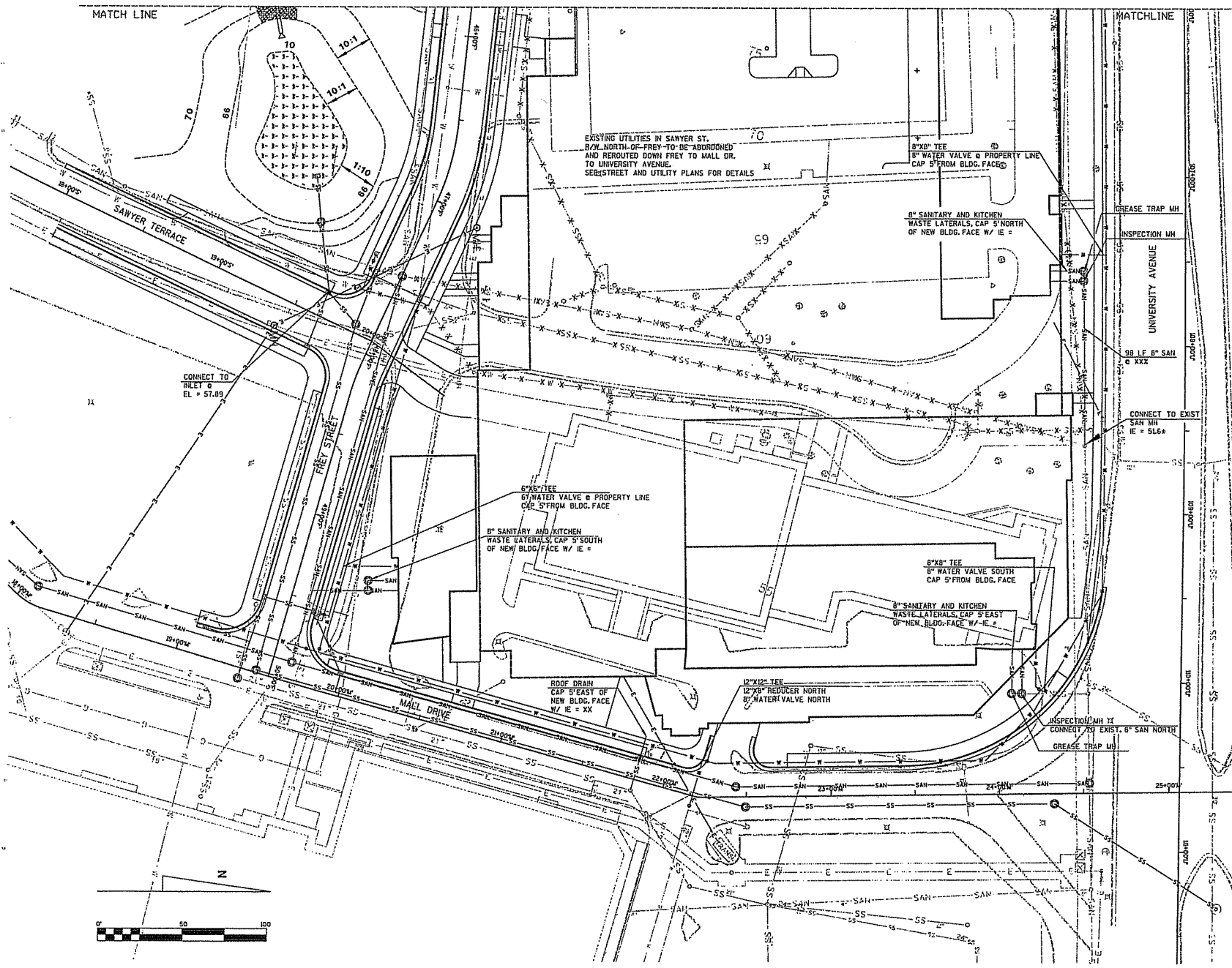
Sheet Number: **S/C 403**











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ENGINEERS

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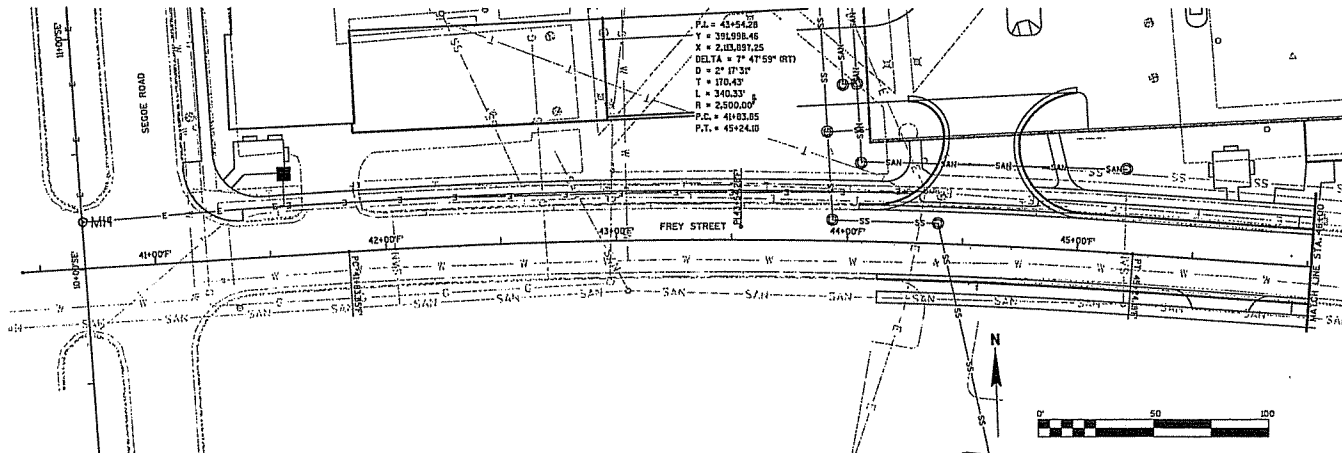
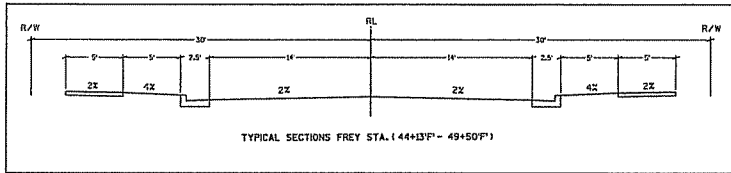
**HILDALE SHOPPING CENTER**  
702 N. MIDVALE BOULEVARD  
MADISON, WI  
HILDALE BUILDING COMPANY LLC

Sheet Title  
**UTILITY EAST**

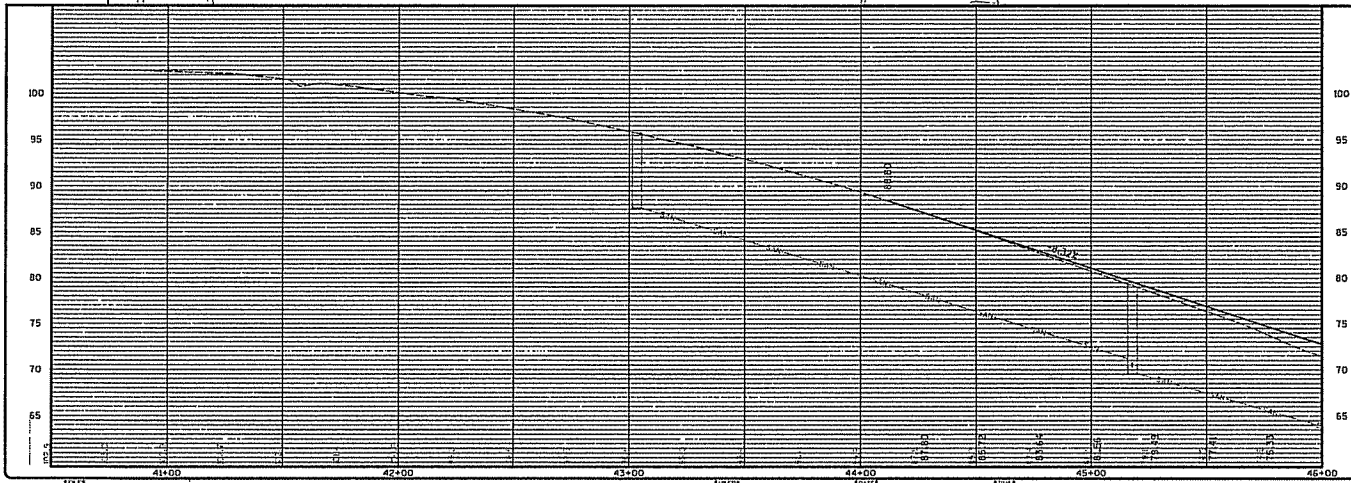
Revision	By	Date

Project Number: \_\_\_\_\_ Drawn By: \_\_\_\_\_  
Date Issued: \_\_\_\_\_ Reviewed By: \_\_\_\_\_  
Sheet Number: \_\_\_\_\_

**S/C 407**



P.A. = 43+54.28  
 Y = 391.098.46  
 X = 2,103,891.25  
 DELTA = 7° 47' 59" (RT)  
 D = 2° 17' 31"  
 T = 310.45'  
 L = 340.33'  
 R = 2,500.00'  
 P.C. = 41+83.85  
 P.T. = 45+24.10



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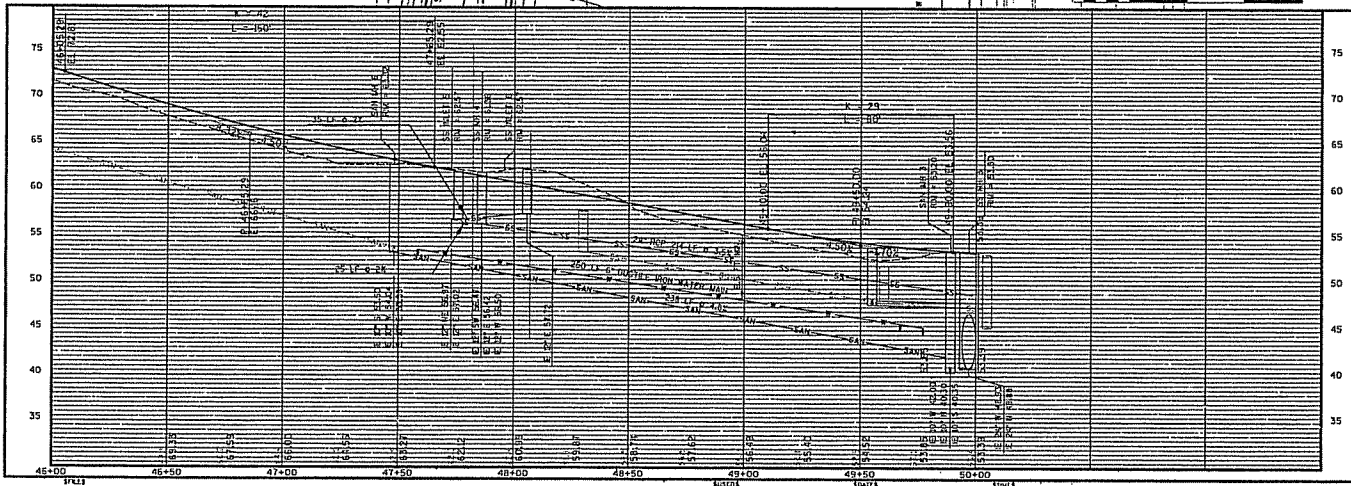
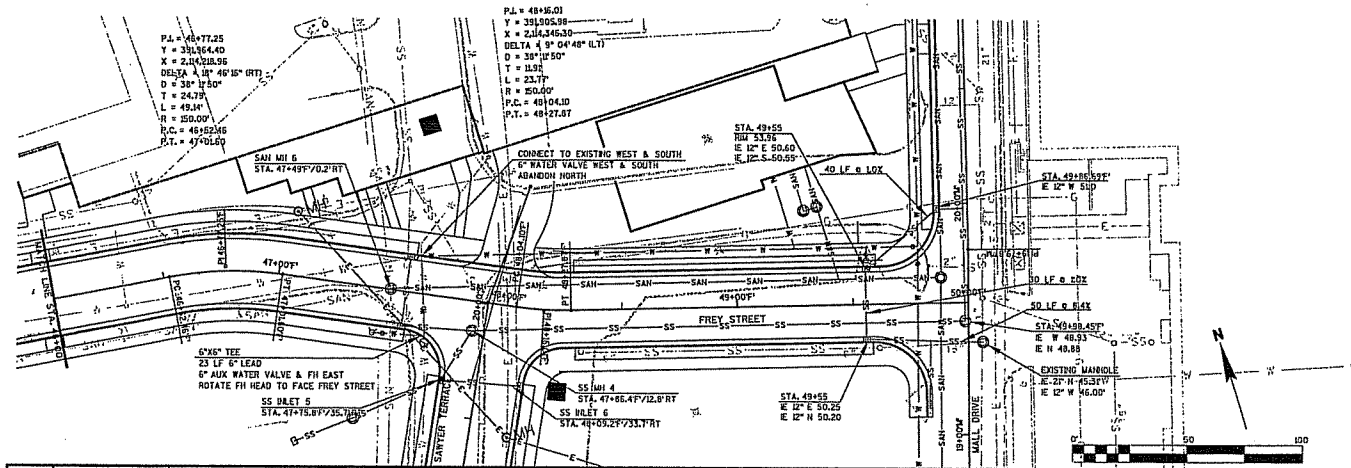
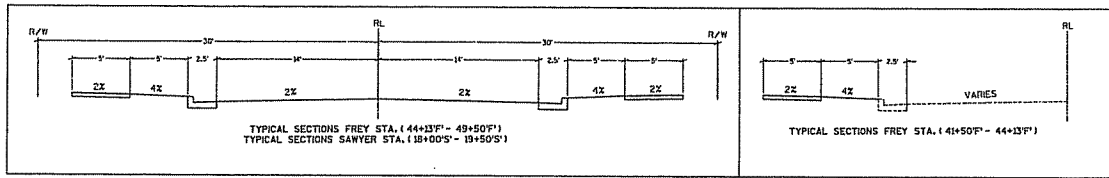
**HILDALE SHOPPING CENTER**  
 702 N. MIDVALE BOULEVARD  
 MADISON, WI  
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Sheet Title  
**STREET AND UTILITY CONSTRUCTION FREY ST.**

Rev	Date	Description	By
1	3/22	VAR. REVISIONS	BAI
2	5/24	CB-1	BAI
3	8/18	CB-4	BAI
4	8/28/08	CB-18	BAI

Project Number	Drawn By
Date Issued	Checked By
10/11/08	

Sheet Number  
**S/C 408**



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**HILDALE SHOPPING CENTER**  
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MADISON, WI  
HILDALE BUILDING COMPANY LLC

Sheet Title  
**STREET AND UTILITY CONSTRUCTION FREY ST.**

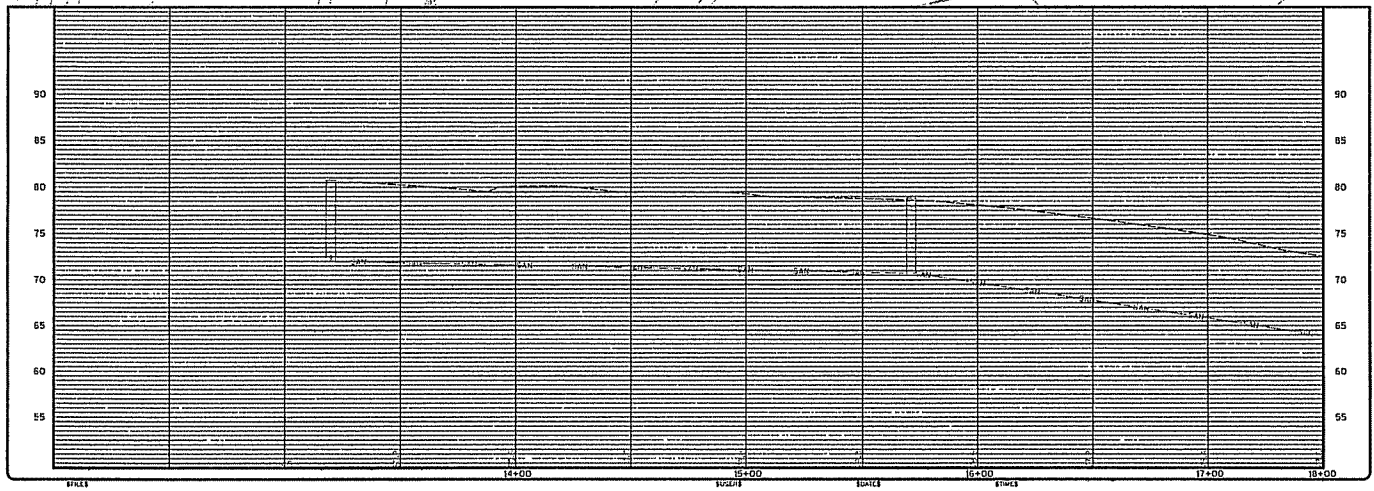
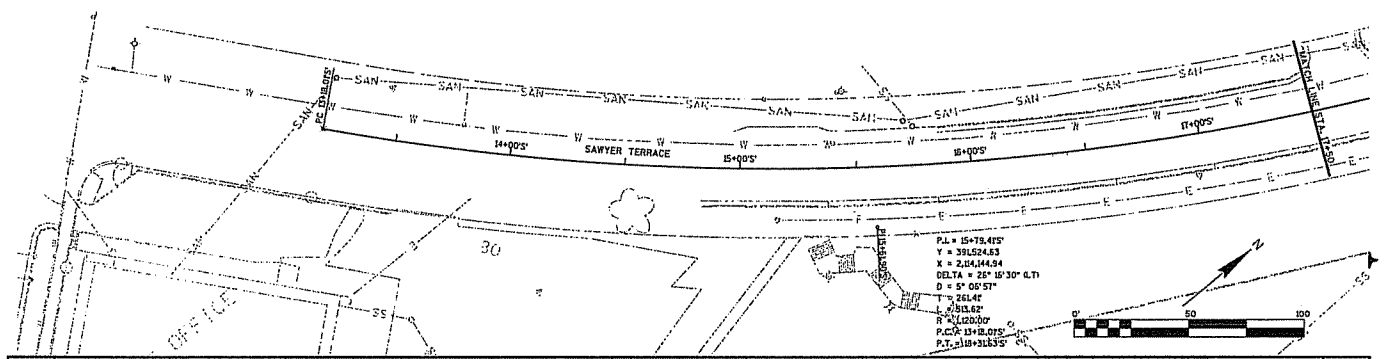
Revision	By	Date	Description

Project Number	Drawn By
Date Issued	Reviewed By
10/11/08	

Sheet Number  
**S/C 409**



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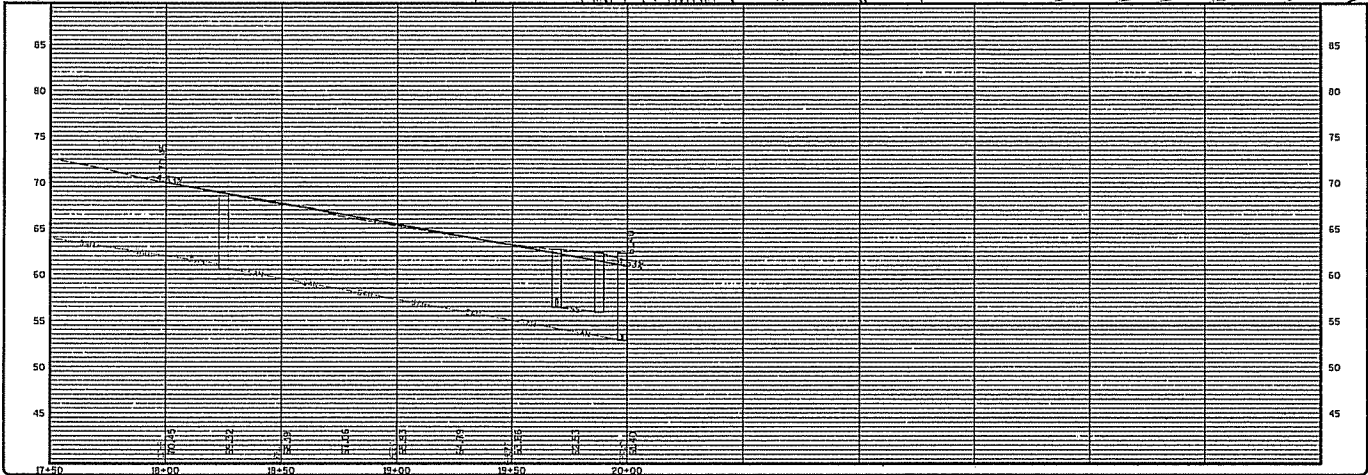
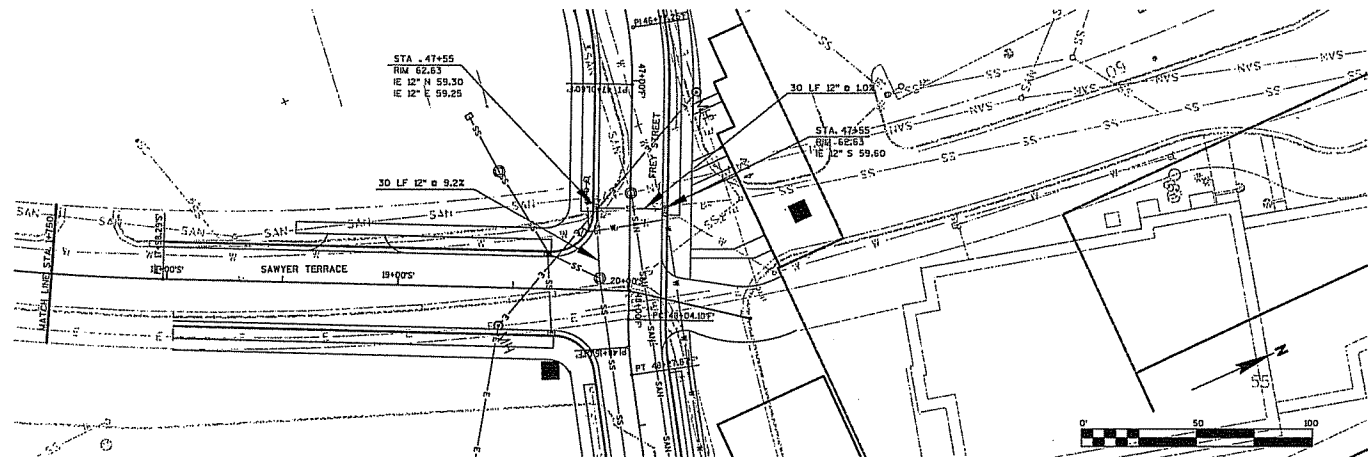
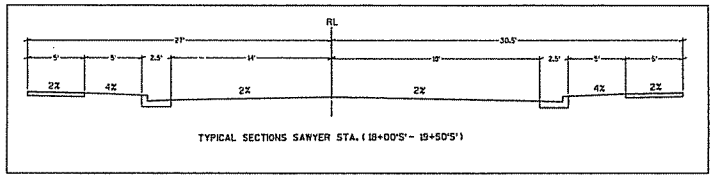
**HILDALE SHOPPING CENTER**  
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 HILDALE BUILDING COMPANY LLC

Sheet Title  
**STREET AND UTILITY CONSTRUCTION SAWYER TERRACE**

Revisions	No.	Date	Description	By

Project Number	Drawn By
Date Issued	Reviewed By
10/11/08	

Sheet Number  
**S/C 410**



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ENGINEERS

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Sheet Title  
**STREET AND UTILITY CONSTRUCTION SAWYER TERRACE**

Revised	By	Reason	Date

Project Number	Drawn By
Date Issued	Reviewed By
10/11/05	

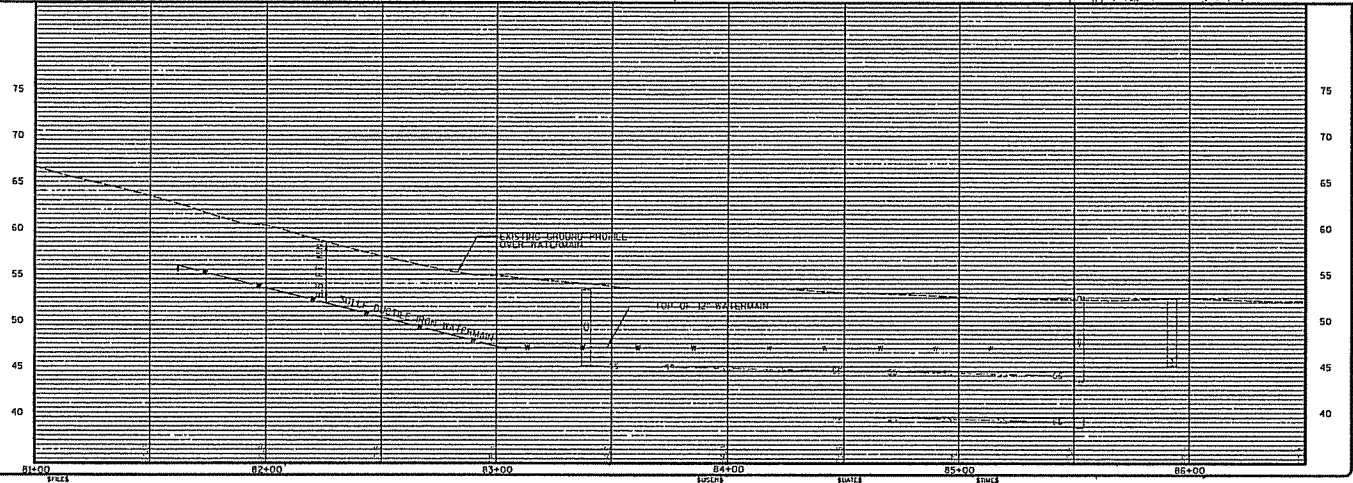
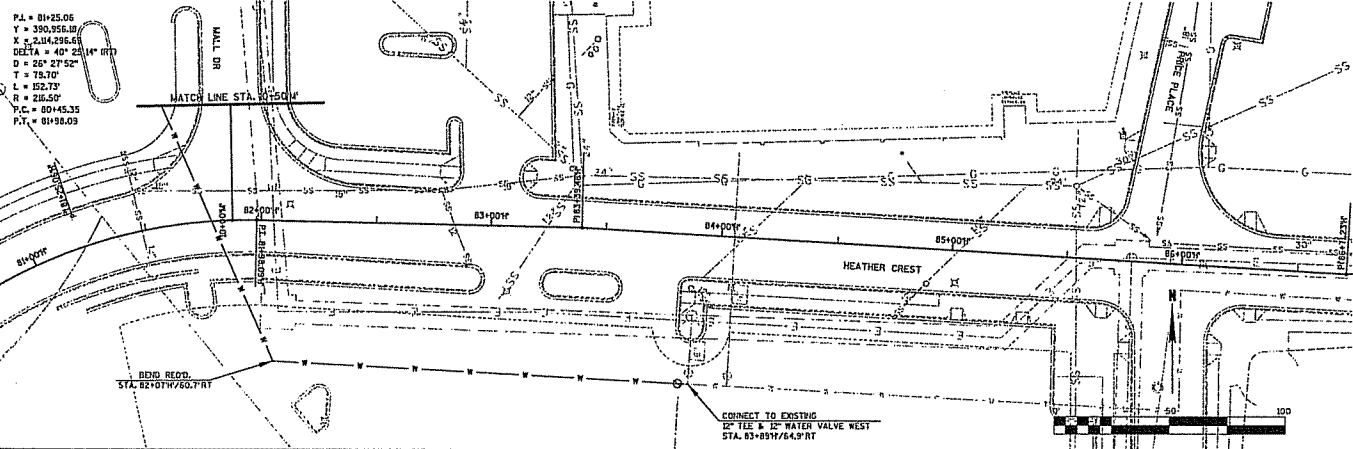
Sheet Number  
**S/C 411**



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Sheet Title  
**STREET AND UTILITY CONSTRUCTION HEATHER CREST**

Revised	By	Reason	Date

Project Number: \_\_\_\_\_ Drawn By: \_\_\_\_\_  
 Date Issued: 10/11/05 Reviewed By: \_\_\_\_\_

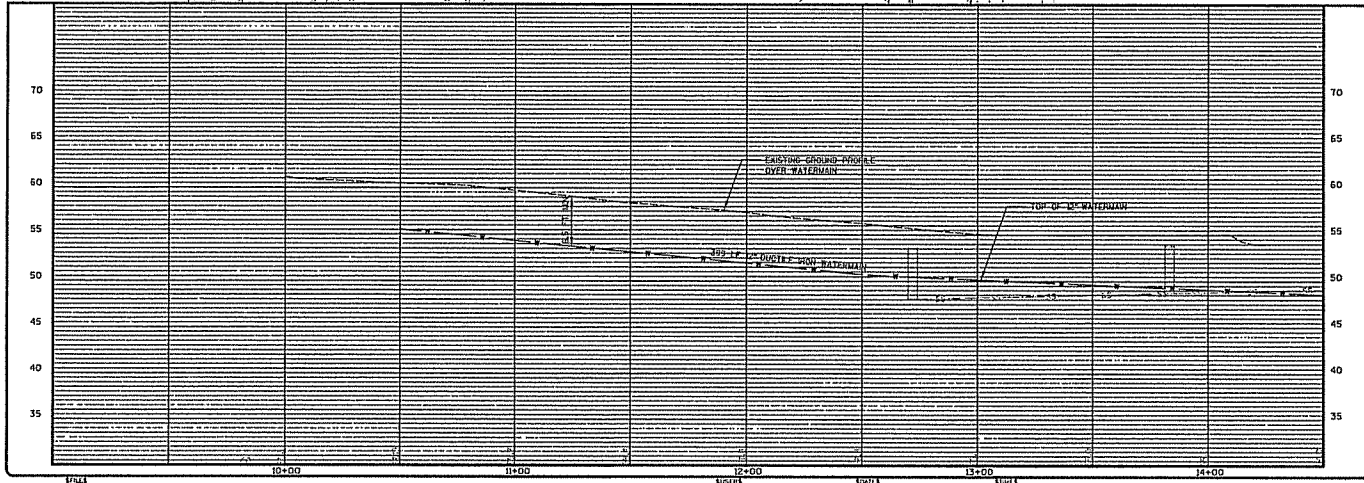
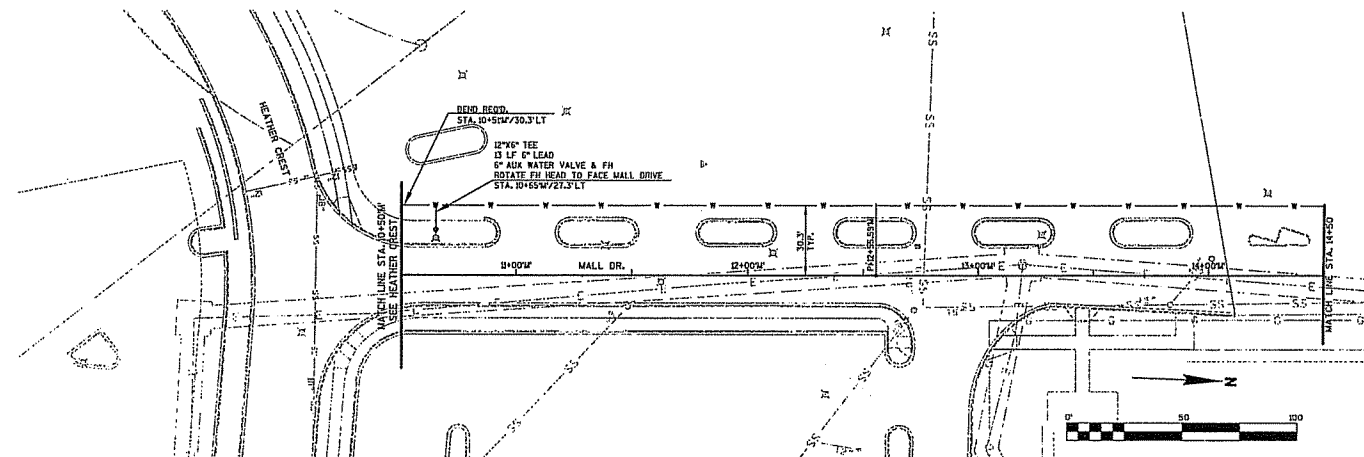
Sheet Number:  
**S/C 412**



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**HILLDALE SHOPPING CENTER**  
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MADISON, WI  
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Sheet Title  
**STREET AND  
UTILITY  
CONSTRUCTION  
MALL DR.**

Revision	By	Date	Description

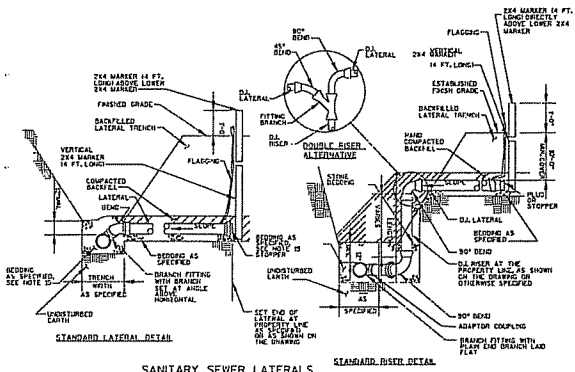
Project Number	Drawn By
Date Issued	Reviewed By
10/11/00	

Sheet Number  
**S/C 413**







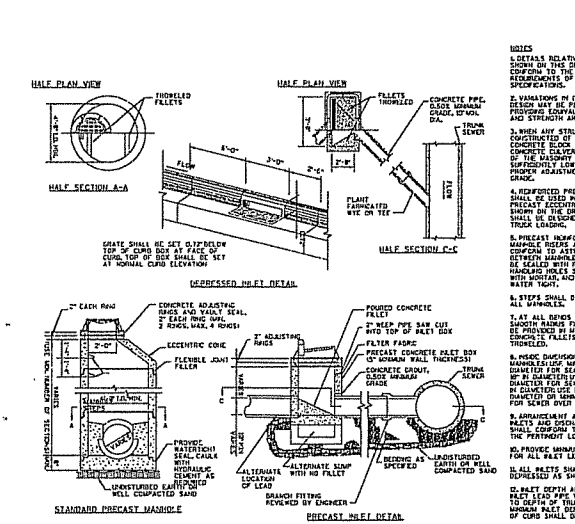


SANITARY SEWER LATERALS

**NOTES**

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE PRESENT ORDINANCES OF THE SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.
2. DETAILS RELATIVE TO ITEMS SHOWN ON THIS DRAWING SHALL CONFORM TO THE PRESENT ORDINANCES OF THE SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.
3. VARIATIONS IN DIMENSIONS AND DESIGN MAY BE PERMISSIBLE PROVIDED EQUIVALENT CAPACITY AND STRENGTH ARE ATTAINED.
4. ALL NEW CONSTRUCTION SHALL BE PLACED ON UNDISTURBED EARTH OR STONE BEDDING.
5. BEDDING CLASSES "B" AND "C" SHALL MEET OR EXCEED ASTM D2191 REQUIREMENTS.
6. ALL LATERALS SHALL BE Laid AT A STANDARD SLOPE OF 1/4" PER FOOT UNLESS OTHERWISE NOTED ON THE DRAWING. ON SLOPES IN THE CASE OF SMALL LATERALS, SLOPE BE LESS THAN 1/4" PER FOOT. MAIN LATERAL SLOPE SHALL BE 1/16" PER FOOT.
7. END FLANGES OR STOPPERS FOR THE ENDS OF LATERALS AND BRANCH FITTINGS SHALL BE PROVIDED.
8. 2"x2" SHALL BE PLACED AT ALL LATERALS UNLESS OTHERWISE NOTED. ABOVE UNDISTURBED EARTH OR IN THE CASE OF THE LATERAL, 2"x4" SHALL BE PAINTED TONGUE AND GROOVE. EACH SHALL BE AT LEAST 4" THICK.
9. 3/4" BAR STEEL REINFORCEMENT SHALL BE PROVIDED 1/2" FROM CLEAR HORIZON.
10. THE TOP OF ANY MANHOLE STRUCTURE SHALL BE LEFT SUFFICIENTLY LOW TO PERMIT PROPER ADJUSTMENT OF COVER TO GRADE.

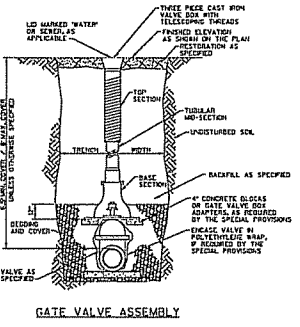
LATERAL TYPES



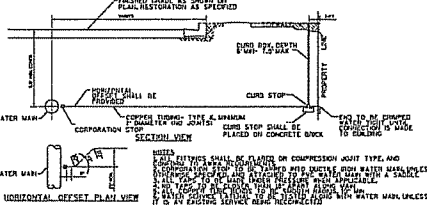
SANITARY SEWER APPEARANCES

**NOTES**

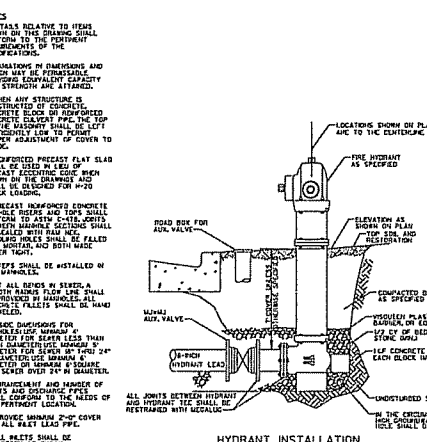
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2. VARIATIONS IN DIMENSIONS AND DESIGN MAY BE PERMISSIBLE PROVIDED EQUIVALENT CAPACITY AND STRENGTH ARE ATTAINED.
3. WHEN ANY STRUCTURE IS CONSTRUCTED OF REINFORCED CONCRETE BLOCK, CONCRETE BLOCK MANHOLES SHALL BE LEFT SUFFICIENTLY LOW TO PERMIT PROPER ADJUSTMENT OF COVER TO GRADE.
4. REINFORCED PRECAST FLAT SLAB SHALL BE USED IN CASE OF PRECAST REINFORCED CONCRETE MANHOLES. PRECAST FLAT SLAB SHALL BE CLASSIFIED FOR 4000 PSI COMPRESSIVE STRENGTH AND SHALL BE PROVIDED WITH 2" MINIMUM THICKNESS.
5. PRECAST REINFORCED CONCRETE MANHOLES SHALL BE INSTALLED AS SHOWN ON PLAN SHEETS. CONCRETE SHALL BE CLASSIFIED FOR 4000 PSI COMPRESSIVE STRENGTH AND SHALL BE PROVIDED WITH 2" MINIMUM THICKNESS.
6. PRECAST REINFORCED CONCRETE MANHOLES SHALL BE INSTALLED AS SHOWN ON PLAN SHEETS. CONCRETE SHALL BE CLASSIFIED FOR 4000 PSI COMPRESSIVE STRENGTH AND SHALL BE PROVIDED WITH 2" MINIMUM THICKNESS.
7. ALL RISERS IN STEEP SLOPES SHALL BE PROVIDED WITH MANHOLES. ALL RISERS SHALL BE PROVIDED WITH 2" MINIMUM THICKNESS.
8. 4" PRECAST REINFORCED CONCRETE MANHOLES SHALL BE INSTALLED AS SHOWN ON PLAN SHEETS. CONCRETE SHALL BE CLASSIFIED FOR 4000 PSI COMPRESSIVE STRENGTH AND SHALL BE PROVIDED WITH 2" MINIMUM THICKNESS.
9. 4" PRECAST REINFORCED CONCRETE MANHOLES SHALL BE INSTALLED AS SHOWN ON PLAN SHEETS. CONCRETE SHALL BE CLASSIFIED FOR 4000 PSI COMPRESSIVE STRENGTH AND SHALL BE PROVIDED WITH 2" MINIMUM THICKNESS.
10. PROVIDE MINIMUM 2" COVER FOR ALL REINFORCEMENT.
11. ALL RISERS SHALL BE PROVIDED WITH 2" MINIMUM THICKNESS.
12. ALL RISERS SHALL BE PROVIDED WITH 2" MINIMUM THICKNESS.



GATE VALVE ASSEMBLY



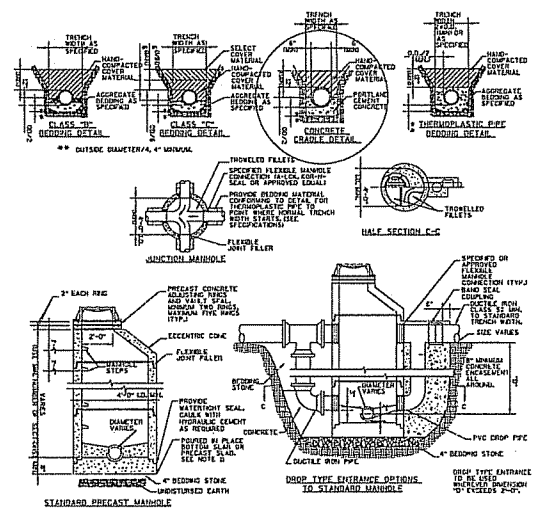
RESIDENTIAL WATER SERVICE



HYDRANT INSTALLATION

**NOTES**

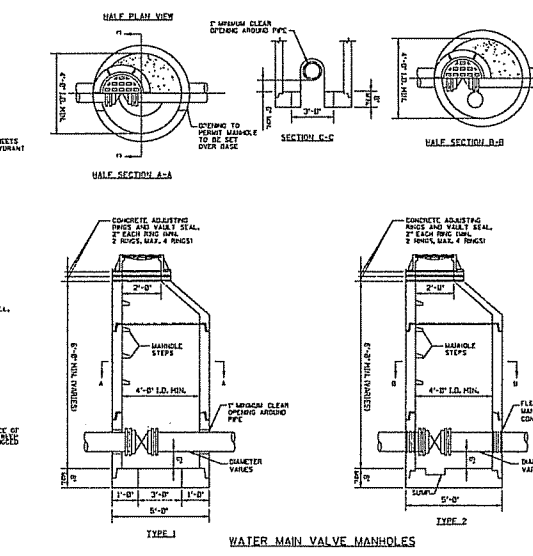
1. DETAILS RELATIVE TO ITEMS SHOWN ON THIS DRAWING SHALL CONFORM TO THE PRESENT ORDINANCES OF THE SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.
2. VARIATIONS IN DIMENSIONS AND DESIGN MAY BE PERMISSIBLE PROVIDED EQUIVALENT CAPACITY AND STRENGTH ARE ATTAINED.
3. WHEN ANY STRUCTURE IS CONSTRUCTED OF REINFORCED CONCRETE BLOCK, CONCRETE BLOCK MANHOLES SHALL BE LEFT SUFFICIENTLY LOW TO PERMIT PROPER ADJUSTMENT OF COVER TO GRADE.
4. REINFORCED PRECAST FLAT SLAB SHALL BE USED IN CASE OF PRECAST REINFORCED CONCRETE MANHOLES. PRECAST FLAT SLAB SHALL BE CLASSIFIED FOR 4000 PSI COMPRESSIVE STRENGTH AND SHALL BE PROVIDED WITH 2" MINIMUM THICKNESS.
5. PRECAST REINFORCED CONCRETE MANHOLES SHALL BE INSTALLED AS SHOWN ON PLAN SHEETS. CONCRETE SHALL BE CLASSIFIED FOR 4000 PSI COMPRESSIVE STRENGTH AND SHALL BE PROVIDED WITH 2" MINIMUM THICKNESS.
6. PRECAST REINFORCED CONCRETE MANHOLES SHALL BE INSTALLED AS SHOWN ON PLAN SHEETS. CONCRETE SHALL BE CLASSIFIED FOR 4000 PSI COMPRESSIVE STRENGTH AND SHALL BE PROVIDED WITH 2" MINIMUM THICKNESS.
7. ALL RISERS IN STEEP SLOPES SHALL BE PROVIDED WITH MANHOLES. ALL RISERS SHALL BE PROVIDED WITH 2" MINIMUM THICKNESS.
8. 4" PRECAST REINFORCED CONCRETE MANHOLES SHALL BE INSTALLED AS SHOWN ON PLAN SHEETS. CONCRETE SHALL BE CLASSIFIED FOR 4000 PSI COMPRESSIVE STRENGTH AND SHALL BE PROVIDED WITH 2" MINIMUM THICKNESS.
9. 4" PRECAST REINFORCED CONCRETE MANHOLES SHALL BE INSTALLED AS SHOWN ON PLAN SHEETS. CONCRETE SHALL BE CLASSIFIED FOR 4000 PSI COMPRESSIVE STRENGTH AND SHALL BE PROVIDED WITH 2" MINIMUM THICKNESS.
10. PROVIDE MINIMUM 2" COVER FOR ALL REINFORCEMENT.
11. ALL RISERS SHALL BE PROVIDED WITH 2" MINIMUM THICKNESS.
12. ALL RISERS SHALL BE PROVIDED WITH 2" MINIMUM THICKNESS.



SANITARY SEWER APPEARANCES



WATER MAIN VALVE MANHOLES



WATER MAIN VALVE MANHOLES

**NOTES**

1. DETAILS RELATIVE TO ITEMS SHOWN ON THIS DRAWING SHALL CONFORM TO THE PRESENT ORDINANCES OF THE SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.
2. VARIATIONS IN DIMENSIONS AND DESIGN MAY BE PERMISSIBLE PROVIDED EQUIVALENT CAPACITY AND STRENGTH ARE ATTAINED.
3. ALL CONCRETE FLEETS SHALL BE HAND TROWELED WITH A SMOOTH FINISH.
4. 4" PRECAST REINFORCED CONCRETE MANHOLES SHALL BE INSTALLED AS SHOWN ON PLAN SHEETS. CONCRETE SHALL BE CLASSIFIED FOR 4000 PSI COMPRESSIVE STRENGTH AND SHALL BE PROVIDED WITH 2" MINIMUM THICKNESS.
5. BEDDING CLASSES "B" AND "C" SHALL MEET OR EXCEED ASTM D2191 REQUIREMENTS.
6. 6" DROP TYPE ENTRANCE TO STANDARD MANHOLE SHALL BE PAID FOR SEPARATELY IF SO LISTED IN THE B.O.
7. 6" DROP TYPE ENTRANCE TO STANDARD MANHOLE SHALL BE PAID FOR SEPARATELY IF SO LISTED IN THE B.O.
8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF REGULATION ISSUES OF THE STATE AND APPLICABLE MUNICIPAL ORDINANCES.
9. ALL NEW CONSTRUCTION SHALL BE PLACED ON UNDISTURBED EARTH OR STONE BEDDING.
10. 3/4" BAR STEEL SHALL BE PROVIDED FOR 1/2" THICK LADING SLAB. THE TOP OF THE LADING SHALL BE PLACED ON TOP OF THE STONE BEDDING.
11. 3/4" BAR STEEL SHALL BE PROVIDED FOR 1/2" THICK LADING SLAB. THE TOP OF THE LADING SHALL BE PLACED ON TOP OF THE STONE BEDDING.
12. BASE SLAB SHALL BE REINFORCED WITH 3/4" BAR STEEL. THE TOP OF THE LADING SHALL BE PLACED ON TOP OF THE STONE BEDDING.
13. ALL NEW CONSTRUCTION SHALL BE PLACED ON UNDISTURBED EARTH OR STONE BEDDING.
14. 3/4" BAR STEEL SHALL BE PROVIDED FOR 1/2" THICK LADING SLAB. THE TOP OF THE LADING SHALL BE PLACED ON TOP OF THE STONE BEDDING.
15. ALL NEW CONSTRUCTION SHALL BE PLACED ON UNDISTURBED EARTH OR STONE BEDDING.

TYPE	MINIMUM CLEARANCE	MINIMUM COVER
TYPE 1	2'-0"	1'-0"
TYPE 2	2'-0"	1'-0"
TYPE 3	2'-0"	1'-0"
TYPE 4	2'-0"	1'-0"
TYPE 5	2'-0"	1'-0"
TYPE 6	2'-0"	1'-0"
TYPE 7	2'-0"	1'-0"
TYPE 8	2'-0"	1'-0"
TYPE 9	2'-0"	1'-0"
TYPE 10	2'-0"	1'-0"

**NOTES**

1. TYPE 10'S MANHOLE SHALL BE INSTALLED AS SHOWN ON THE DRAWING. TYPE 2'S MANHOLE SHALL BE MADE WATER-TIGHT AND SHALL BE USED WHEN NORMAL GROUND WATER LINE IS ABOVE BOTTOM SLAB.
2. VARIATION IN DIMENSIONS AND DESIGN MAY BE PERMISSIBLE PROVIDED EQUIVALENT CAPACITY AND STRENGTH ARE ATTAINED.
3. WHEN ANY STRUCTURE IS CONSTRUCTED OF REINFORCED CONCRETE BLOCK, REINFORCED CONCRETE BLOCK MANHOLES SHALL BE LEFT SUFFICIENTLY LOW TO PERMIT PROPER ADJUSTMENT OF COVER TO GRADE BY THE USE OF MORTAR.
4. CONCRETE BLOCK MANHOLES REINFORCED WITH 3/4" BAR STEEL SHALL BE INSTALLED AS AN ALTERNATE BACK PLASTER OUTSIDE OF ALL CONCRETE BLOCK, CONCRETE BLOCK MANHOLES SHALL BE 4" BLOCKS THICK WITH COVER OF 10 FEET.
5. REINFORCED PRECAST FLAT SLAB SHALL BE USED IN CASE OF PRECAST REINFORCED CONCRETE MANHOLES. PRECAST FLAT SLAB SHALL BE CLASSIFIED FOR 4000 PSI COMPRESSIVE STRENGTH AND SHALL BE PROVIDED WITH 2" MINIMUM THICKNESS.
6. PRECAST REINFORCED CONCRETE MANHOLES SHALL BE INSTALLED AS SHOWN ON PLAN SHEETS. CONCRETE SHALL BE CLASSIFIED FOR 4000 PSI COMPRESSIVE STRENGTH AND SHALL BE PROVIDED WITH 2" MINIMUM THICKNESS.
7. STEPS SHALL BE INSTALLED IN ALL MANHOLES. MANHOLE STEPS SHALL BE PROVIDED WITH 2" MINIMUM THICKNESS. ALL STEPS SHALL BE INSTALLED WITH TYPE B NON-SKIDING LID.
8. 3/4" BAR STEEL SHALL BE PROVIDED WITH CLEAN BEDDING UP TO THE BOTTOM OF THE PIPE.
9. PRECAST ALTERNATE TO ITEMS SHOWN ON THIS DRAWING SHALL CONFORM TO THE PRESENT ORDINANCES OF THE SPECIFICATIONS.
10. 3/4" BAR STEEL SHALL BE PROVIDED FOR 1/2" THICK LADING SLAB. THE TOP OF THE LADING SHALL BE PLACED ON TOP OF THE STONE BEDDING.
11. 3/4" BAR STEEL SHALL BE PROVIDED FOR 1/2" THICK LADING SLAB. THE TOP OF THE LADING SHALL BE PLACED ON TOP OF THE STONE BEDDING.
12. BASE SLAB SHALL BE REINFORCED WITH 3/4" BAR STEEL. THE TOP OF THE LADING SHALL BE PLACED ON TOP OF THE STONE BEDDING.
13. ALL NEW CONSTRUCTION SHALL BE PLACED ON UNDISTURBED EARTH OR STONE BEDDING.
14. 3/4" BAR STEEL SHALL BE PROVIDED FOR 1/2" THICK LADING SLAB. THE TOP OF THE LADING SHALL BE PLACED ON TOP OF THE STONE BEDDING.
15. ALL NEW CONSTRUCTION SHALL BE PLACED ON UNDISTURBED EARTH OR STONE BEDDING.

**STRAND ASSOCIATES, INC.**  
ENGINEERS

810 West Wingo Drive  
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608 231-4842  
608 231-4855 FAX  
www.strand.com

**HILLDALE SHOPPING CENTER**  
702 N. MIDVALE BOULEVARD  
MADISON, WI  
HILLDALE BUILDING COMPANY LLC

Sheet Title: **STREET AND UTILITY DETAILS**

Project Number: \_\_\_\_\_ Draw No: \_\_\_\_\_

Date Issued: \_\_\_\_\_ Revised By: \_\_\_\_\_

10/11/05

**S/C 416**









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 608 251-6943  
 608 251-8655 FAX  
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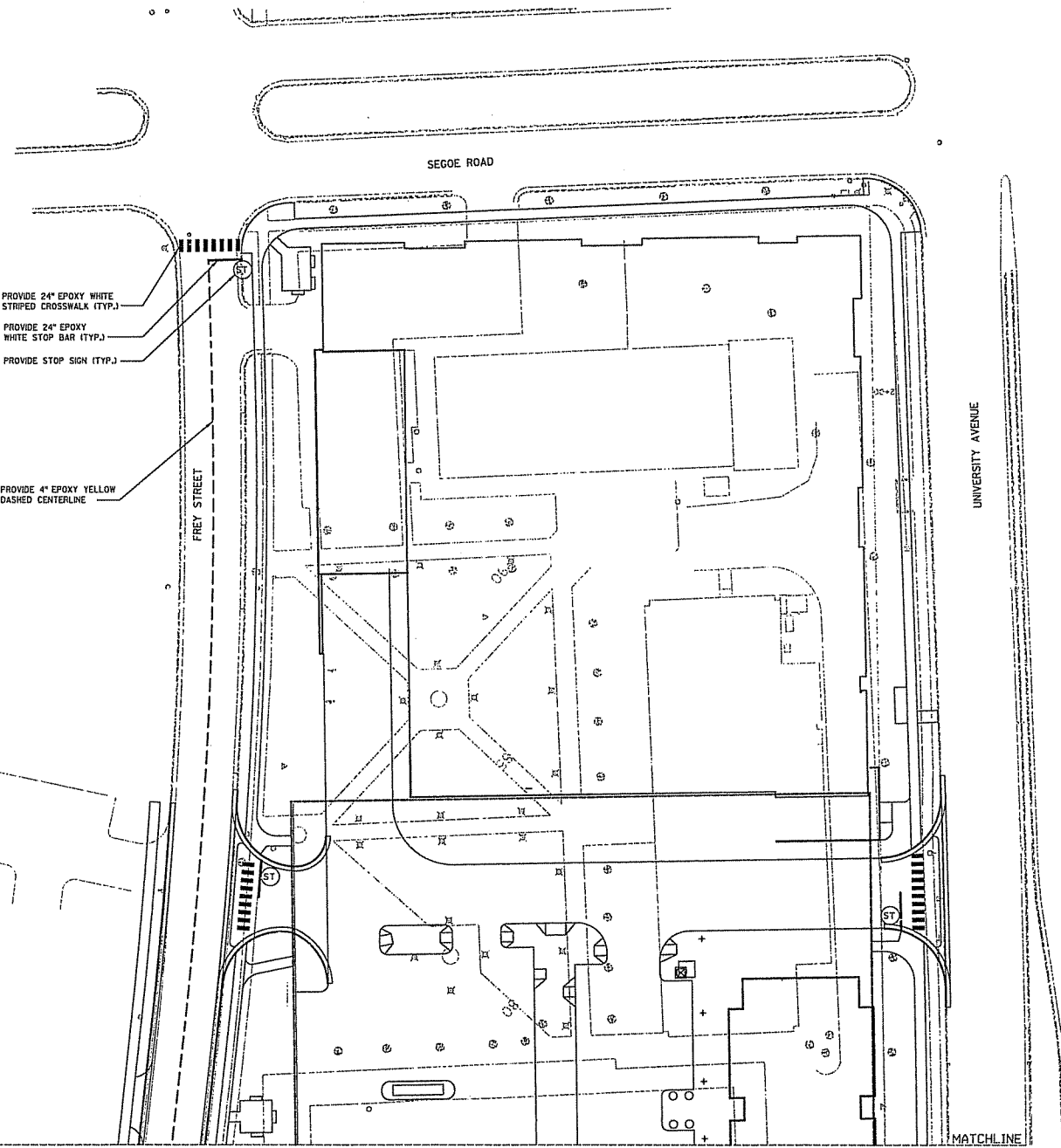
**HILDALE SHOPPING CENTER**  
 702 N. MIDVALE BOULEVARD  
 MADISON, WI  
 HILDALE BUILDING COMPANY LLC

Sheet Title  
**PAVEMENT MARKING WEST**

Revised	By	Date	Reason	No.

Project Number	Drawn By
Date Issued	Reviewed By
10/11/06	

Sheet Number  
**S/C 420**

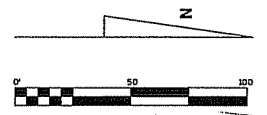


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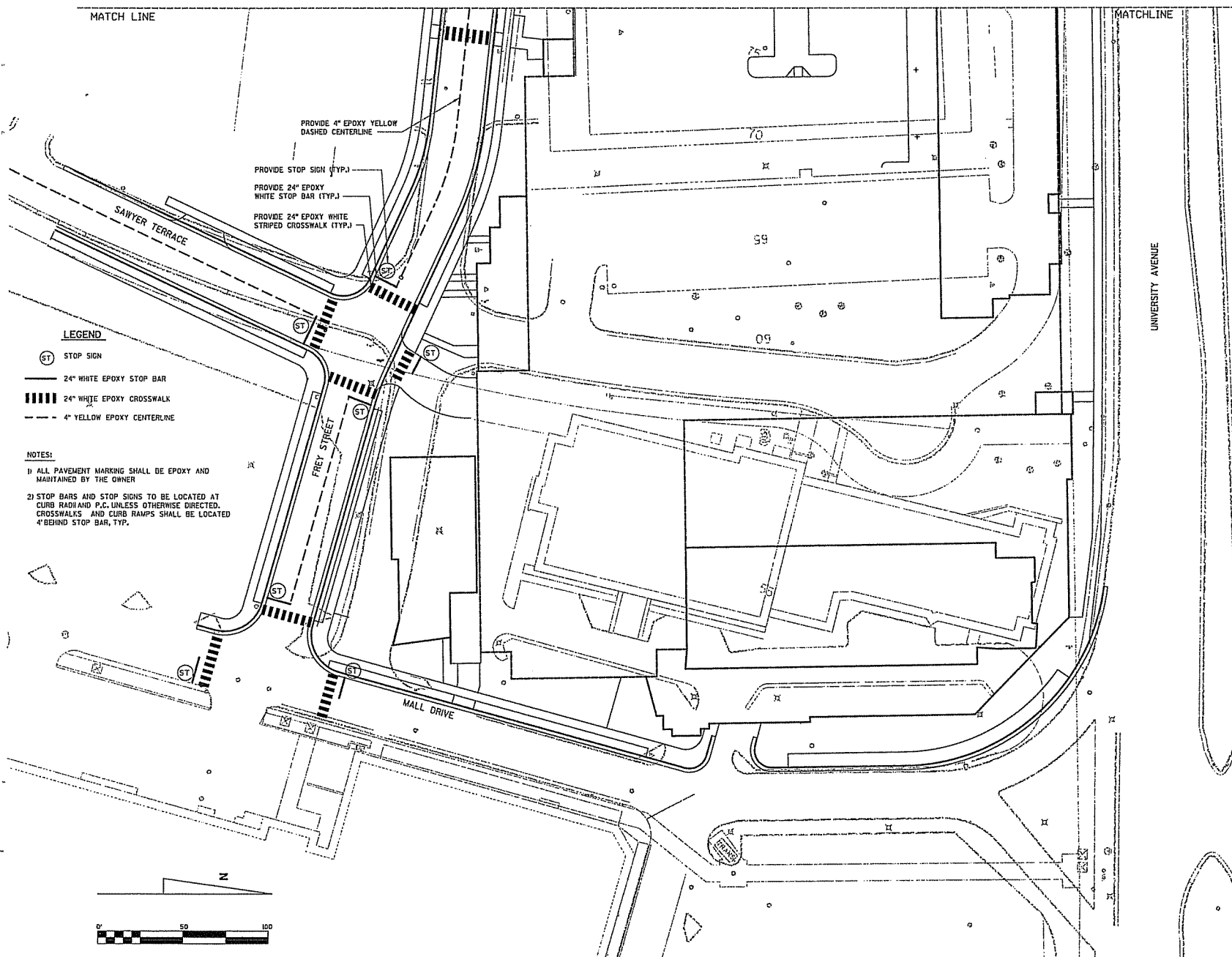
- (ST) STOP SIGN
- 24" WHITE EPOXY STOP BAR
- ||||| 24" WHITE EPOXY CROSSWALK
- - - 4" YELLOW EPOXY CENTERLINE

**NOTES:**

- 1) ALL PAVEMENT MARKING SHALL BE EPOXY AND MAINTAINED BY THE OWNER
- 2) STOP BARS AND STOP SIGNS TO BE LOCATED AT CURB RADI AND P.C. UNLESS OTHERWISE DIRECTED. CROSSWALKS AND CURB RAMPS SHALL BE LOCATED 4' BEHIND STOP BAR, TYP.



MATCHLINE



MATCH LINE

MATCHLINE

PROVIDE 4" EPOXY YELLOW  
DASHED CENTERLINE

PROVIDE STOP SIGN (TYP.)

PROVIDE 24" EPOXY  
WHITE STOP BAR (TYP.)

PROVIDE 24" EPOXY WHITE  
STRIPED CROSSWALK (TYP.)

SAWYER TERRACE

FREY STREET

MALL DRIVE

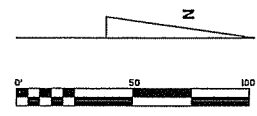
UNIVERSITY AVENUE

**LEGEND**

- (ST) STOP SIGN
- 24" WHITE EPOXY STOP BAR
- |||| 24" WHITE EPOXY CROSSWALK
- - - 4" YELLOW EPOXY CENTERLINE

**NOTES:**

- 1) ALL PAVEMENT MARKING SHALL BE EPOXY AND MAINTAINED BY THE OWNER
- 2) STOP BARS AND STOP SIGNS TO BE LOCATED AT CURB RADII AND P.C. UNLESS OTHERWISE DIRECTED. CROSSWALKS AND CURB RAMPS SHALL BE LOCATED 4' BEHIND STOP BAR, TYP.



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**HILDALE SHOPPING CENTER**  
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MADISON, WI  
HILDALE BUILDING COMPANY LLC

Sheet Title  
**PAVEMENT MARKING EAST**

NO.	DATE	REVISION	BY

Project Number	Drawn By
Date Issued	Reviewed By
10/11/06	

Sheet Number  
**S/C 421**









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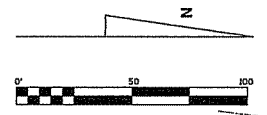
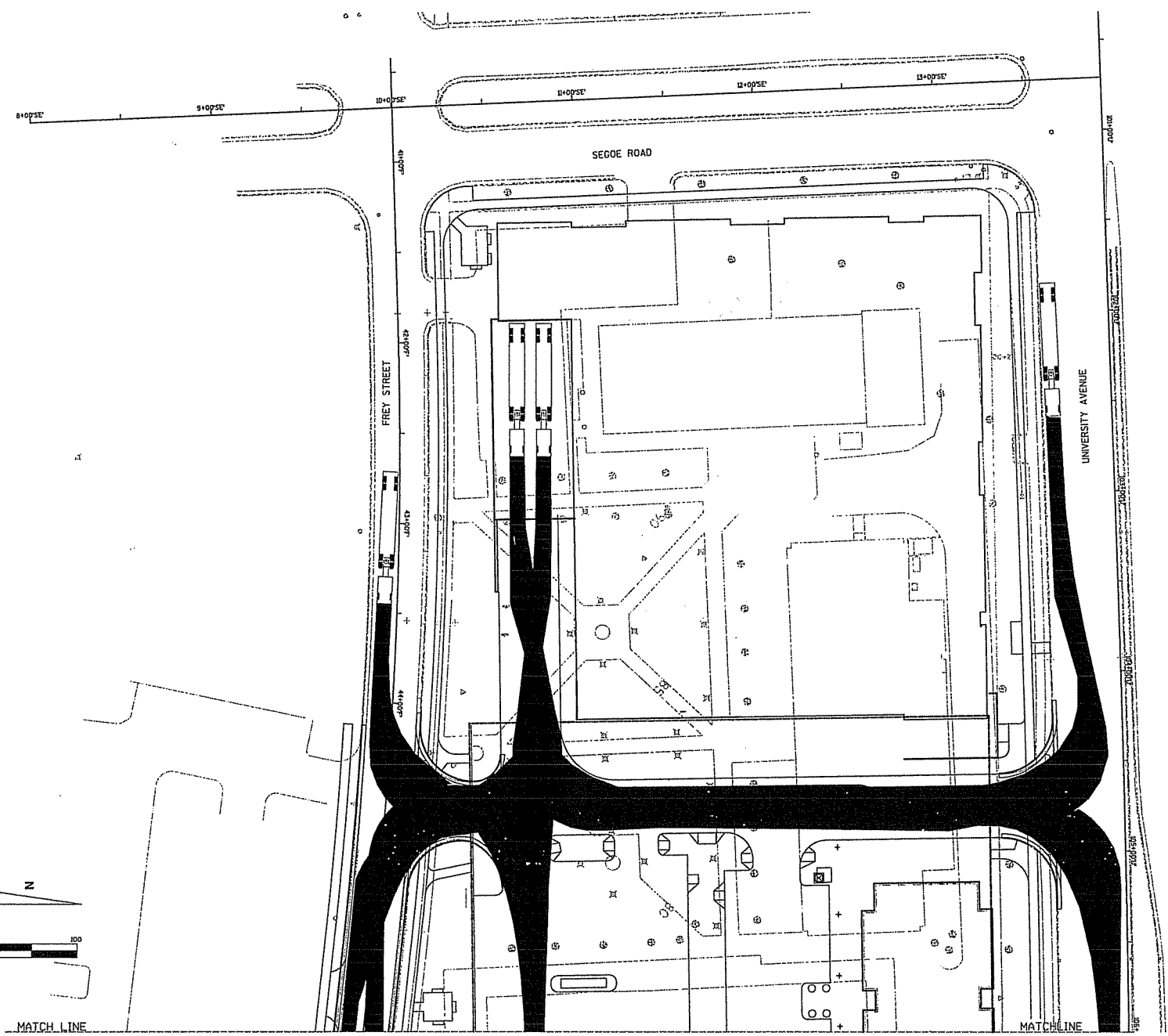
**HILLDALE SHOPPING CENTER**  
 702 N. MIDVALE BOULEVARD  
 MADISON, WI  
 HILLDALE BUILDING COMPANY LLC

Sheet Title  
**TRUCK ACCESS WEST**

Revised	No.	Date	By	For

Project Number	Drawn By
Date Issued	Reviewed By
10/11/06	

Sheet Number  
**S/C 502**



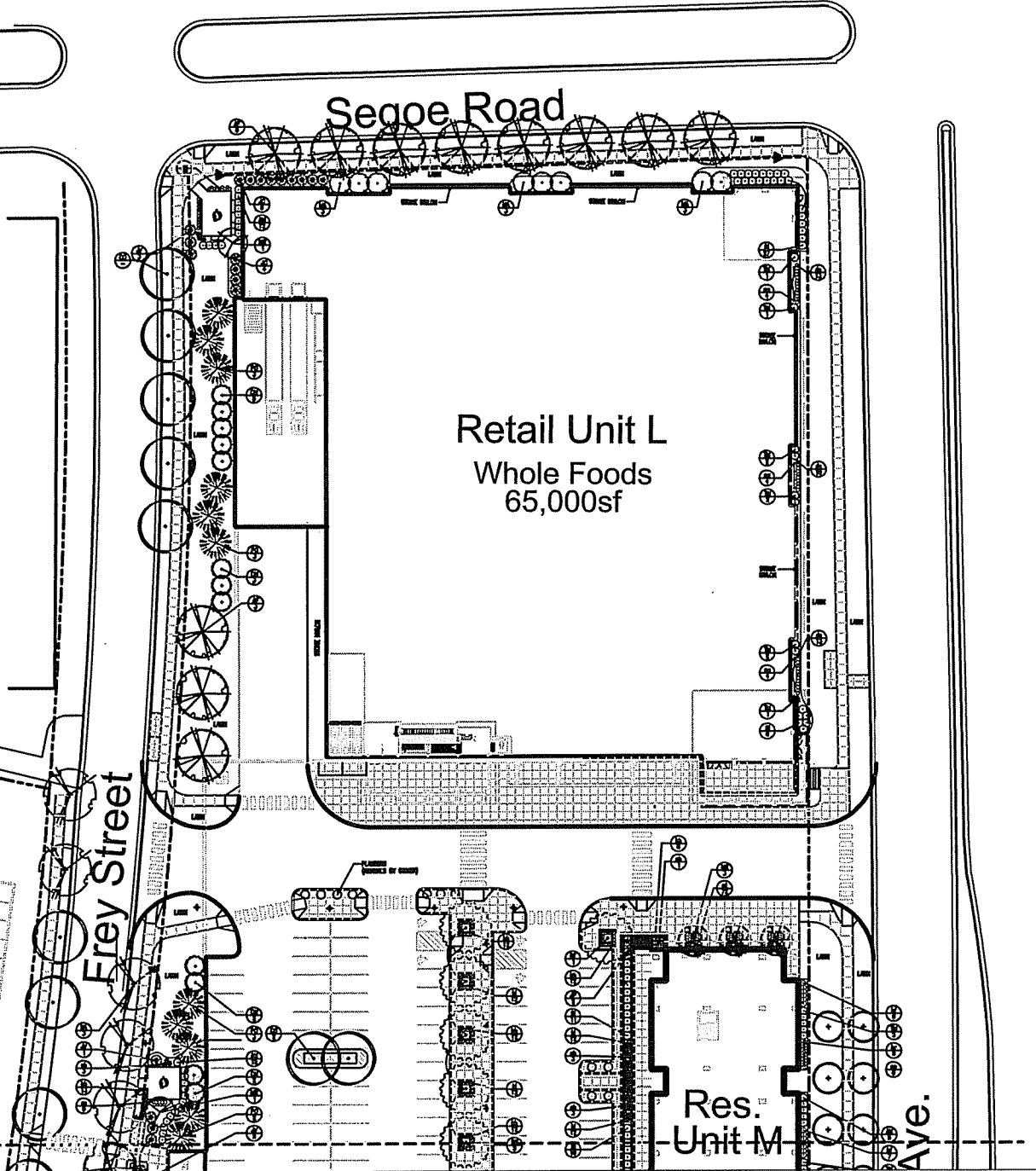


# Hilldale Redevelopment Planting Plan (West)

Scale 1"=20'



Plant List	Plant Name	Quantity	Plant Size	Comments
1	Aspen	1	12" x 12" x 12"	...
2	Boxelder	1	12" x 12" x 12"	...
3	Butterfly Bush	1	12" x 12" x 12"	...
4	Cherry	1	12" x 12" x 12"	...
5	Crabapple	1	12" x 12" x 12"	...
6	Dogwood	1	12" x 12" x 12"	...
7	Flowering Quince	1	12" x 12" x 12"	...
8	Japanese Spindle Tree	1	12" x 12" x 12"	...
9	Japanese Weeping Cherry	1	12" x 12" x 12"	...
10	Japanese Maple	1	12" x 12" x 12"	...
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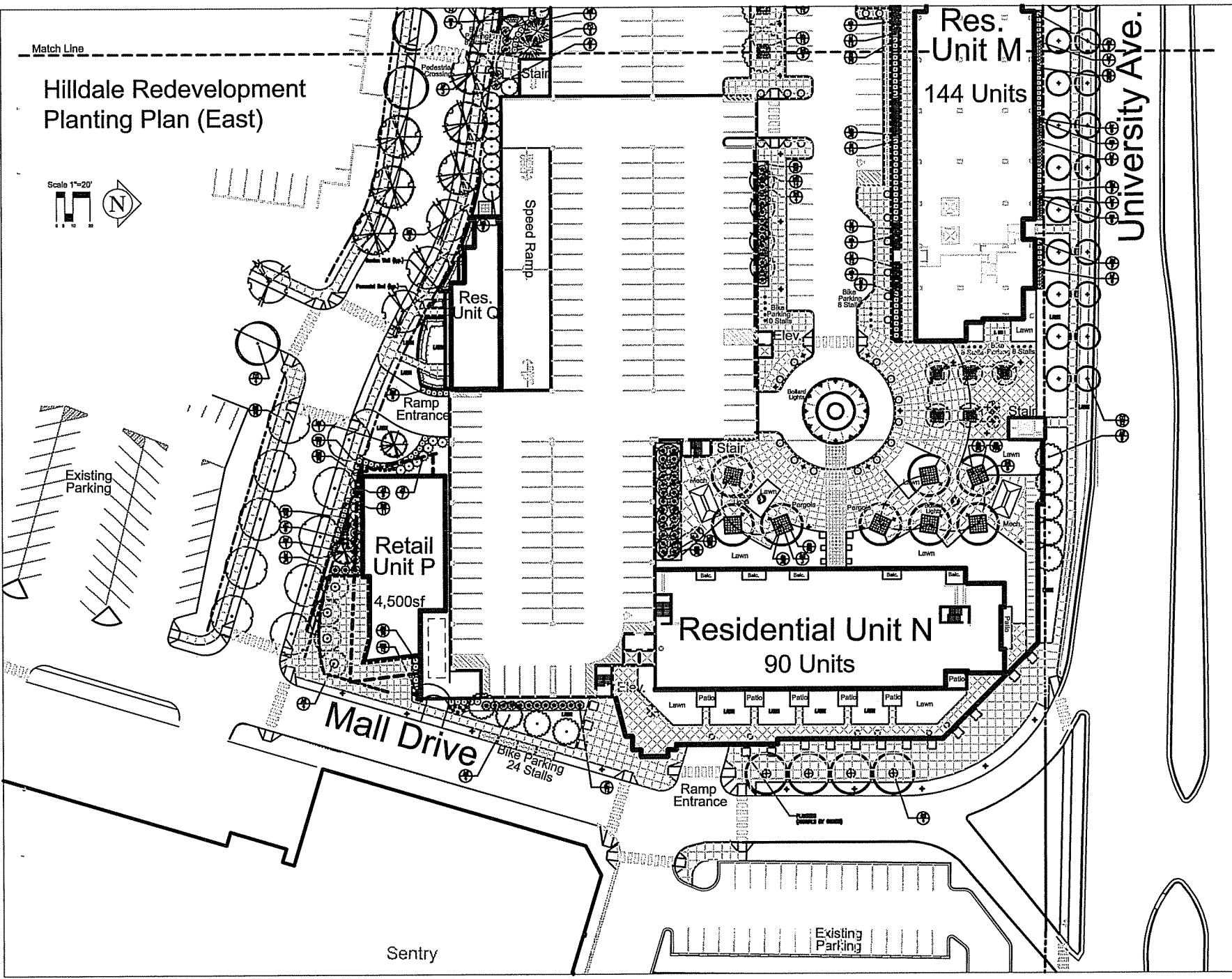
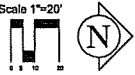
**HILLDALE SHOPPING CENTER**  
702 N. MIDVALE BOULEVARD  
MADISON, WI  
HILLDALE BUILDING COMPANY LLC

Sheet Title	
PLANTING PLAN WEST	
Project Number:	Drawn By:
10-11-06	MS
Date Issued:	Revised By:
10-11-06	KS
Sheet Number:	
S/L 100	

Match Line

# Hilldale Redevelopment Planting Plan (East)

Scale 1"=20'



702 S. FAREWELL  
SUITE 200  
MADISON, WI 53703  
Phone: 432.25.3630  
Fax: 432.15.4233  
www.hilldale.com

## HILLDALE SHOPPING CENTER

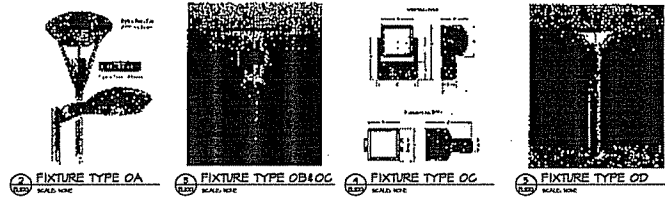
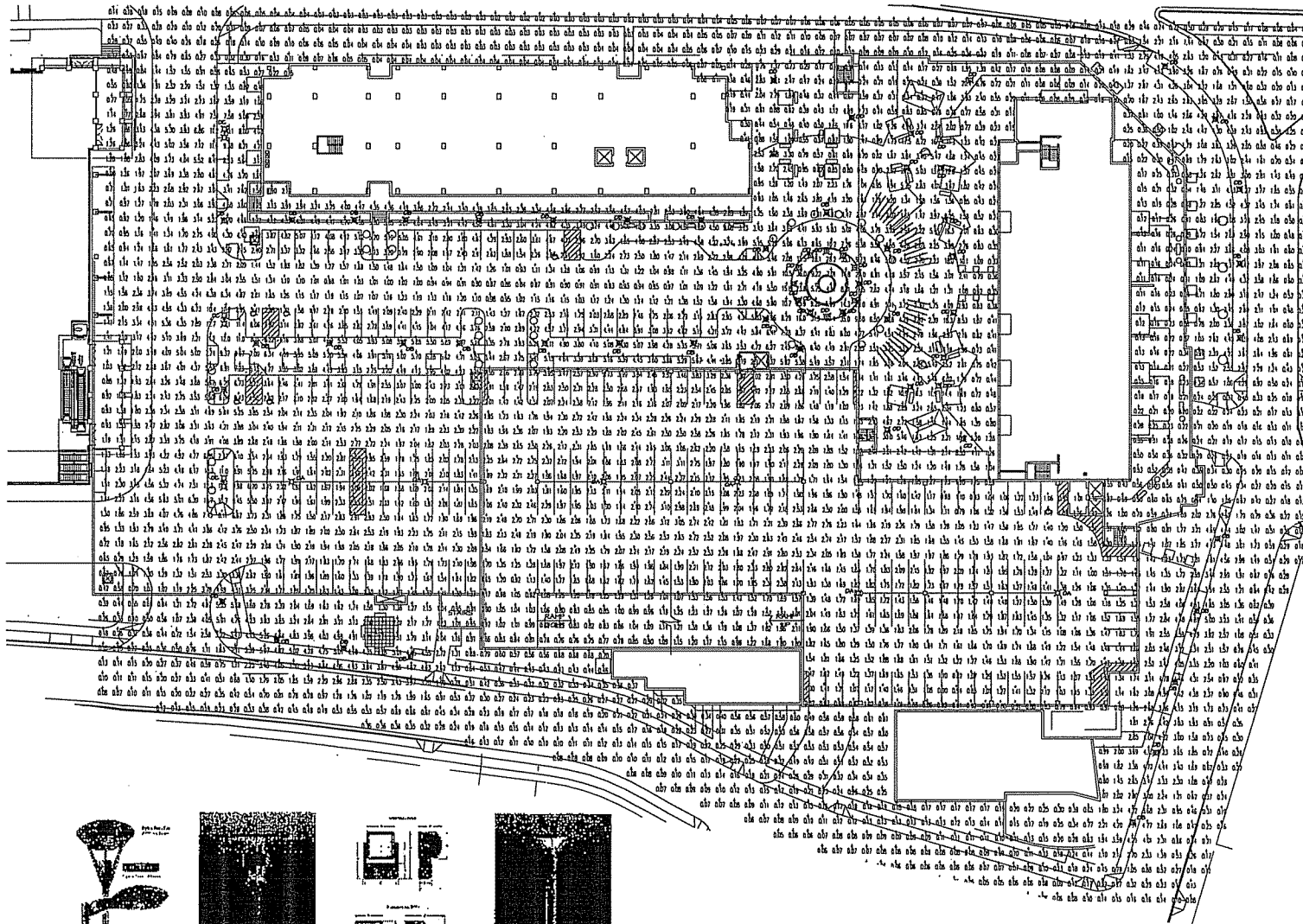
702 N. MIDVALE BOULEVARD  
MADISON, WI  
HILLDALE BUILDING COMPANY LLC

Sheet Title:  
**PLANTING PLAN  
EAST**

Revision	Date	By	Checked

Project Number: 0909-04  
MS  
Date Issued: 10-11-06  
KS

Sheet Number:  
**S/L 101**



**SITE PHOTOMETRICS**  
 SCALE: 1" = 20'-0"

TYPE	SYMBOL	DESCRIPTION	WATT	BEAM	FOOT	LM
OB	IX	FIXTURE TYPE OB10C	4000W	4000'	800'	8000
OC	IX	FIXTURE TYPE OC	4000W	4000'	800'	8000
OD	IX	FIXTURE TYPE OD	4000W	4000'	800'	8000

CALCULATION SUMMARY						
PARAMETER	VALUE	UNIT	PARAMETER	VALUE	UNIT	PARAMETER
FIXTURES	10		WATTAGE	40000	W	
BEAM AREA	10000	SQ FT	FOOT COUNCIL	10000	SQ FT	
FOOT COUNCIL	10000	SQ FT	FOOT COUNCIL	10000	SQ FT	



**ARNOLD AND OSHERIDAN INC.**  
 ARCHITECTS & ENGINEERS  
 1000 EAST WISCONSIN AVENUE  
 MADISON, WI 53703  
 (608) 261-1111

**HILDALE SHOPPING CENTER**  
 702 N. MIDVALE BOULEVARD  
 MADISON, WI

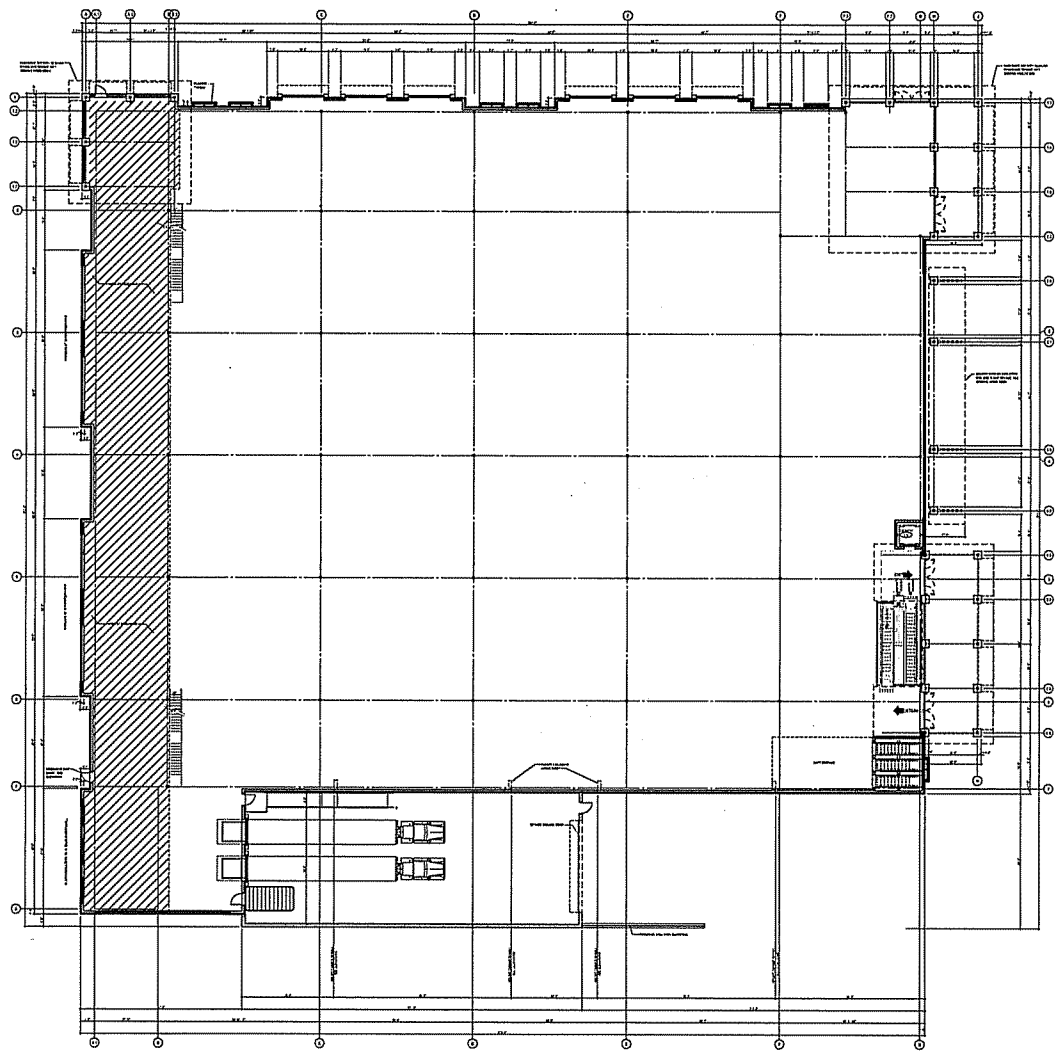
HILDALE BUILDING COMPANY, LLC

Sheet Title: **SITE PHOTOMETRICS**

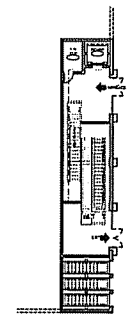
REVISION	DATE	DESCRIPTION

Project Number: **060297** Drawn By: **DTM**  
 Date Issued: **10-11-08** Checked By: **AES**

Sheet Number: **EL100**



1 FLOOR PLAN - MAIN LEVEL  
1/16" = 1'-0"



2 FLOOR PLAN - LOWER LEVEL  
1/16" = 1'-0"



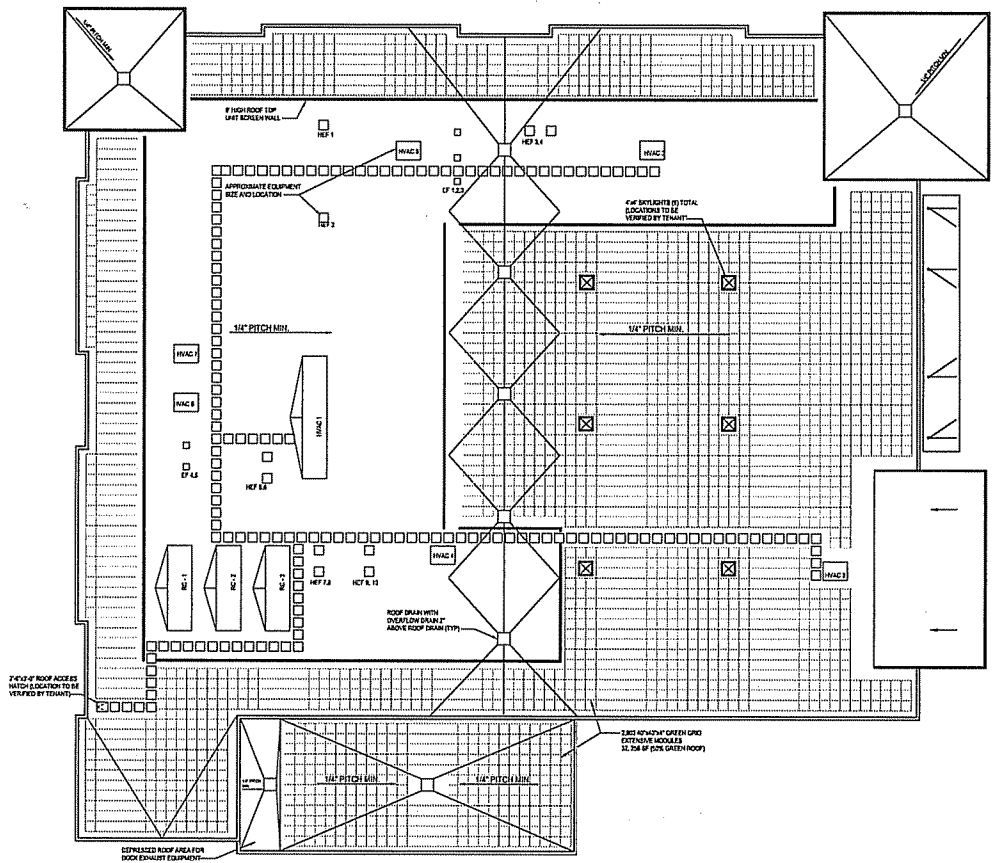
**HILLDALE SHOPPING CENTER**  
702 N. MIDVALE BOULEVARD MADISON, WI  
HILLDALE BUILDING COMPANY LLC  
HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2

Sheet Title:  
**WHOLE FOODS MARKET  
FLOOR PLAN**

Rev/Date	Description	By

Project Number: 6-05219-02	Drawn By: CW
Date Issued: 10-11-06	Reviewed By:

Sheet Number:  
**L100**



1 ROOF PLAN  
 1/8" = 1'-0"  
 SCALE: 1/8" = 1'-0"



**EPSTEIN UHEN**  
 ARCHITECTS  
 233 EAST CALHOUN STREET  
 MILWAUKEE, WISCONSIN 53202  
 PHONE: 414.224.1100  
 FAX: 414.224.1101  
 WWW: WWW.EU-ARCH.COM

**HILLDALE SHOPPING CENTER**  
 702 N. MIDVALE BOULEVARD MADISON, WI  
 HILLDALE BUILDING COMPANY LLC  
 HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2

Sheet Title  
**WHOLE FOODS MARKET**  
 ROOF PLAN

Rev	Desc	Date

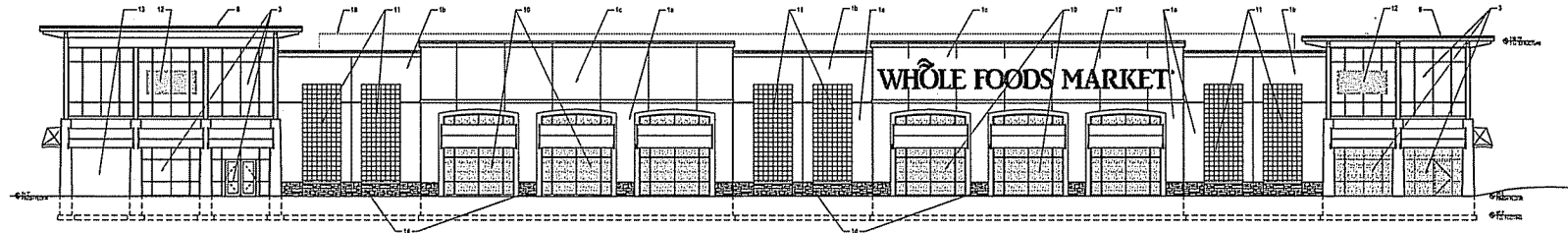
Project Number: <b>6-05219-02</b>	Drawn By: <b>CW</b>
Date Issued: <b>10-11-06</b>	Reviewed By:

Sheet Number  
**L101**

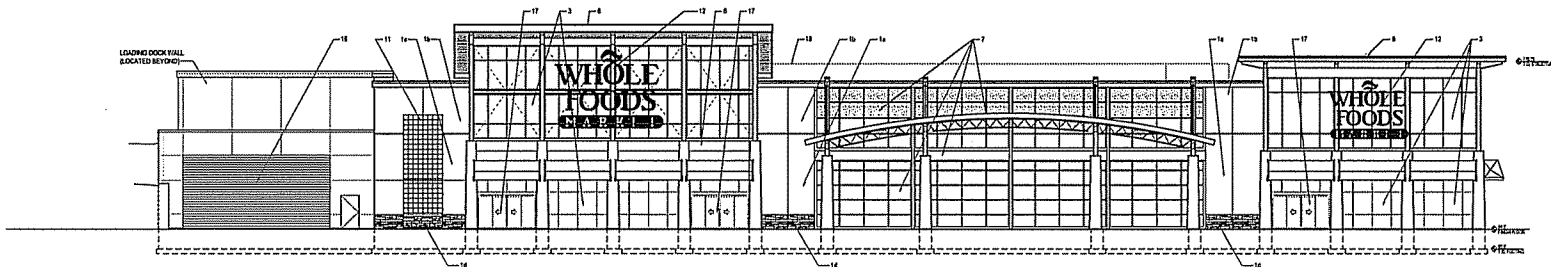




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ARCHITECTS  
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Milwaukee, WI 53224  
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223 West Hampton Ave. Suite 200  
Milwaukee, WI 53224  
Tel: 414 224 1000 Fax: 414 224 1001



**28 NORTH ELEVATION - UNIVERSITY AVENUE**  
1/16/07



**35 EAST ELEVATION**  
1/16/07

- |    |   |   |  |    |  |
|----|---|---|--|----|--|
| 1  | Patterned Precast wall panels or patterned cast-in-place concrete wall panels.  | 5 | Glue-lam timber framing.   | 10 | Wood clad projections with steel-framed fabric awnings and patterned glass windows.                |
| 1a | Field material - Tan concrete mix, light acid wash finish.  | 6 | Entrance Tower: Sloping entry roof with two story space. Underside of roof is an exposed wood tongue & groove ceiling over glue-lam framing.   | 11 | View covered metal walk screen with base plate.  |
| 1b | Accent band - Tan concrete mix, deep sand blast, exposed brown aggregate.   | 7 | Curtain wall system & anchored canopy. Curved cantilevered canopy with steel louvers supporting wood tongue & groove ceiling in front of aluminum and glass curtain wall system. All vision glass with the exception of patterned glass at the top parapet panels. | 12 | Whole Foods Market signage/logo graphic. Backlit, individually cut metal signage.                  |
| 1c | Accent band - Tan concrete mix, light sand blast, partially exposed brown aggregate.                                      | 8 | University Avenue structure: Two story tower on University Avenue, glue-lam framing, vision glass. Pedestrian connection to public transportation and city sidewalk.   | 13 | Post-tension plaza.  |
| 1d | Base accent - Sierra Drystack precast formier, field stained.   | 9 | Sloped flood structure: Two story tower with glue-lam framing, poured concrete pier, vision glass above and patterned glass below.   | 14 | Architectural metal louvers.   |
| 2  | Poured concrete pier, light sand blast.   |   |  | 15 | Recessed truck dock, naturally screened by existing site conditions.                               |
| 3  | Vision glass - clear insulated unit. Bronze anodized aluminum frame with thermal break.                                   |   |  | 16 | Precast panel wall with 6" side return and 30" wide ceiling over-head door to screen loading dock. |
| 4  | Patterned glass - insulated unit, no vision, some light transmittance. Bronze anodized aluminum frame with thermal break. |   |  | 17 | Automatic sliding doors.   |
|    |   |   |  | 18 | Roof Screen (beyond)   |

**HILLDALE SHOPPING CENTER**

702 N. MIDVALE BOULEVARD, MADISON, WI  
HILLDALE BUILDING COMPANY LLC

HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2

Sheet Title  
**WHOLE FOODS MARKET - NORTH AND EAST ELEVATIONS**

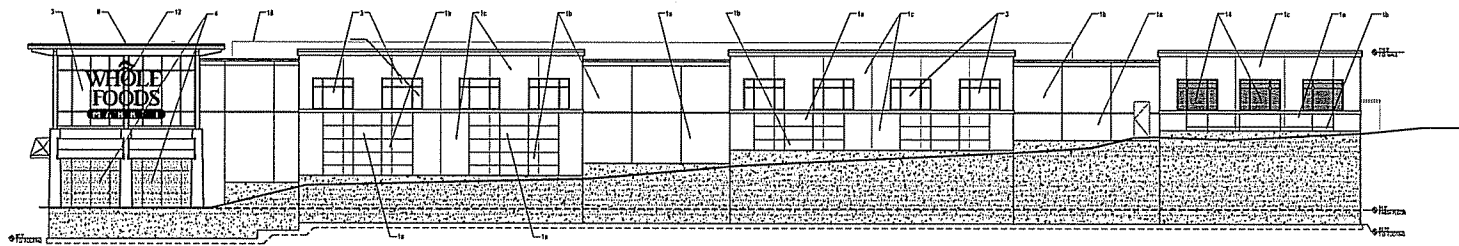
Revisions	No.	Date	Description	By

Project Number:	6-05219-02	Drawn By:	CG
Date Issued:	10-11-06	Reviewed By:	

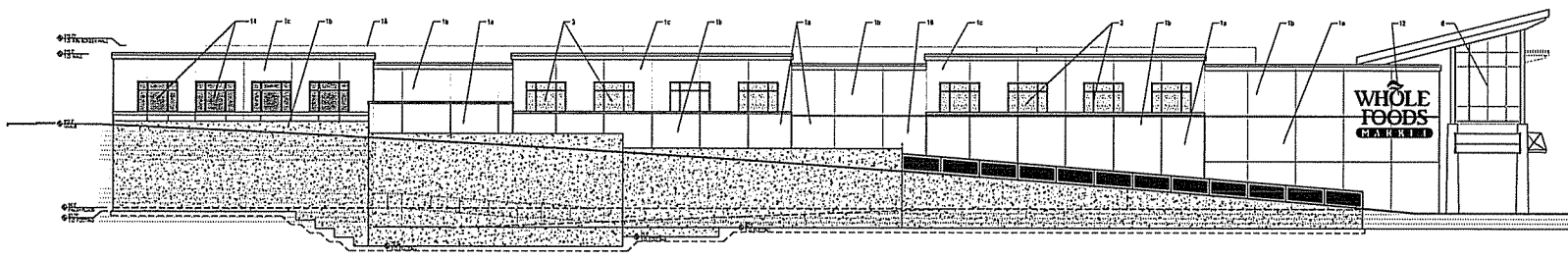
Sheet Number:  
**L200**



**EPPSTEIN UHEN**  
ARCHITECTS  
212 WEST CENTERWAY SUITE  
400 MADISON, WISCONSIN 53703  
TEL: 608 231 1000 FAX: 608 231 1000  
ADDRESS: 212 West Centerway, Suite 400  
Madison, Wisconsin 53703  
WWW: WWW.EUARCH.COM



**28 WEST ELEVATION - SEGOE ROAD**  
1/4=12'



**35 SOUTH ELEVATION - FREY STREET**  
1/4=12'

- |   |   |   |
|---|---|---|
| <ol style="list-style-type: none"> <li>1 Patterned Precast wall panels or patterned cast-in-place concrete wall panels.</li> <li>1a Field material - Tan concrete mix, light acid wash finish.</li> <li>1b Accent band - Tan concrete mix, deep sand blast, exposed brown aggregate.</li> <li>1c Accent band - Tan concrete mix, light sand blast, partially exposed brown aggregate.</li> <li>1d Stone accent - Sierra Drystack precast limestone, field stained.</li> <li>2 Poured concrete piers, light sand blast.</li> <li>3 Vision glass - clear insulated unit, bronze anodized aluminum frame with thermal break.</li> <li>4 Patterned glass - insulated unit, no vision, some light transmittance. Bronze anodized aluminum frame with thermal break.</li> </ol> | <ol style="list-style-type: none"> <li>5 Glu-lam timber framing.</li> <li>6 Entrance Tower - Sloping entry roof with two story space. Underside of roof is an exposed wood tongue &amp; groove ceiling over glulam framing.</li> <li>7 Curtain wall system &amp; arched canopy. Curved cantilevered canopy with steel trusses supporting wood tongue &amp; groove ceiling in front of aluminum and glass curtain wall system. All vision glass with the exception of patterned glass on the top parapet panels.</li> <li>8 University Avenue structure: Two story tower on University Avenue, glulam framing, vision glass. Pedestrian connection to public transportation and city sidewalk.</li> <li>9 Segoe Road structure: Two story tower with glulam framing, poured concrete piers, vision glass above and patterned glass below.</li> </ol> | <ol style="list-style-type: none"> <li>10 Wood clad projections with steel-framed fabric awnings and patterned glass windows.</li> <li>11 Vine covered metal trellis screen with base planter.</li> <li>12 "Whole Foods Market" logo/logo graphic. Backlit, individually cut metal signage.</li> <li>13 Pedestrian plaza.</li> <li>14 Architectural metal louvers.</li> <li>15 Recessed brick dock, naturally screened by existing site conditions.</li> <li>16 Precast panel wall with 6" side return and 30" wide ceiling over-head door to screen loading dock.</li> <li>17 Automatic sliding doors.</li> <li>18 Roof Screen (beyond)</li> </ol> |
|---|---|---|

**HILLDALE SHOPPING CENTER**  
 702 N. MIDVALE BOULEVARD MADISON, WI  
 HILLDALE BUILDING COMPANY LLC  
 HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2

Sheet Title:  
**WHOLE FOODS MARKET - WEST AND SOUTH ELEVATIONS**

Revisions:	No.	Date	Description	By

Project Number: **6-05219-02** Drawn By: **CG**  
 Date Issued: **10-11-06** Reviewed By:

Sheet Number:  
**L201**



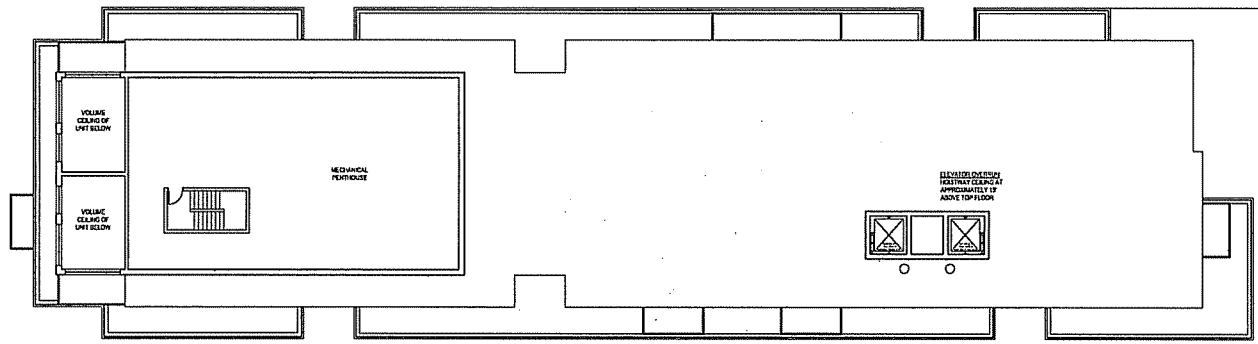


**EPSTEIN UHLEN**  
**ARCHITECTS**  
 233 East Center Street  
 Milwaukee, Wisconsin 53202  
 414.224.2200  
 215 West Superior Ave. 2nd Fl.  
 Milwaukee, Wisconsin 53233  
 414.224.2200

**HILLDALE SHOPPING CENTER**

702 N. MIDVALE BOULEVARD MADISON, WI  
 HILLDALE BUILDING COMPANY LLC

HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2



1 PENTHOUSE LEVEL  
 3/8" = 1'-0"

PENTHOUSE (ELEVATION - 201.22 (MSP))

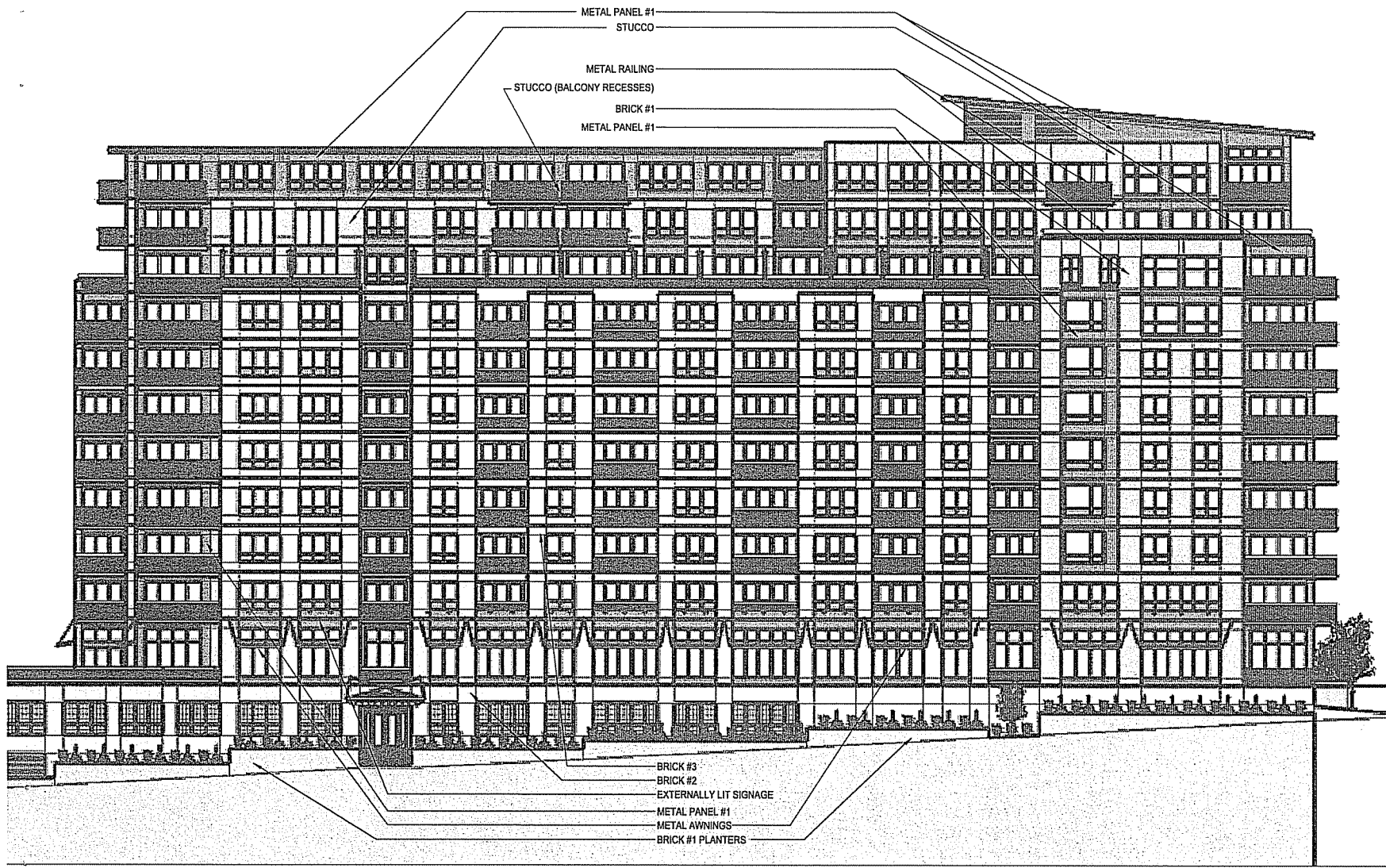


Sheet Title  
**BUILDING 'M'**  
**PENTHOUSE / ROOF PLAN**

Rev.	Date	Description	By

Project Number: 1-06360-01  
 Drawn By:  
 Date Issued: 10-11-06  
 Reviewed By: CG

Sheet Number:  
**M 101**



**HILLDALE SHOPPING CENTER**

702 N. MIDVALE BOULEVARD MADISON, WI  
 HILLDALE BUILDING COMPANY LLC

HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2

Sheet Title  
**BUILDING 'M'  
 NORTH ELEVATION**

Rev	Date	Description	By

Project Number: <b>1-06360-01</b>	Drawn By:
Date Issued: <b>10-11-06</b>	Reviewed By: <b>CG</b>

Sheet Number:  
**M 200**

**1** NORTH ELEVATION  
 NOT TO SCALE



EPPSTEIN UHEN  
ARCHITECTS

333 East Chicago Street  
Milwaukee, WI 53212  
Tel: 414.224.1100  
Fax: 414.224.1101  
222 West Washington Ave. Suite 200  
Milwaukee, WI 53233  
Tel: 414.224.1100  
Fax: 414.224.1101

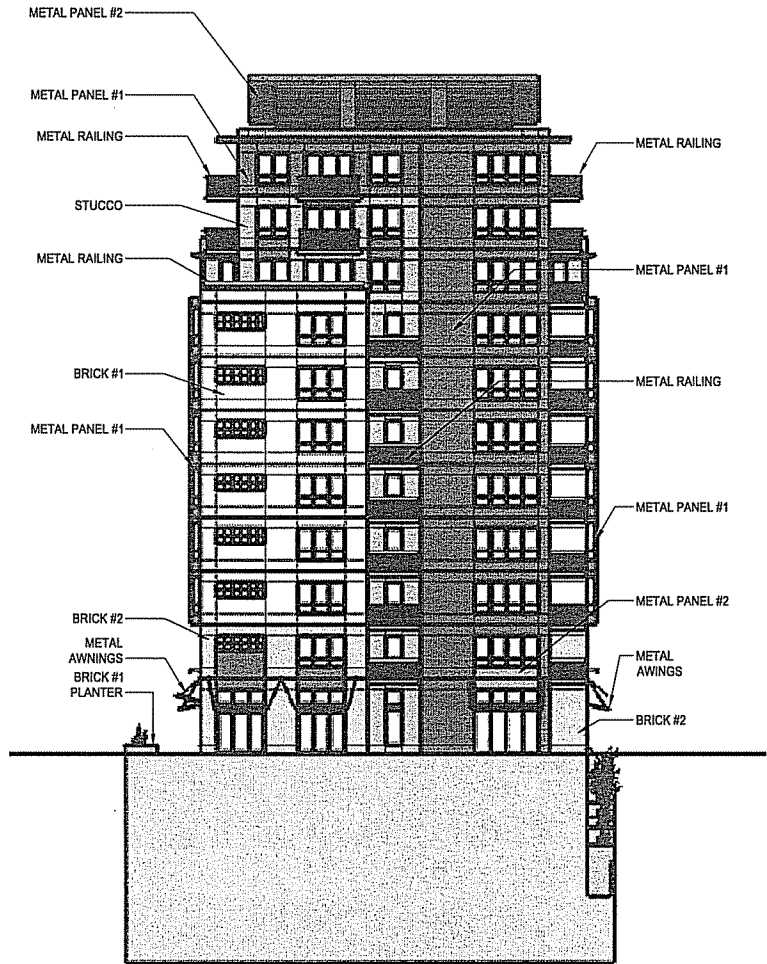
HILLDALE SHOPPING CENTER  
702 N. MIDVALE BOULEVARD MADISON, WI  
HILLDALE BUILDING COMPANY LLC  
HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2

Sheet Title:  
BUILDING M  
EAST & WEST  
ELEVATIONS

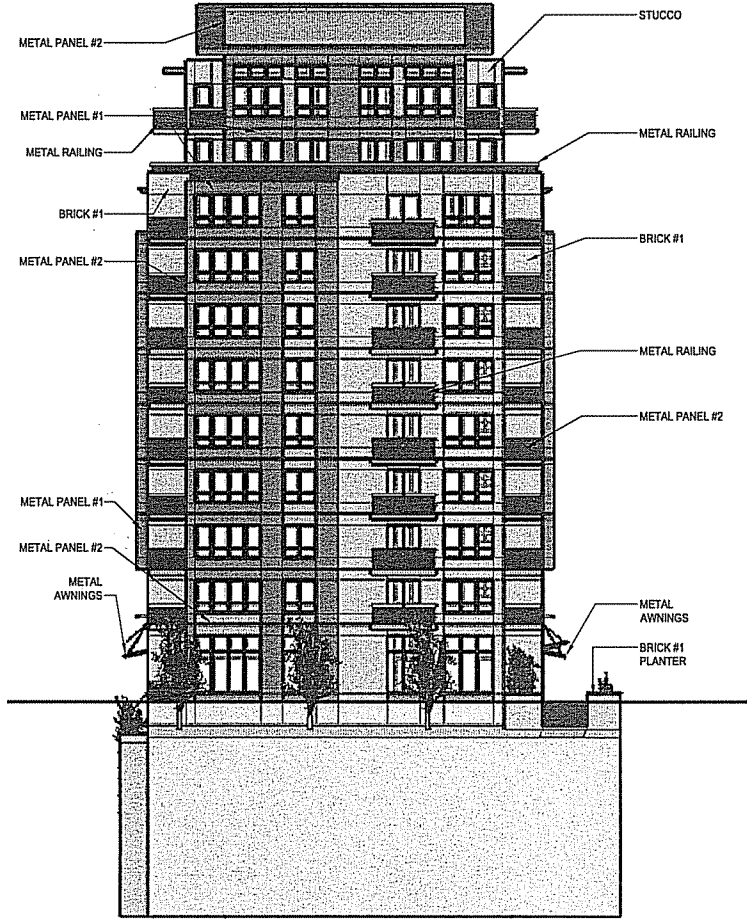
Rev	Date	Description	By

Project Number: 1-06360-01	Drawn By: CG
Date Issued: 10-11-06	Reviewed By: CG

Sheet Number:  
**M 201**



2 EAST ELEVATION  
NOT TO SCALE

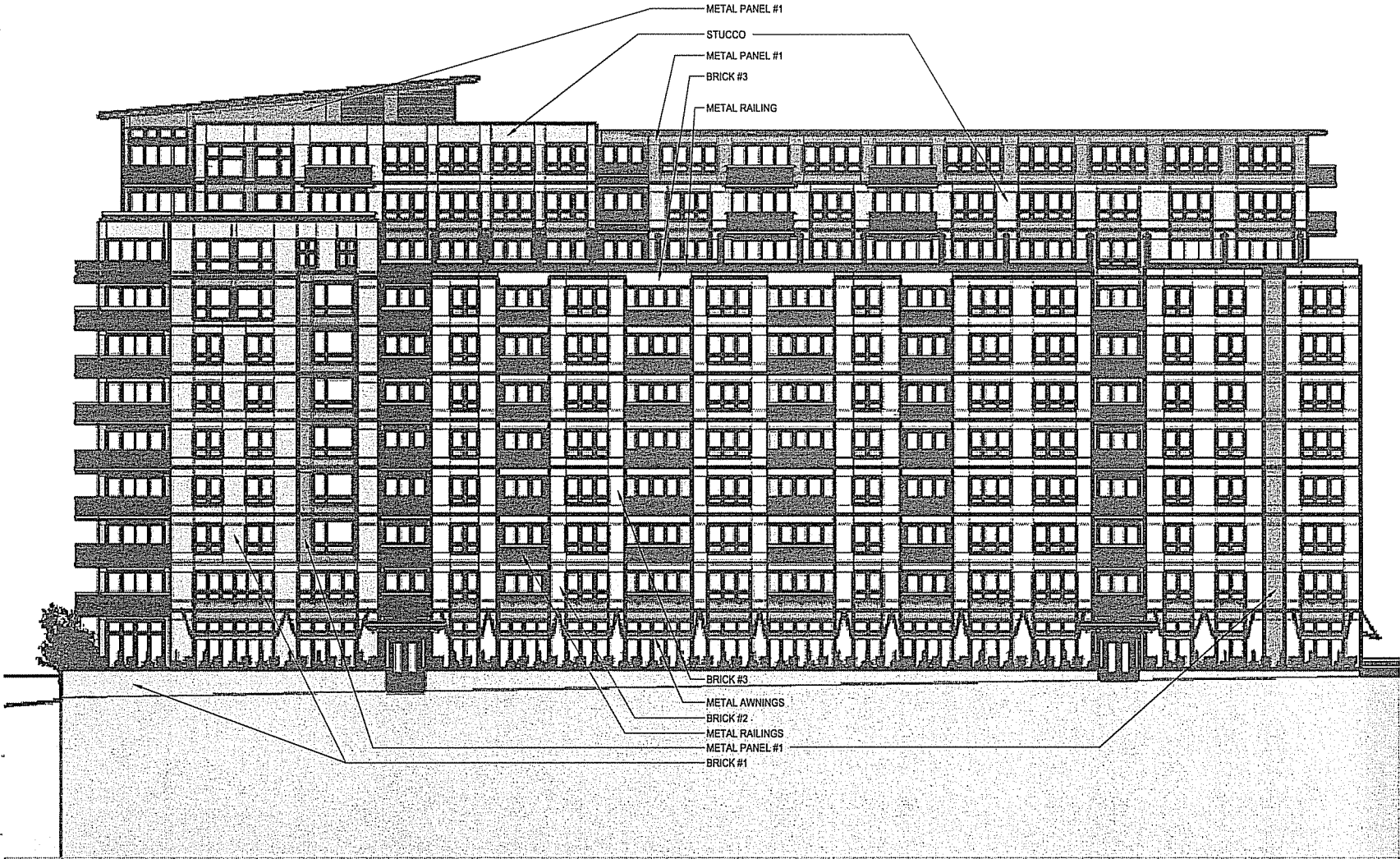


1 WEST ELEVATION  
NOT TO SCALE



EPPSTEIN UHEN  
ARCHITECTS

110000000 222 East Exchange Street  
Madison, Wisconsin 53702  
Tel: 608 278 0200 Fax: 608 278 0200  
ADDRESS 222 West Washington Ave. Suite 202  
Madison, Wisconsin 53703  
Tel: 608 252 3200 Fax: 608 252 6200



HILLDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD MADISON, WI  
HILLDALE BUILDING COMPANY LLC

HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2

Sheet Title:  
**BUILDING M  
SOUTH ELEVATION**

Revisions:	No.	Date:	Description:	By:

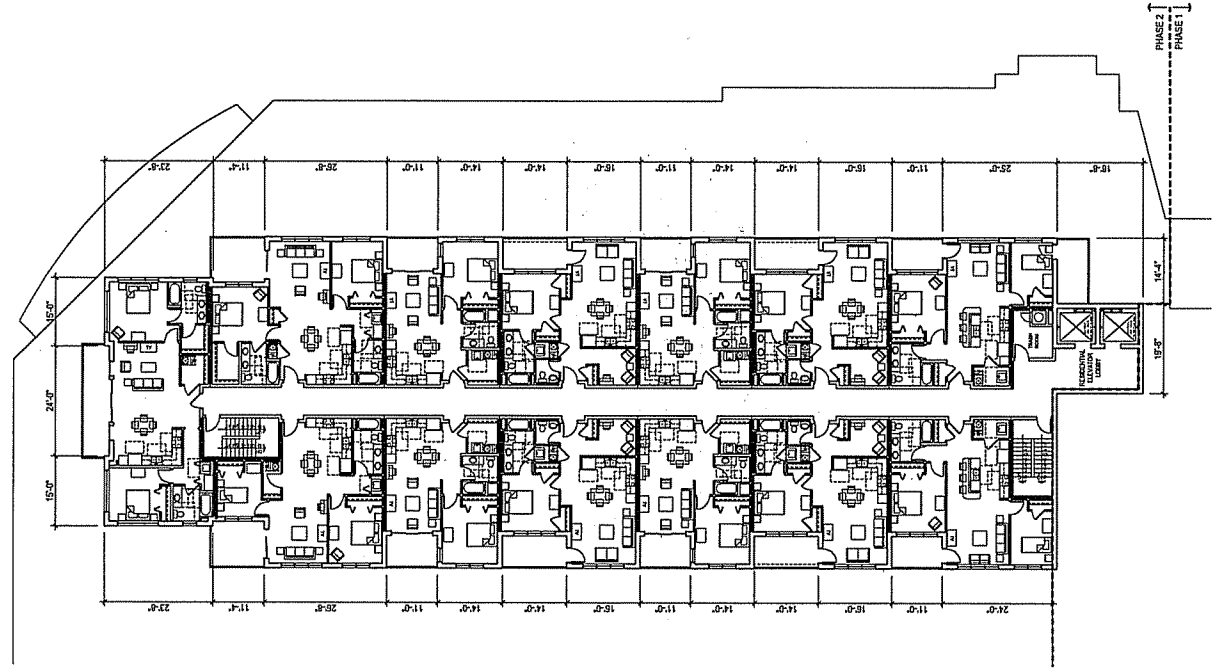
Project Number: <b>1-06360-01</b>	Drawn By:
Date Issued: <b>10-11-06</b>	Reviewed By: <b>CG</b>

1 SOUTH ELEVATION  
NOT TO SCALE

Sheet Number:  
**M 202**



**EPSTEIN UHEN**  
**ARCHITECTS**  
 223 East Center Street  
 Madison, WI 53703  
 223 East Center Street  
 Madison, WI 53703  
 223 East Center Street  
 Madison, WI 53703



1 FLOORS 3-7 - 90 UNIT  
 312'-15"

FLOOR 7 ELEVATION - 117.20 (EVP7)  
 FLOOR 6 ELEVATION - 116.20 (EVP6)  
 FLOOR 5 ELEVATION - 115.20 (EVP5)  
 FLOOR 4 ELEVATION - 114.20 (EVP4)  
 FLOOR 3 ELEVATION - 113.20 (EVP3)



# HILLDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD MADISON, WI  
 HILLDALE BUILDING COMPANY LLC

HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2

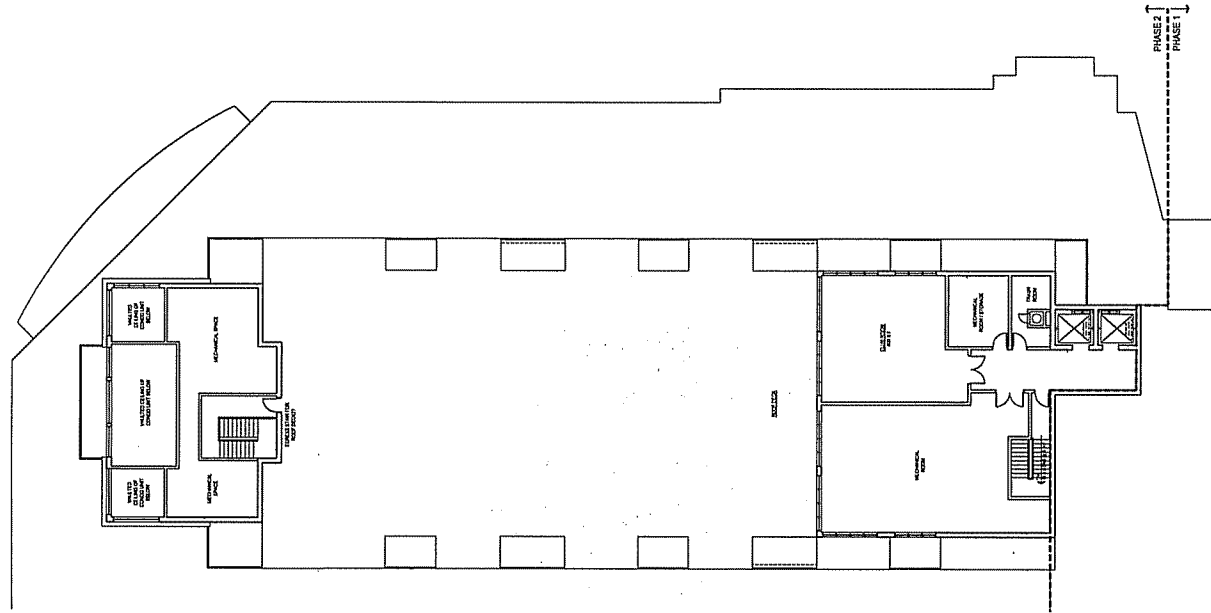
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**BUILDING 'N' & 'O'**  
**TYPICAL FLOOR PLAN**

Revisions:	No.	Date	Description	By

Project Number: 1-06360-01  
 Drawn By: CG  
 Date Issued: 10-11-06  
 Reviewed By: CG

Sheet Number:  
**N/O 100**





1 PENTHOUSE LEVEL - 90 UNIT  
3/12" = 1'-0"

PENTHOUSE ELEVATION - 94.00 (VERT)



EPSTEIN UHEN  
ARCHITECTS

222 EAST CENTER STREET  
MILWAUKEE, WISCONSIN 53202  
TEL: 414.224.1100 FAX: 414.224.1101  
222 West Wisconsin Ave. 5th Fl.  
MILWAUKEE, WISCONSIN 53233  
TEL: 414.224.1100 FAX: 414.224.1101

# HILDALE SHOPPING CENTER

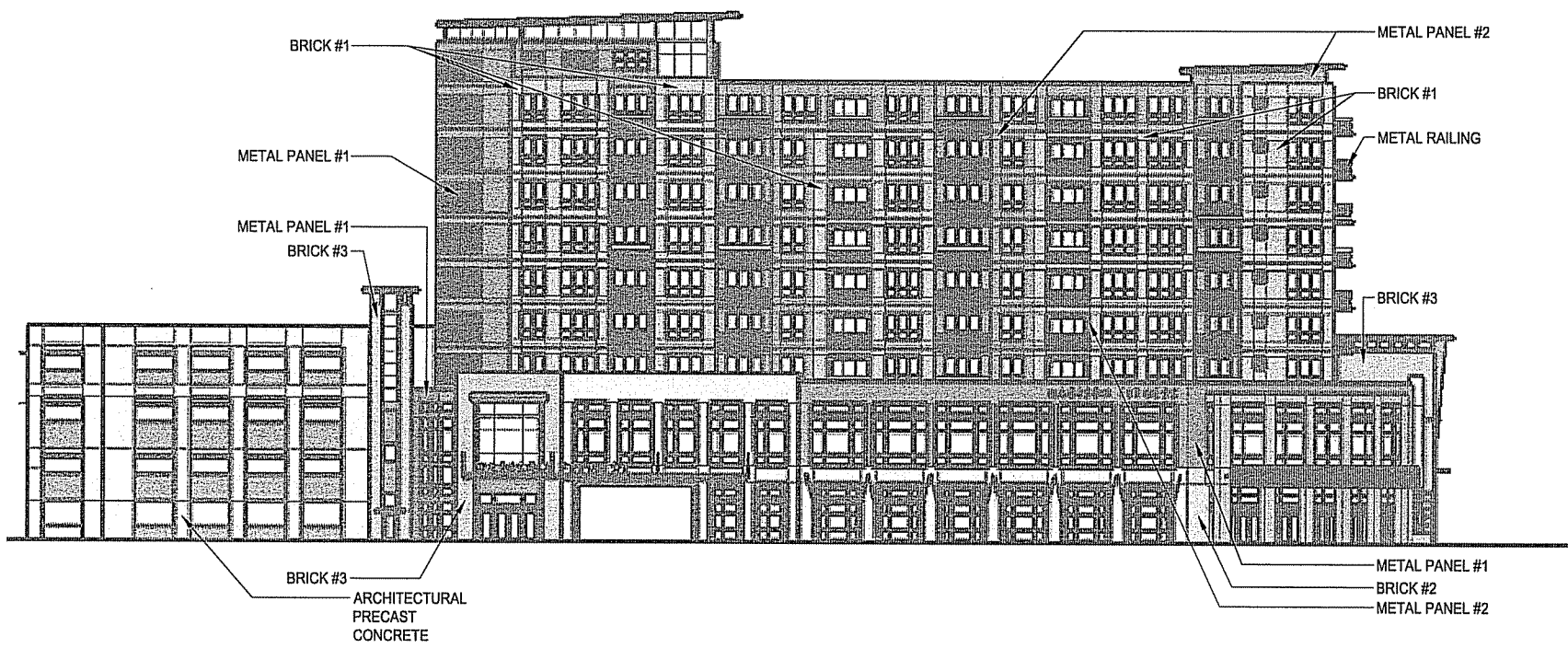
702 N. MIDVALE BOULEVARD MADISON, WI  
HILDALE BUILDING COMPANY LLC  
HILDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2

Sheet Title:  
BUILDING 'N' & 'O'  
PENTHOUSE / ROOF PLAN

Rev.	Date	Description	By

Project Number: 1-06360-01	Drawn By:
Date Issued: 10-11-06	Reviewed By: CG

Sheet Number:  
**N/O 101**



**HILLDALE SHOPPING CENTER**  
 702 N. MIDVALE BOULEVARD MADISON, WI  
 HILLDALE BUILDING COMPANY LLC  
 HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2

Sheet Title:  
**BUILDING 'N' & 'O'  
 EAST ELEVATION**

Rev	Date	Description	By

Project Number: **1-06361-01** Drawn By:  
 Date Issued: **10-11-06** Reviewed By: **CG**

**1 EAST ELEVATION**  
 NOT TO SCALE

Sheet Number:  
**N/O 200**

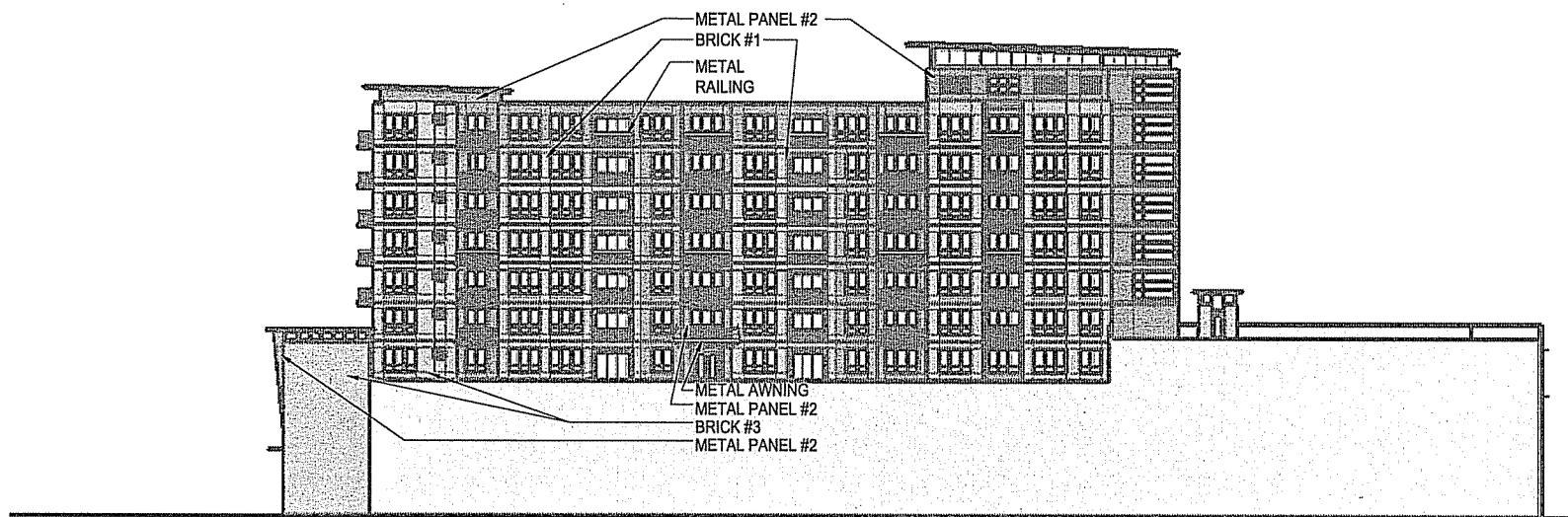


**EPSTEIN UHEN**  
ARCHITECTS  
223 EAST CANTONWAY SUITE 200  
MILWAUKEE, WISCONSIN 53212  
TEL: 414.271.2500 FAX: 414.271.7799  
223 West Wisconsin Ave. Suite 200  
Milwaukee, Wisconsin 53233  
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**HILLDALE SHOPPING CENTER**

702 N. MIDVALE BOULEVARD MADISON, WI  
HILLDALE BUILDING COMPANY LLC

HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2



Sheet Title:  
**BUILDING 'N' & 'O'**  
**WEST ELEVATION**

Revisions:

No.	Date	Description	By

Project Number: 1-06361-01  
Date Issued: 10-11-06  
Drawn By: CG  
Reviewed By: CG

1 WEST ELEVATION  
NOT TO SCALE

Sheet Number:  
**N/O 201**

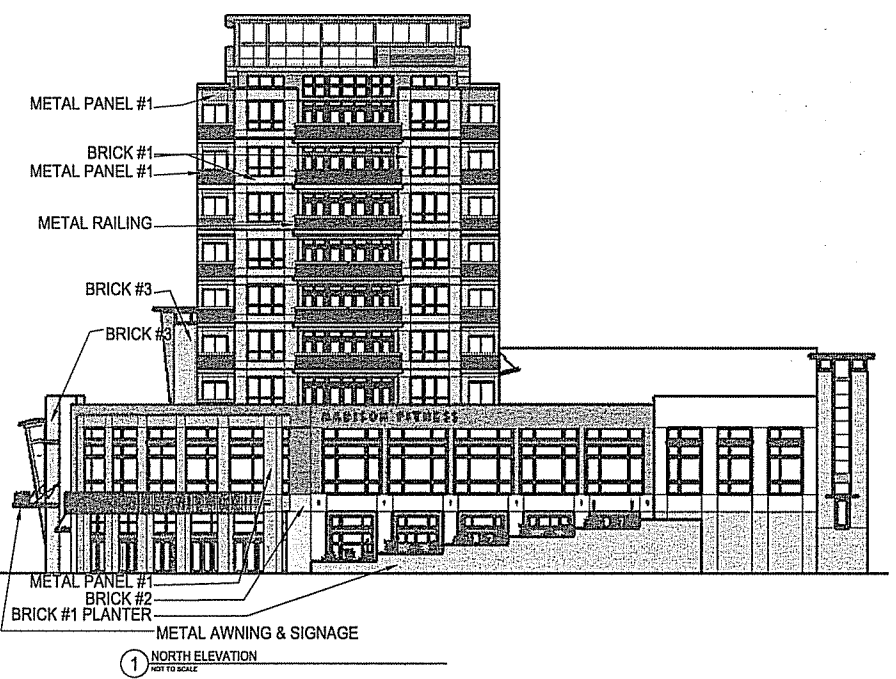
**HILLDALE SHOPPING CENTER**  
702 N. MIDVALE BOULEVARD MADISON, WI  
HILLDALE BUILDING COMPANY LLC  
HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2

Sheet Title:  
**BUILDING 'N' & 'O'  
NORTH & SOUTH  
ELEVATIONS**

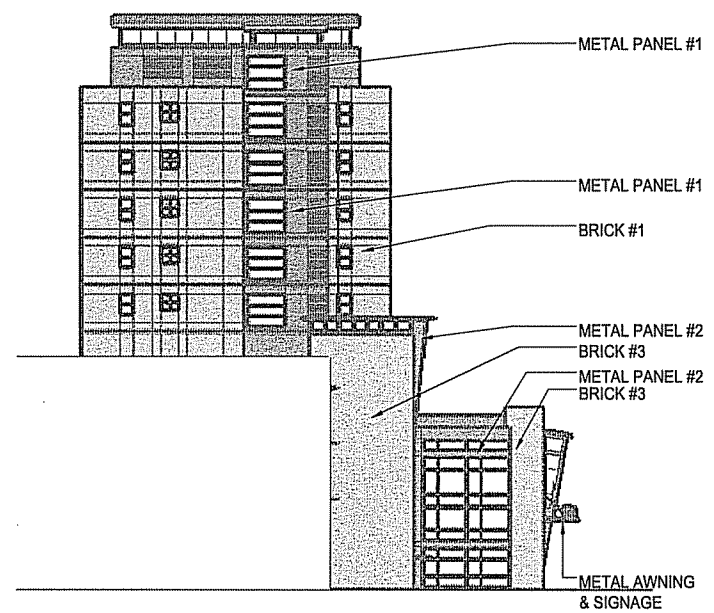
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No.	Date	Description

Project Number: 1-06361-01	Drawn By:
Date Issued: 10-11-06	Reviewed By: CG

Sheet Number:  
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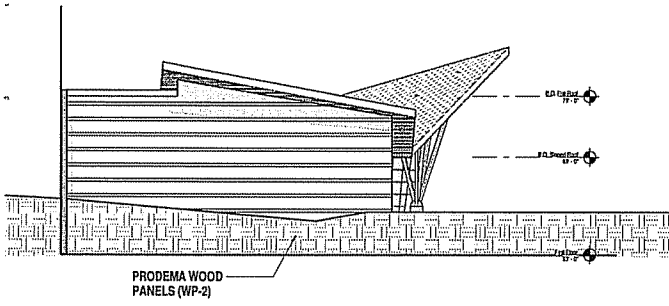
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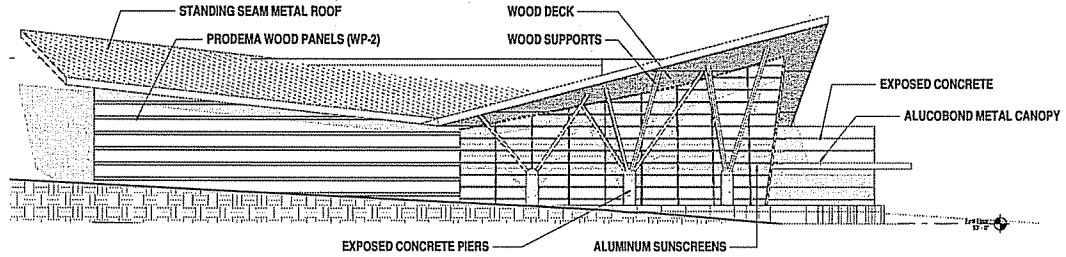
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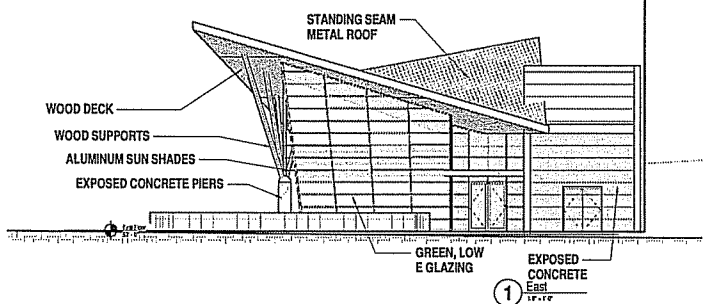
**EPPSTEIN UHEN**  
ARCHITECTS  
233 East Chicago Street  
Milwaukee, Wisconsin 53202  
Tel: 414 271 2200 Fax: 414 271 2724  
122 West Washington Ave. 8th Floor  
Madison, Wisconsin 53703  
Tel: 608 442 2200 Fax: 608 442 2202



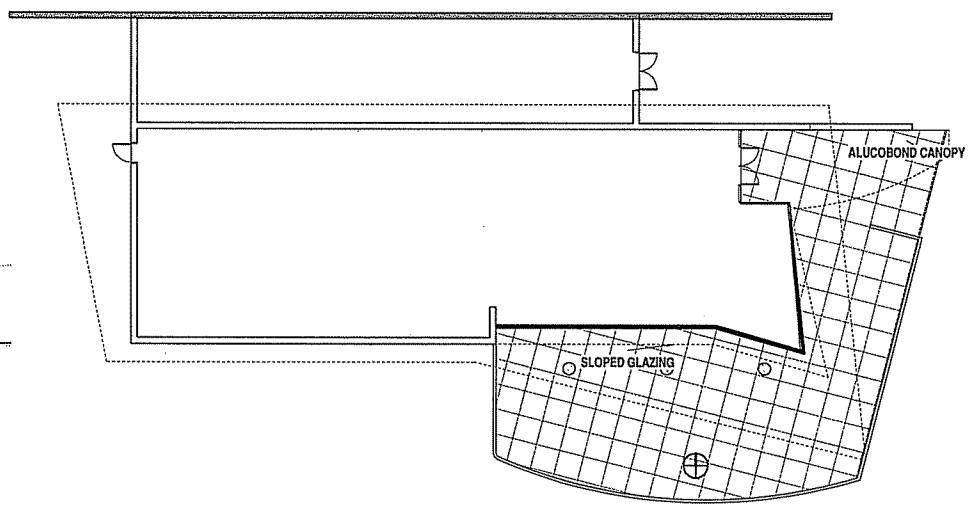
2 West  
14'-10"



3 South  
14'-10"



1 East  
14'-10"



4 First Floor  
14'-10"

**HILLDALE SHOPPING CENTER**

702 N. MIDVALE BOULEVARD  
MADISON, WI

HILLDALE BUILDING COMPANY, LLC

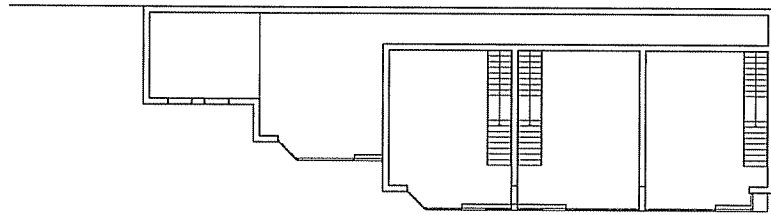
HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2

Sheet Title:  
Building P Elevations & Plan

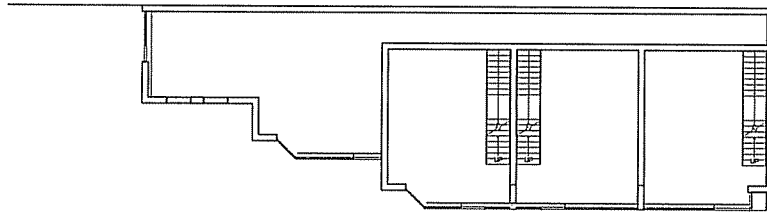
NO.	DATE	DESCRIPTION	BY
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Project Number:	Drawn By:
10636241	KYK
Date Issued:	Reviewed By:
10/11/06	-

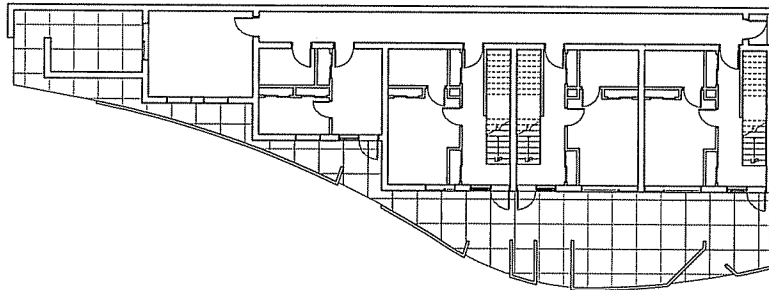
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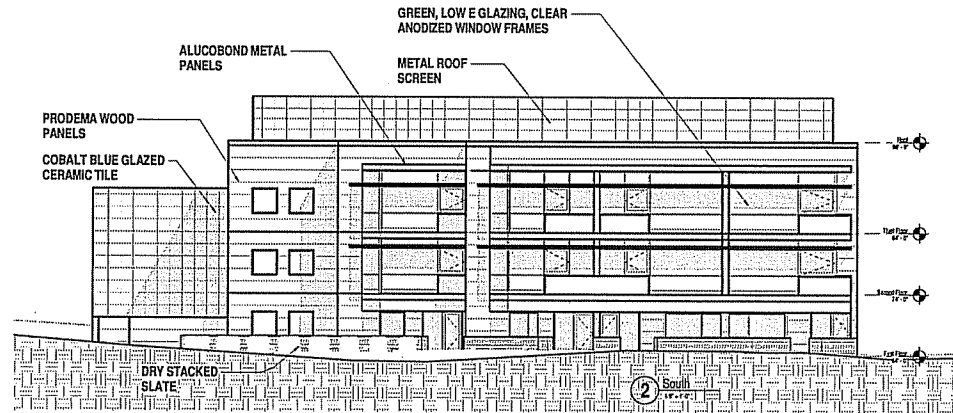
6 Third Floor  
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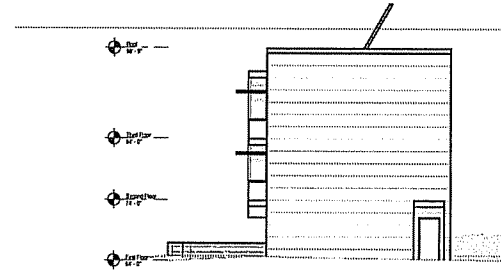
5 Second Floor  
17'-0" x 7'-0"



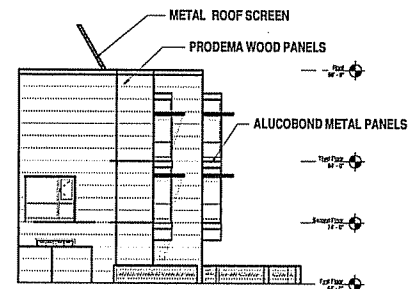
4 First Floor  
17'-0" x 7'-0"



2 South  
17'-0" x 7'-0"



3 East  
17'-0" x 7'-0"



1 West  
17'-0" x 7'-0"



**EPPSTEIN UHEN**  
ARCHITECTS  
122 EAST CHERRY STREET  
MILWAUKEE, WISCONSIN 53202  
414.221.2000 FAX 414.221.2001  
P.O. BOX 222 222 WEST WASHINGTON AVE. SUITE 202  
MILWAUKEE, WISCONSIN 53233  
414.221.2000 FAX 414.221.2001

# HILDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD  
MADISON, WI  
HILDALE BUILDING COMPANY LLC  
HILDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2

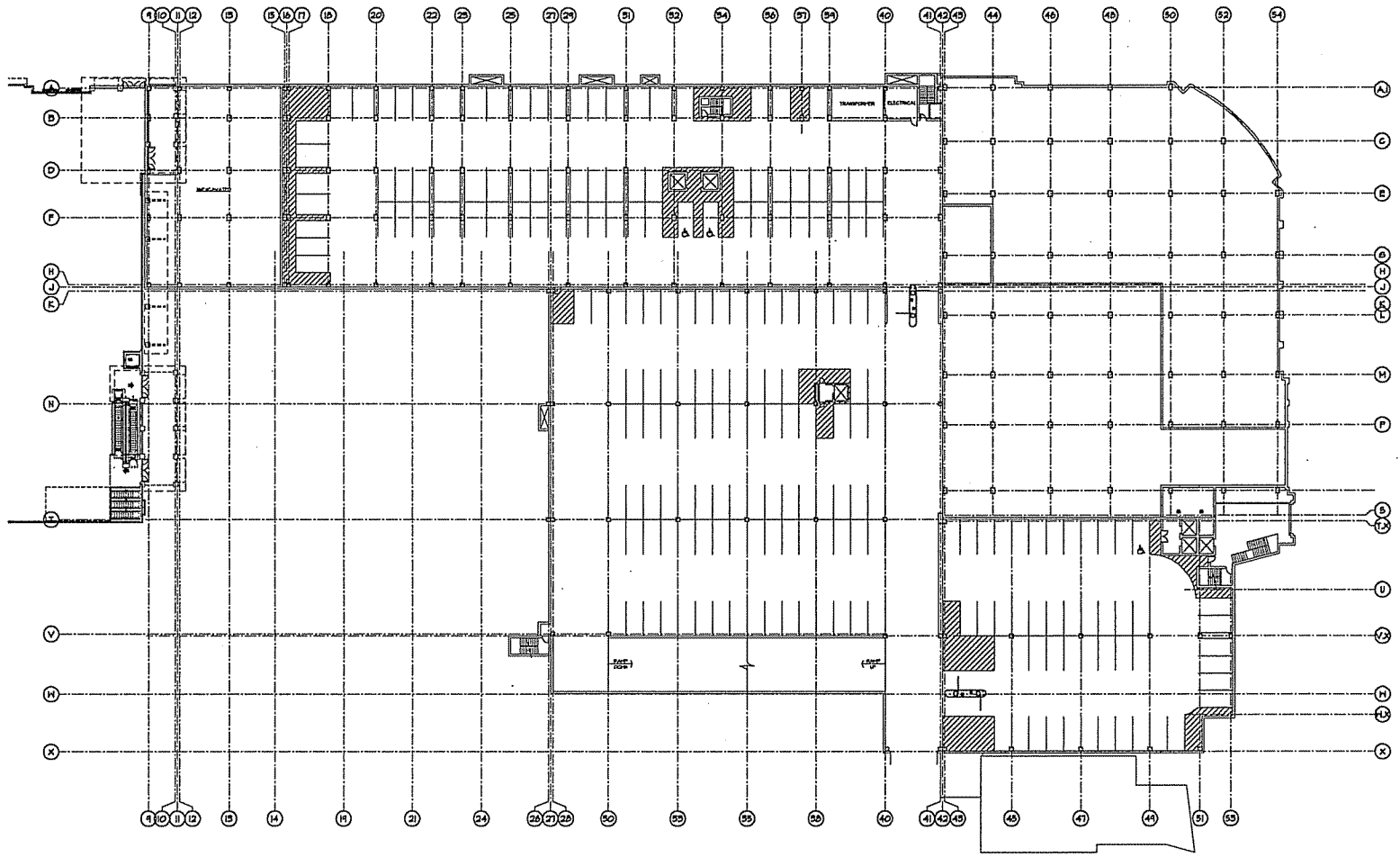
Sheet Title:  
Building 0 Elevations

Revisions:	Drawn By:	Checked By:
1	KYK	ABC
2		
3		
4		
5		

Project Number:	Drawn By:
106362-01	KYK
Date Issued:	Reviewed By:
10/1/06	-

Sheet Number:  
**Q100**





1 PARKING LEVEL 2  
SCALE 1/8" = 1'-0"



**ARNOLD AND  
 SHERIDAN INC.**  
MECHANICAL • ELECTRICAL • PLUMBING  
 ELECTRICAL • TECHNOLOGY

**HILDALE SHOPPING CENTER**  
 702 N. MIDVALE BOULEVARD  
 MADISON, WI  
 HILDALE BUILDING COMPANY LLC

Sheet Title:  
**PARKING LEVEL 2**

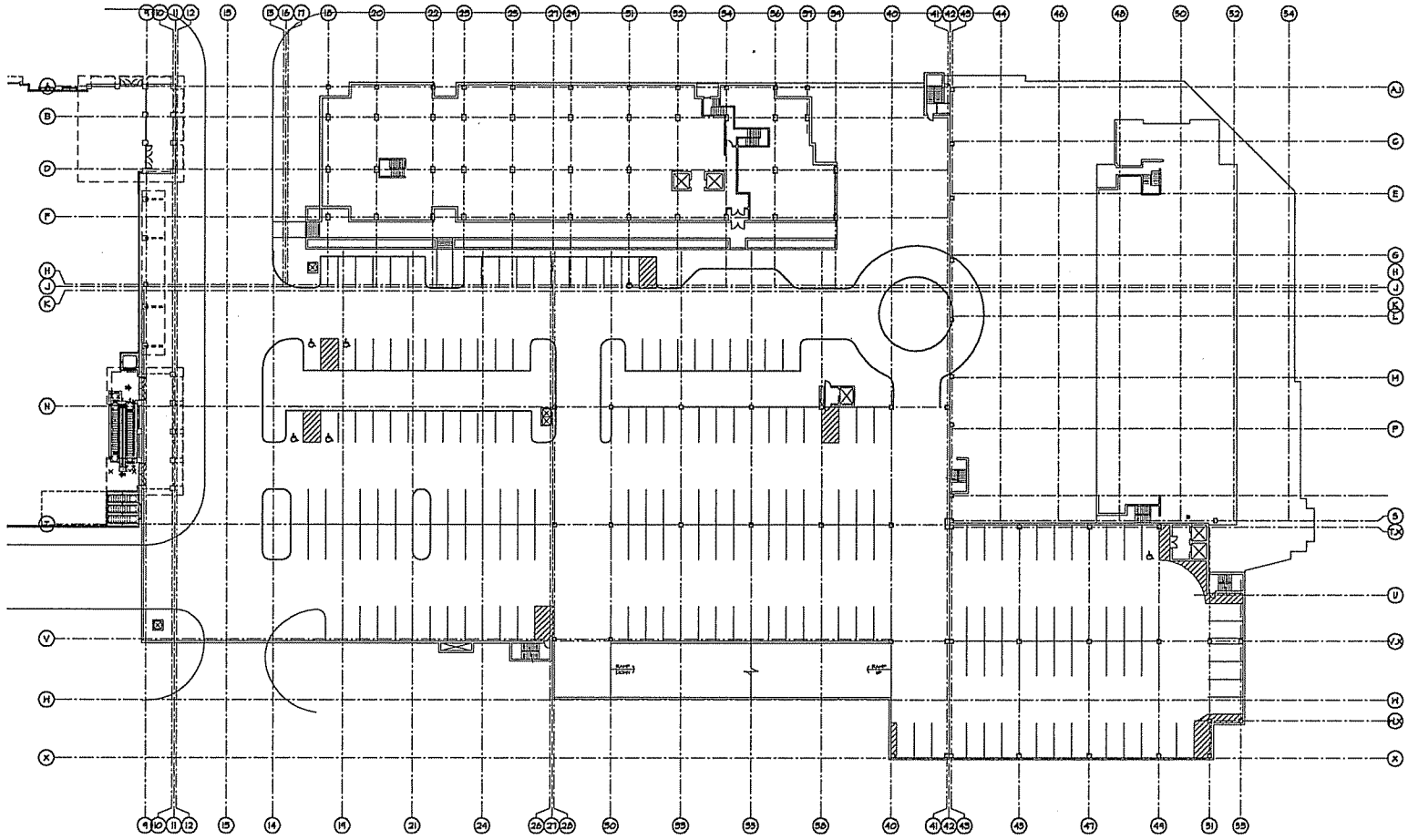
Rev.	Description	Date

Project Number:	Drawn By:
D00297	MAD
Sheet Number:	Designed By:
10-11-00	MLS

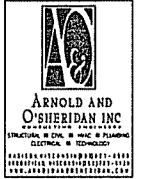
Sheet Number:  
**R102**







1 PARKING LEVEL 4  
 R104 SCALE: 1/8" = 1'-0"



**ARNOLD AND O'SHERIDAN INC.**  
 STRUCTURAL ENGINEERS  
 1000 UNIVERSITY AVENUE, SUITE 1000  
 MADISON, WISCONSIN 53706  
 (608) 261-1111  
 FAX: (608) 261-1112

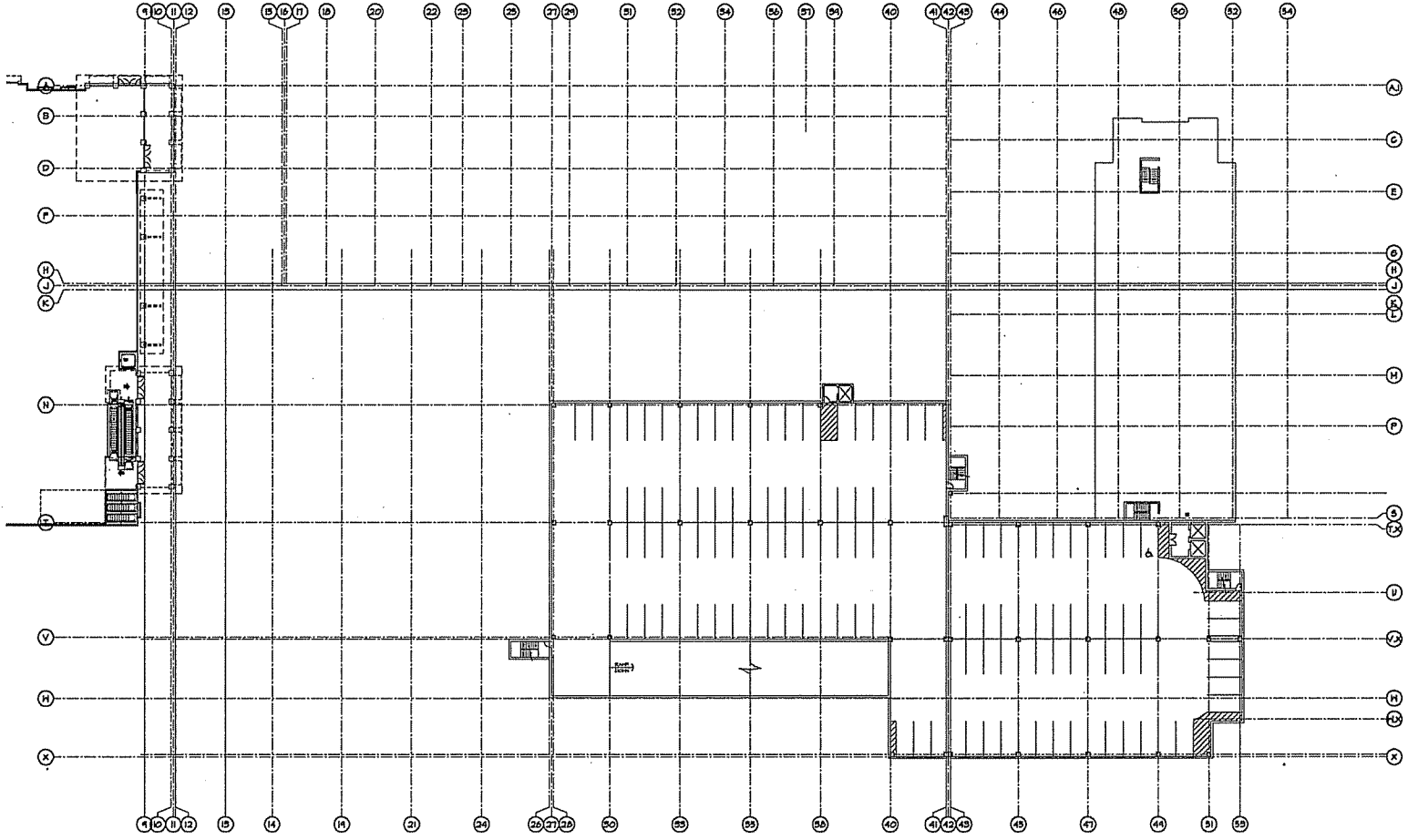
**HILDALE SHOPPING CENTER**  
 702 N. MIDVALE BOULEVARD  
 MADISON, WI  
 HILDALE BUILDING COMPANY LLC

Sheet Title:  
**PARKING LEVEL 4**

Rev.	Description	Date

Project Number: 060297  
 Date Issued: 10-11-08  
 Drawn By: UMD  
 Designed By: MLS

Sheet Number:  
**R104**




**PARKING LEVEL 5**  
SCALE: 1/8" = 1'-0"



**ARNOLD AND SHERIDAN INC.**  
 ARCHITECTS AND ENGINEERS  
 STRUCTURAL • CIVIL • MECHANICAL • ELECTRICAL • TECHNOLOGY  
 1000 UNIVERSITY AVENUE, SUITE 1000  
 MADISON, WISCONSIN 53706-1000  
 WWW.ARNOLDSHERIDAN.COM

**HILDALE SHOPPING CENTER**  
 702 N. MIDVALE BOULEVARD  
 MADISON, WI  
 HILDALE BUILDING COMPANY LLC

Sheet Title:  
**PARKING LEVEL 5**

Rev.	Date	Description	By

Project Number: 080297  
 Date Issued: 10-11-08  
 Drawn By: MAM  
 Designed By: MLS

Sheet Number:  
**R105**



**EPPSTEIN UHEN**  
ARCHITECTS  
200 East Main Street  
Madison, Wisconsin 53703  
608.255.1100  
223 West Hampton Ave. 4th Fl.  
Madison, Wisconsin 53703  
608.255.1100

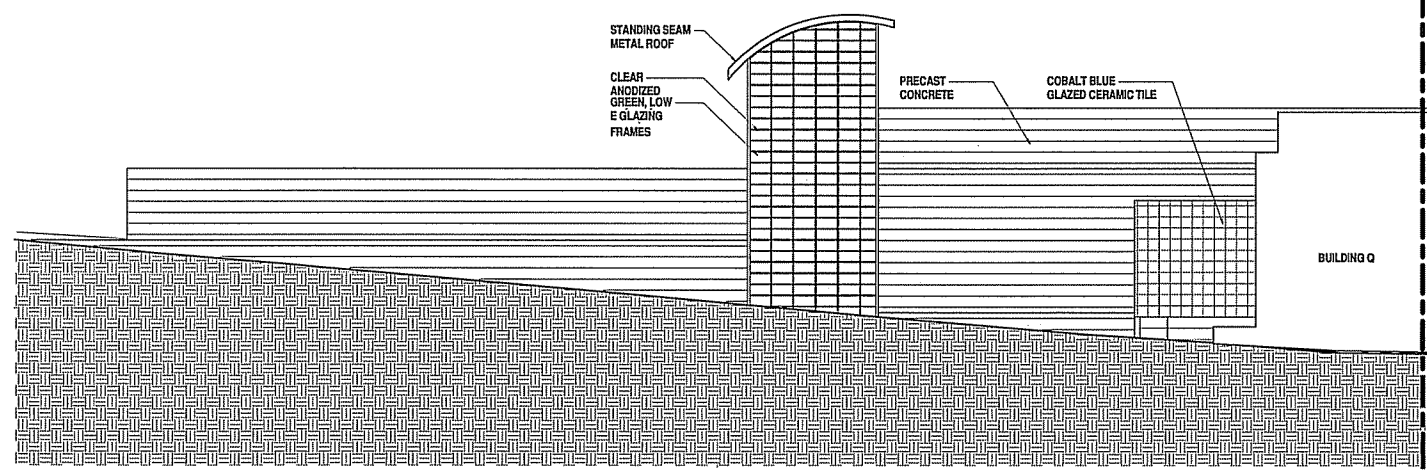
**HILLDALE SHOPPING CENTER**  
702 N. MIDVALE BOULEVARD  
MADISON, WI  
HILLDALE BUILDING COMPANY LLC  
HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2

Parking Ramp Exterior Elevations

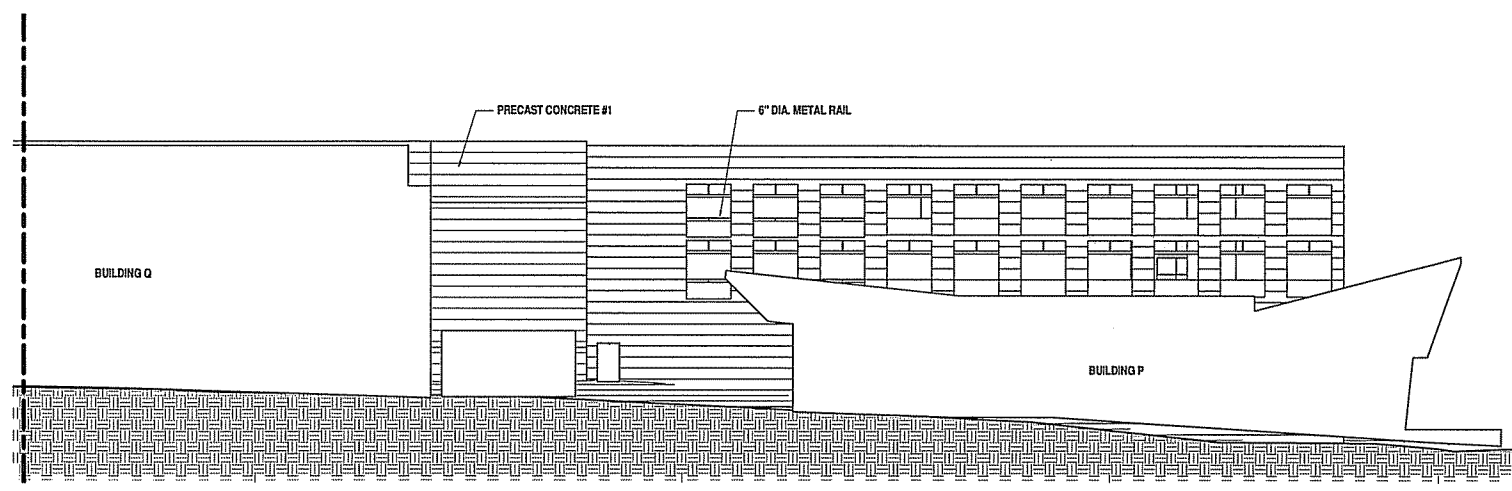
NO.	DATE	BY	CHKD.

PROJECT NO.	10632-01	DATE	1/11/16
REV.	101106	DATE	1/11/16

**R200**



1 South  
1/11/16



2 South 2  
1/11/16



**EPPSTEIN UHEN**  
ARCHITECTS  
212 EAST GILBERT STREET  
MADISON, WISCONSIN 53703  
TEL: 608.261.1111  
FAX: 608.261.1112  
WWW.EPPSTEINUHEN.COM

**HILLDALE SHOPPING CENTER**

702 N. MIDVALE BOULEVARD  
MADISON, WI

HILLDALE BUILDING COMPANY LLC

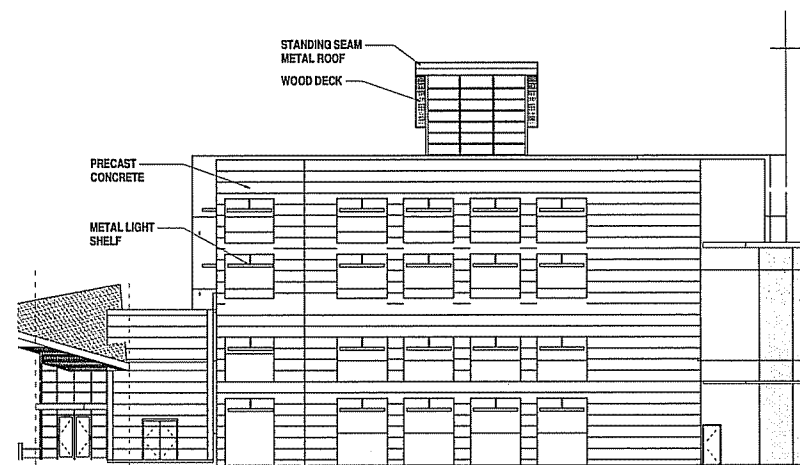
HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2

Parking Ramp Entrances Elevations

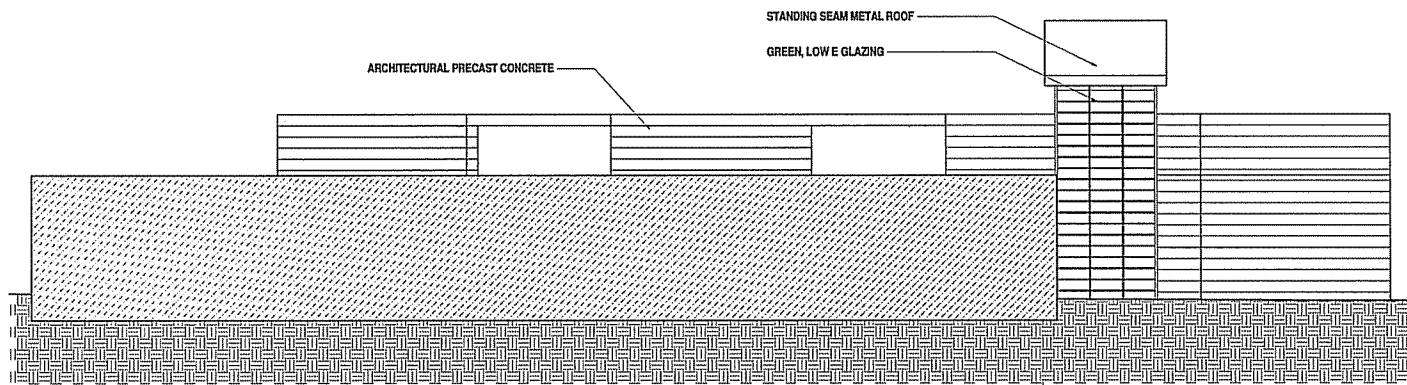
NO.	DATE	BY	CHKD.
1	10/26/11	JK	JK
2	11/15/11	JK	JK
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5	11/15/11	JK	JK
6	11/15/11	JK	JK
7	11/15/11	JK	JK
8	11/15/11	JK	JK
9	11/15/11	JK	JK
10	11/15/11	JK	JK

PROJECT NO.	106362-01	DATE	11/15/11
DESIGNER	EPPSTEIN UHEN ARCHITECTS	CLIENT	KYK
DRAWN BY	JK	CHECKED BY	JK
DATE	10/11/06	SCALE	AS SHOWN

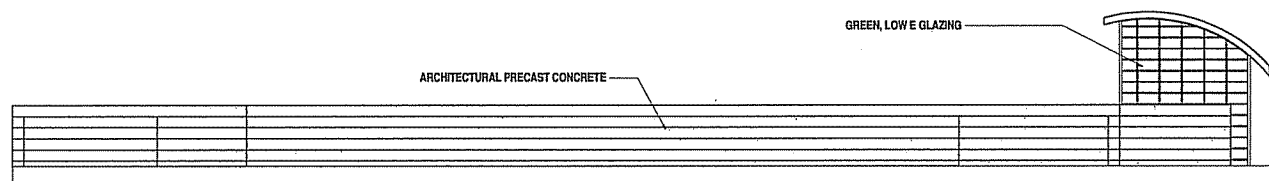
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1 East  
11/15/11



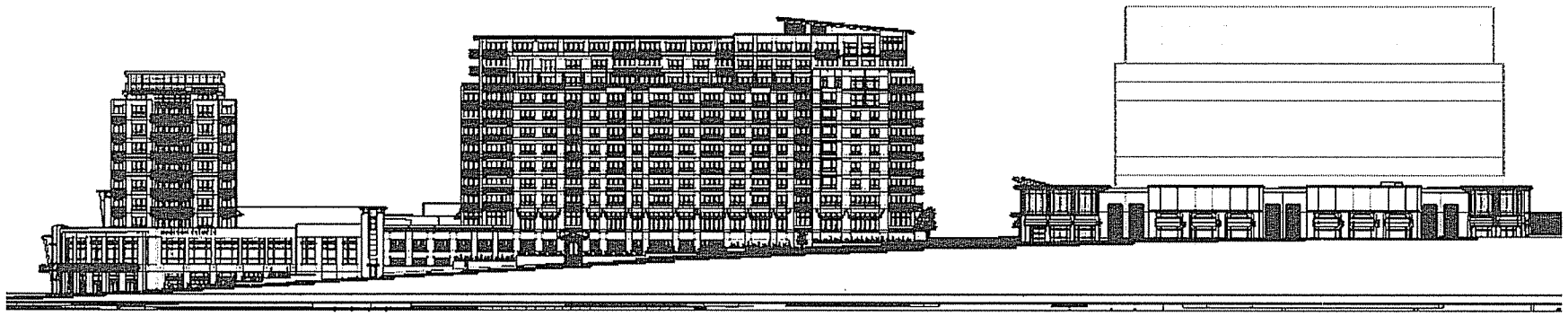
2 West  
11/15/11



3 North  
11/15/11



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HILLDALE PUD-GDP AMENDMENT #1 AND SIP AMENDMENT #2

Sheet Title:  
**OVERALL  
NORTH ELEVATION**

Revisions			
No.	Date	Description	By

Project Number: 1-06360-01  
Date Issued: 10-11-06  
Drawn By:  
Reviewed By: CG

Sheet Number:  
**X101**

1 OVERALL NORTH ELEVATION  
NOT TO SCALE



1 OVERALL EAST ELEVATION  
HTS



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HILLDALE PUD-GDP, AMENDMENT #1 AND SIP AMENDMENT #2

Sheet Title:  
**EAST ELEVATION  
OVERALL EAST ELEVATION**

Rev	Date	Description	By

Project Number: 1-06360-01	Drawn By:
Date Issued: 10-11-06	Reviewed By: CG

Sheet Number:  
**X102**