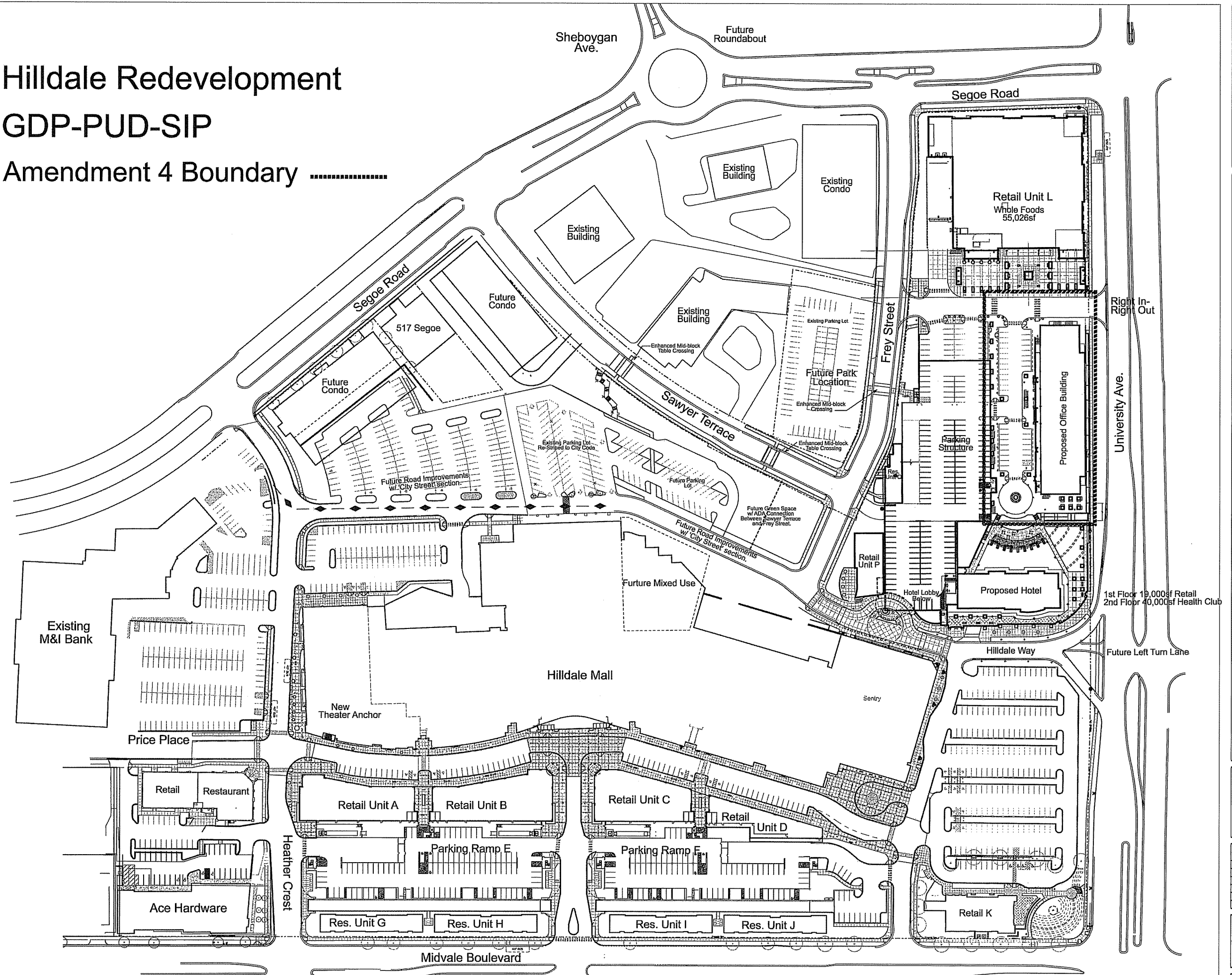


Amendment 4 Boundary



HILLDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI

HILLDALE LAND COMPANY LLC

Sheet Title:
Master Plan
GDP Amendment

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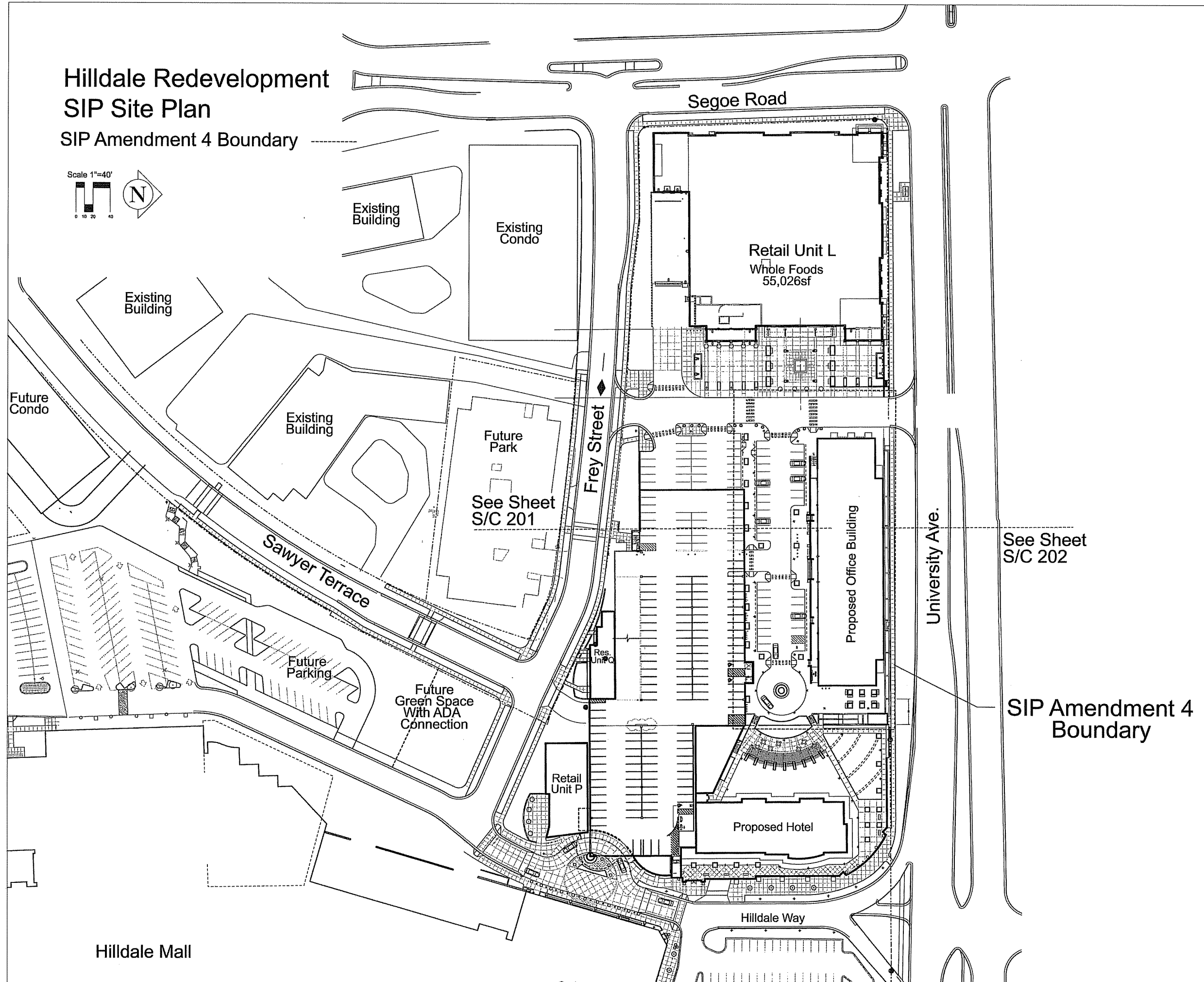
Project Number:	Drawn By: MS
Date Issued: 12-19-07	Reviewed By: KS

Sheet Number:
S/C 100

Hilldale Redevelopment SIP Site Plan

SIP Amendment 4 Boundary

Scale 1"=40'



KEN SAIKI
DESIGN INC
LANDSCAPE
ARCHITECTS
303 S. PATERSON
SUITE 205
MADISON, WI 53703
Phone: 608 951-3600
Fax: 608 951-2330
www.ksd-in.com

HILLDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI

HILLDALE LAND COMPANY LLC

Sheet Title:
SIP SITE PLAN

Revisions:			
No.	Date	Description	By:

Project Number:	Drawn By:
	MS
Date Issued:	Reviewed By:
12-19-07	KS

Sheet Number:
S/C 200

Scale 1"=20'

0 5 10 20

Existing
Parking Lot

5'-0"
7'-6"

Frey Street

Retail Unit L
Whole Foods
55,026sf

building

Ave.

SEE CIVIL DRAWINGS
FOR ROAD ALIGNMENT,
CURB RAMPS, SIGNAGE,
AND PAVEMENT MARKING



KEN SAIKI
DESIGN INC
LANDSCAPE
ARCHITECTS
303 S. PATERSON
SUITE ONE
MADISON, WI 53703
Phone: 608 251-3600
Fax: 608 251-2330
www.ksd-la.com

HILLDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI

HILDALE LAND COMPANY LLC

Sheet Title:

SITE LAYOUT PLAN
WEST

Revisions:

[illegible]

Project Number:	Drawn By:
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	MS
Date Issued: 12-19-07	Reviewed By: KS

Sheet Number:

S/C 201

Match Line



Retail
Unit P

Speed Ramp.

Hotel

Hotel
Lobby

Ramp Entrance

Existing
Parking

Proposed Office Building

University Ave.



HILLDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI

HILLDALE LAND COMPANY LLC

Sheet Title:

SITE LAYOUT PLAN
EAST

Revisions:

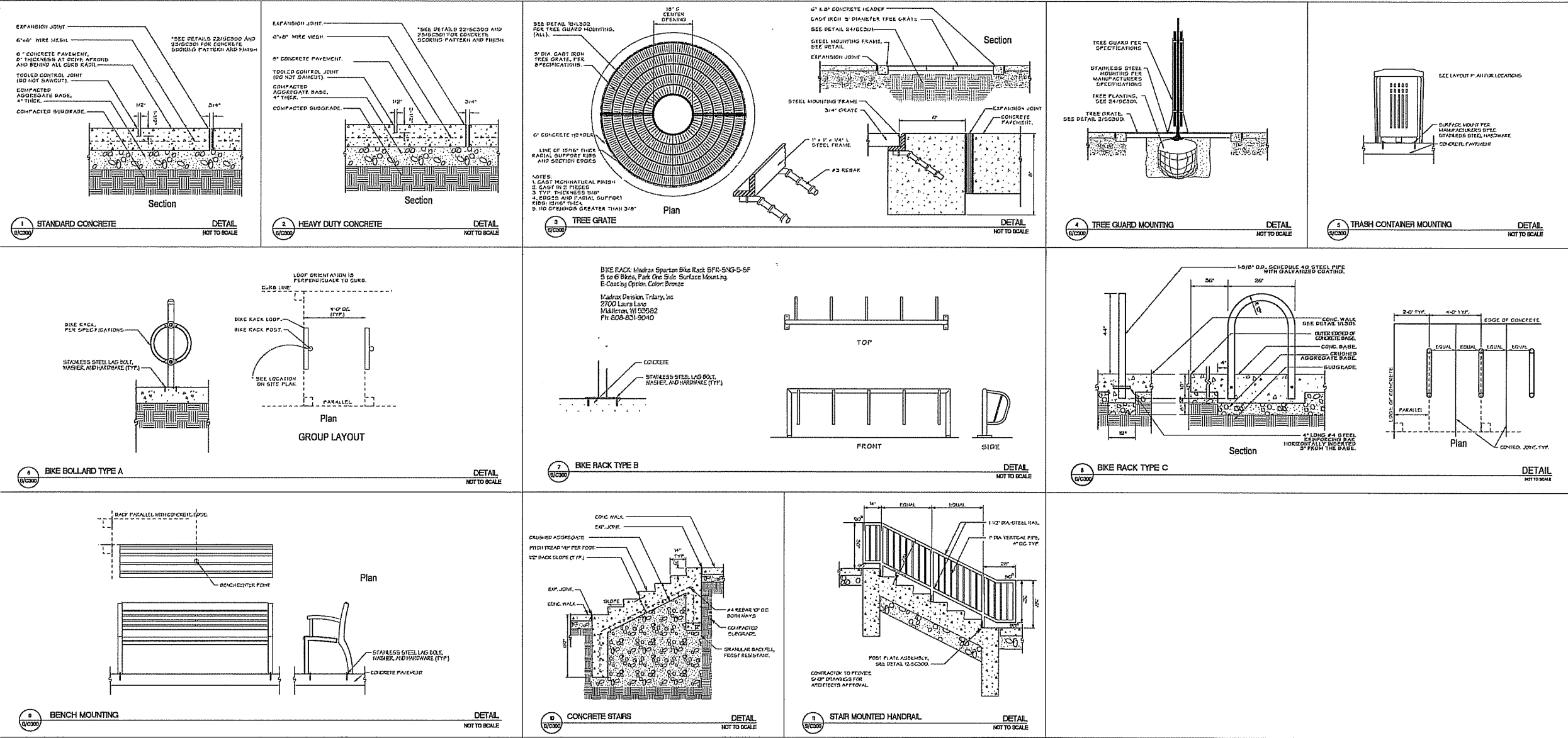
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Project Number:	Drawn By: MS
Date Issued: 12-19-07	Reviewed By: KS

Sheet Number:

S/C 202

Hilldale Redevelopment
Site Details



KEN SAKI
DESIGN INC.
LANDSCAPE
ARCHITECTS
303 S. PATERSON
SUITE ONE
MADISON, WI 53703
Phone: 608.951.3600
Fax: 608.951.3530
www.ksd-la.com

HILLDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI

HILLDALE LAND COMPANY LLC

Sheet Title:
SITE DETAILS

Revisions:

No.	Date	Description	By

Project Number:
12-19-07

Drawn By:
MS

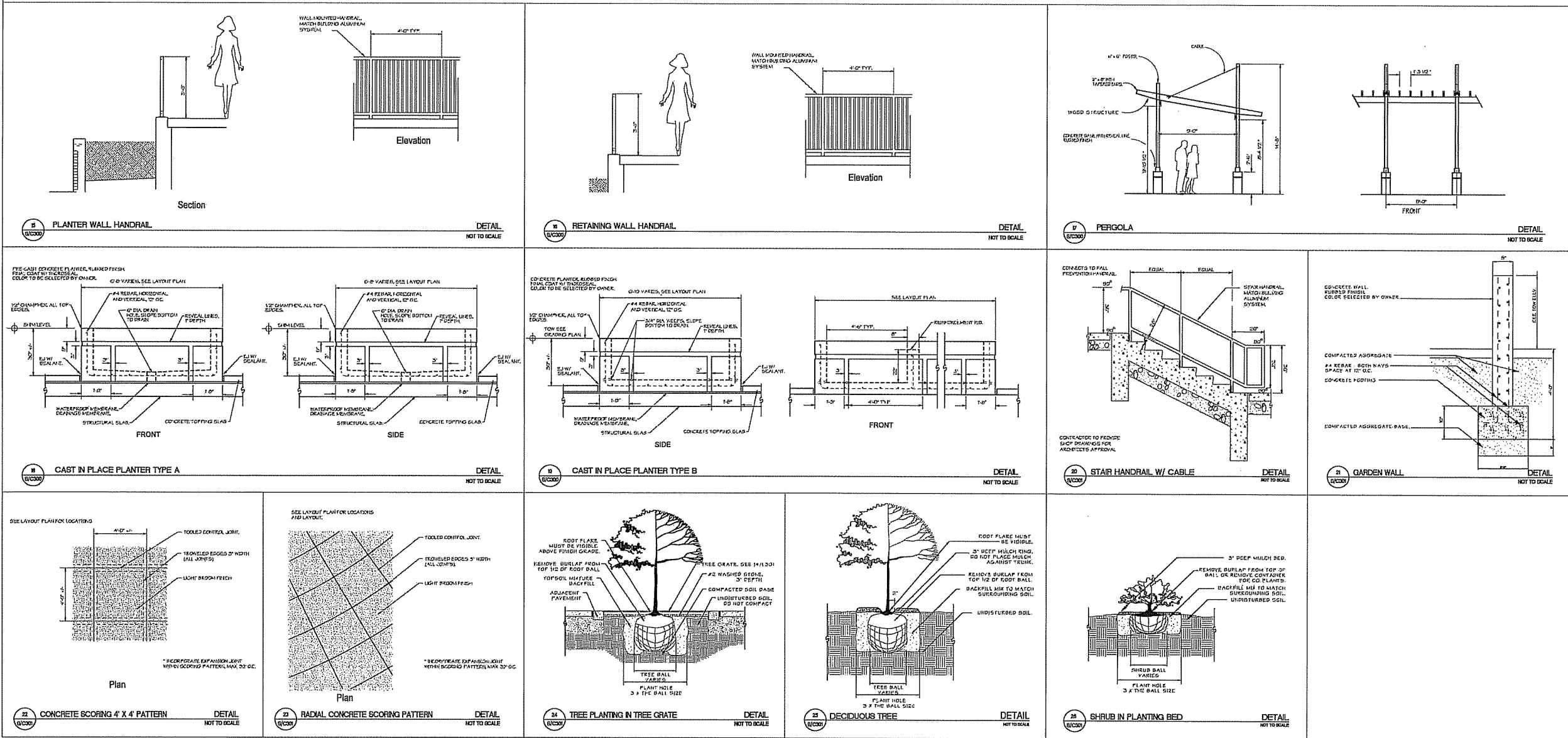
Reviewed By:
KS

Sheet Number:
S/C 300

Hilldale Redevelopment
Site Details

KEN SAIKI
DESIGN INC
LANDSCAPE
ARCHITECTS
303 S. PATERSON
SUITE 300
MADISON, WI 53703
Phone: 608 951-3400
Fax: 608 951-2330
www.ksd-la.com

HILLDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI
HILLDALE LAND COMPANY LLC



Sheet Title:
SITE DETAILS

Revisions:	No.	Date	Description	By

Project Number:	Drawn By:
	MS
Date Issued:	Reviewed By:
12-19-07	KS

Sheet Number:
S/C 301

Scale 1"=40'

0 10 20 40

A diagram of a rectangular panel, labeled "6'-0" TYP." on the left and "2'-0" TYP." on the top. The panel is divided into three vertical sections by dashed lines. Each section contains a circular feature with a crosshair inside. To the left of the panel, there is a dimension line labeled "5'-0" CLEAR SPACE" indicating the distance from the panel to the left edge of the drawing area.

Commercial	
City of Madison Requirements: 1 bike stall per 10 auto stalls for the first 50 bike stalls. Then .5 bike stalls per 10 auto stalls.	
50 bike stalls (1 per 10)	500 auto stalls
28 bike stalls (.5 per 10)	550 auto stalls
78 bike stalls total for	1,050 auto stalls

TYPE A

PLAN

GROUP LAYOUT

DETAIL

TYPE B

PLAN

SECTION

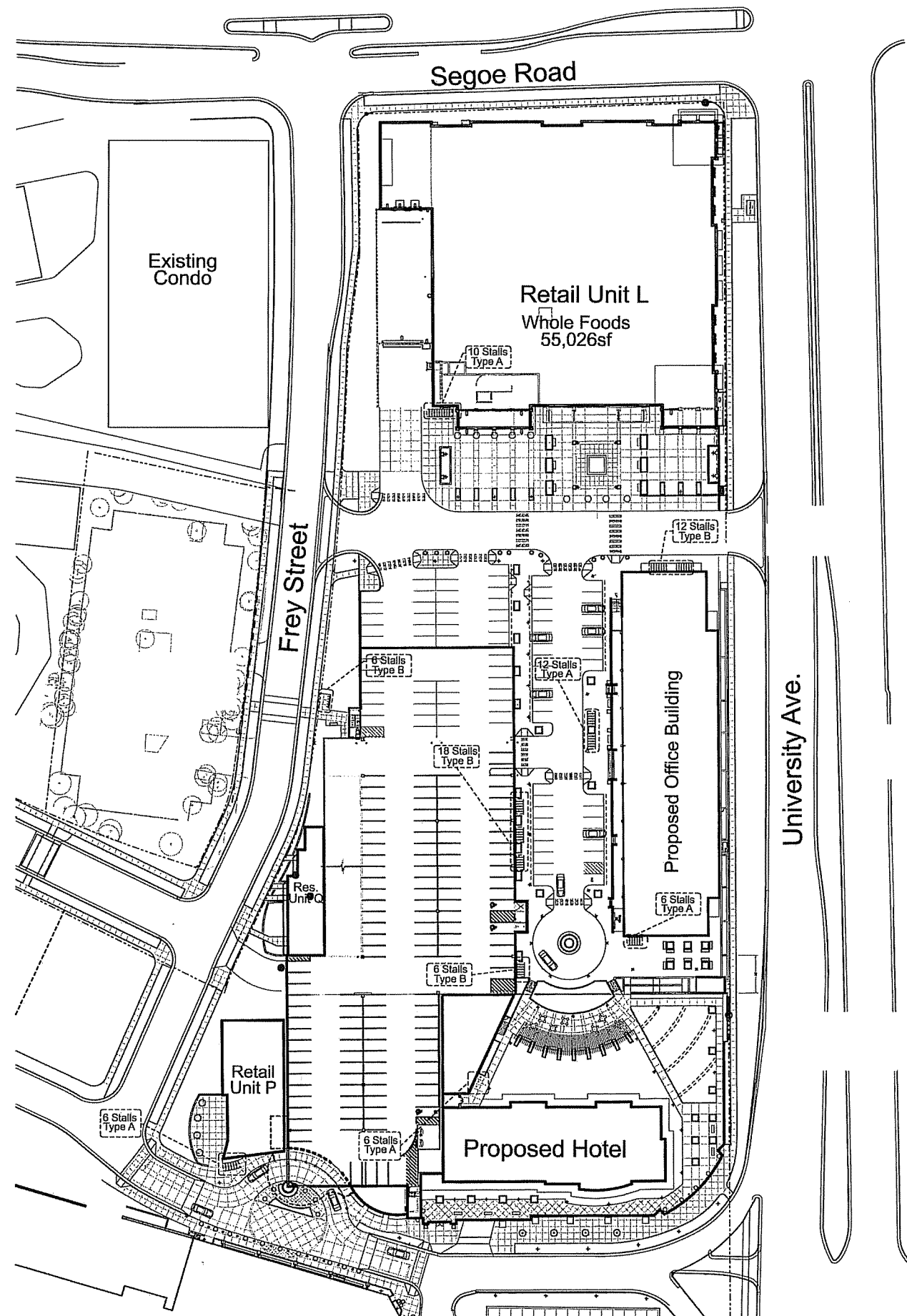
DETAIL

TYPE C

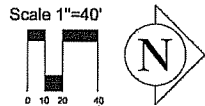
PLAN

SECTION

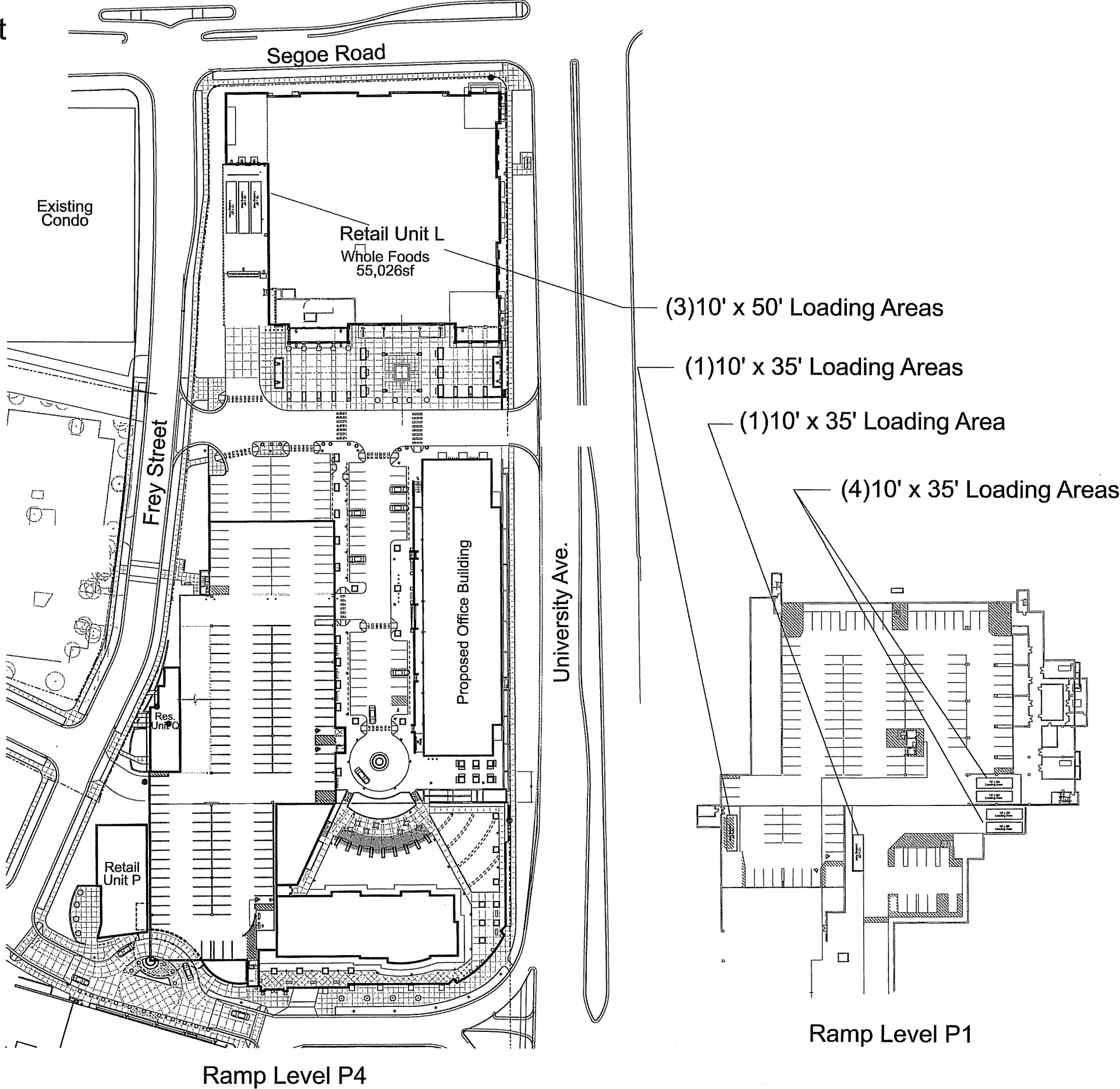
DETAIL



Hilldale Redevelopment
SIP Site Plan
Loading Areas



City of Madison Loading Area Requirements	
Loading Areas	Building
(3) 10' x 50'	Building L Grocery
(1) 10' x 35'	Building O Health Club
(1) 10' x 35'	Building P Retail
(2) 10' x 35'	Building M Commercial
(1) 10' x 35'	Building N Hotel
(1) 10' x 35'	Building O Retail
(6) 10' x 35'	Total Requirements
(3) 10' x 50'	

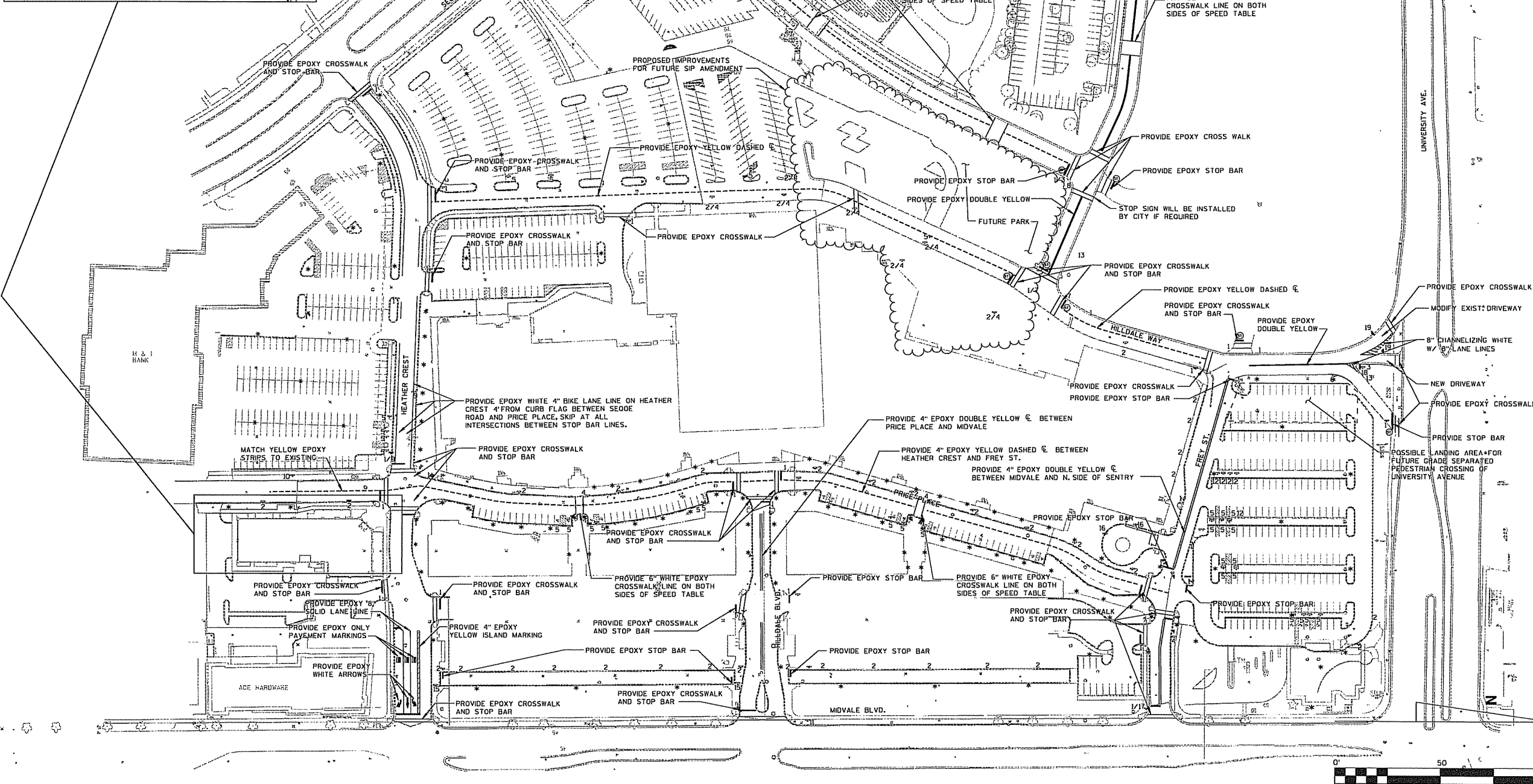
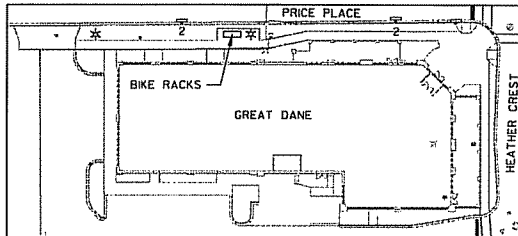


- SIGN LEGEND**
- 1 STOP
 - 2 NO PARKING FIRE LANE
 - 3 DO NOT ENTER
 - 4 STOP FOR PEDESTRIANS IN CROSSWALK
 - 5 HANDICAPPED PARKING
 - 6 STOP AHEAD
 - 7 EXIT
 - 8 ONE WAY
 - 9 BUS STOP
 - 10 2 HOUR PARKING
 - 11 PEDESTRIAN CROSSWALK
 - 12 SENIOR PARKING ONLY
 - 13 THANK YOU FOR SHOPPING AT HILDALE
 - 14 PARKING FOR HILDALE SHOPPERS ONLY
 - 15 SERVICE VEHICLES ONLY
 - 16 NO PARKING PARCEL PICK UP
 - 17 NO LEFT TURN
 - 18 KEEP RIGHT
 - 19 MERGING TRAFFIC

- LEGEND**
- ★ LIGHT POLE
 - Ⓢ STOP SIGN
 - 24" WHITE EPOXY STOP BAR
 - 6" WHITE EPOXY CROSSWALK
 - 4" YELLOW EPOXY CENTERLINE
 - == 4" DOUBLE YELLOW EPOXY CENTERLINE

- NOTES:**
- 1) PAINT MARKINGS AND SIGNAGE AS APPROVED BY THE CITY TRAFFIC ENGINEER.
 - 2) ALL PAVEMENT MARKING SHALL BE EPOXY AND MAINTAINED BY THE OWNER
 - 3) STOP BARS AND STOP SIGNS TO BE LOCATED AT CURB RADI AND P.C. UNLESS OTHERWISE DIRECTED. CROSSWALKS AND CURB RAMPS SHALL BE LOCATED 4' BEHIND STOP BAR, TYP.
 - 4) ALL WORK PROPOSED IN THE RIGHT OF WAY IS NOT BEING APPROVED AS PART OF THE PUD(CDP-SIP). ALL WORK IN THE RIGHT OF WAY IS APPROVED SEPARATE BY THE BOARD OF PUBLIC WORKS, CITY OF MADISON
 - 5) PROFILE OF ADA RAMP COVERING 29C & 29U WILL COME WITH SIP #3
 - 6) CITY TO RESTRICT TRUCKS ON SAWYER TERRACE

NOTE: J.F.A. AGREEMENT W/CITY REAL ESTATE FOR HILDALE ITEMS IN PUBLIC STREET R/W



STRAND ASSOCIATES, INC. ENGINEERS

910 West Wingra Drive
Madison, WI 53715
608 251-4843
608 251-8655 FAX
www.strand.com

HILDALE SHOPPING CENTER

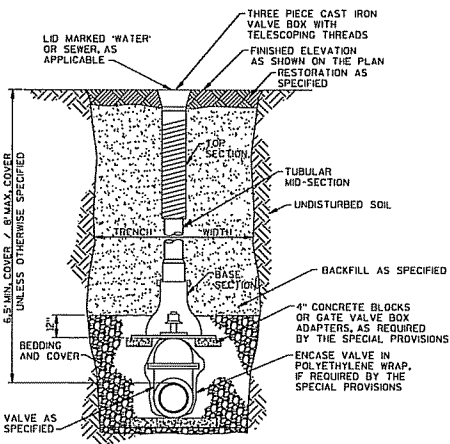
702 N. MIDVALE BOULEVARD
MADISON, WI

HILDALE LAND COMPANY LLC

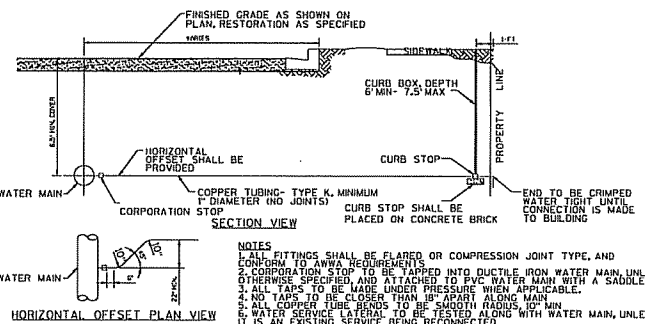
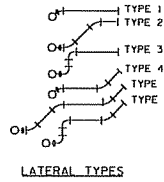
OVERALL PAVEMENT MARKING

No.	Date	Description	By

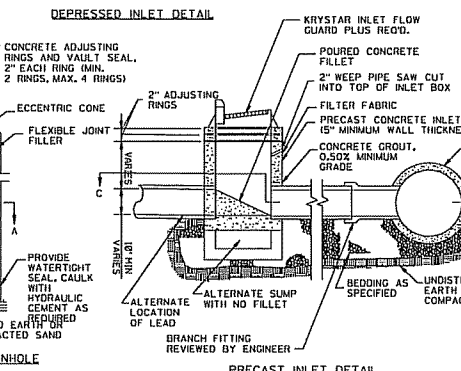
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Date Issued: 12/19/07 Reviewed By: _____
Sheet Number: **EX 400**



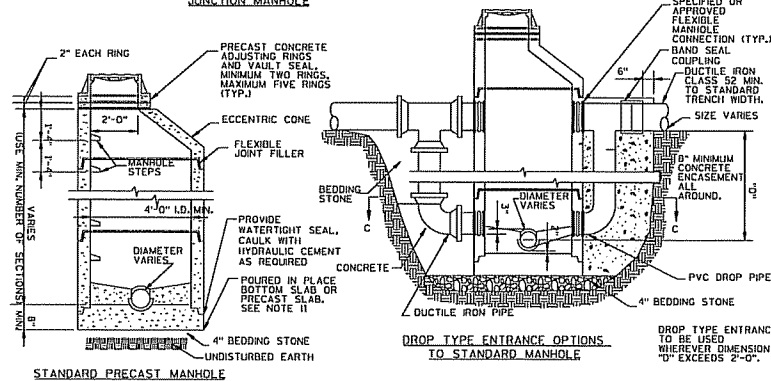
GATE VALVE ASSEMBLY

RESIDENTIAL WATER SERVICE

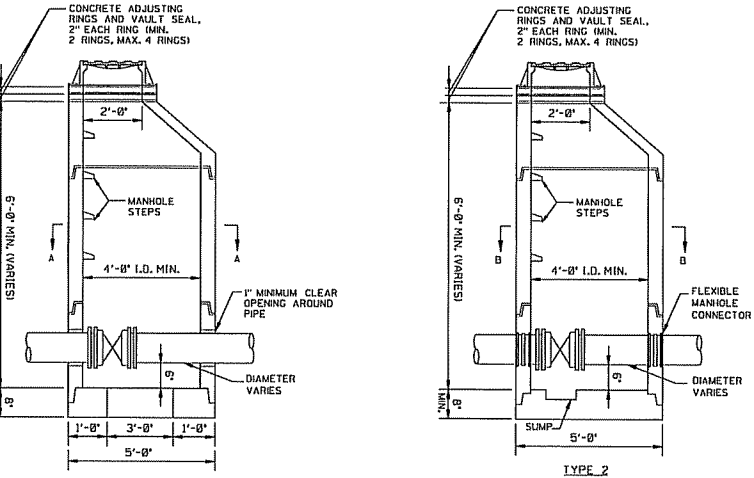
LATERAL TYPES



STORM SEWER APPURTANCES



SANITARY SEWER APPURTANCES



WATER MAIN VALVE MANHOLES

NOTES

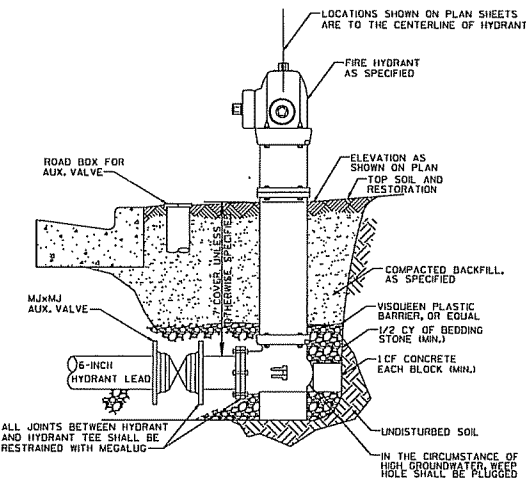
1. DETAILS RELATIVE TO ITEMS SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.
2. VARIATIONS IN DIMENSIONS AND DESIGN MAY BE PERMISSIBLE, PROVIDING EQUIVALENT CAPACITY AND STRENGTH ARE ATTAINED.
3. ALL CONCRETE FLEETS SHALL BE HAND TROWELED WITH A 1/4" FT. SLOPE.
4. INSIDE DIMENSIONS FOR KANNOLES:
MINIMUM 4" DIAMETER FOR SEWER LESS THAN 18" IN DIAMETER; USE MINIMUM 5" DIAMETER FOR SEWER 18" THRU 24" IN DIAMETER; USE MINIMUM 6" DIAMETER OR MINIMUM 6" SQUARE FOR SEWER OVER 24" IN DIAMETER.

INSIDE DIA.	DEPTH	REINF.
4'	≤ 30'	#3@8"
5'	≤ 20'	#3@8"
5'	20'-30'	#4@10"
6'	≤ 20'	#4@10"
6'	20'-25'	#4@8"
6'	25'-30'	#4@6"

12. FLAT SLABS SHALL BE PROVIDED IN SHALLOW DEPTH SITUATIONS IN LIEU OF ECCENTRIC CONES.

NOTES

1. DETAILS RELATIVE TO ITEMS SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE SPECIFICATIONS.
2. VARIATIONS IN DIMENSIONS AND DESIGN MAY BE PERMISSIBLE PROVIDING EQUIVALENT CAPACITY AND STRENGTH ARE ATTAINED.
3. WHEN ANY STRUCTURE IS CONSTRUCTED OF CONCRETE, CONCRETE BLOCK OR REINFORCED CONCRETE, THE TOP OF THE MASONRY SHALL BE LEFT SUFFICIENTLY LOW TO PERMIT PROPER ADJUSTMENT OF COVER TO GRADE.
4. REINFORCED PRECAST SLAB SHALL BE USED IN LIEU OF PRECAST ECCENTRIC CORE WHEN SHOWN ON THE DRAWINGS AND SHALL BE DESIGNED FOR H-20 TRUCK LOADING.



HYDRANT INSTALLATION

13. ALL INLETS TO BE PROVIDED WITH KRISTAR ENTERPRISES, INC. FLO-GARD PLUS CATCH BASIN FILTER INSERT

NOTES:

1. TYPE 1 OR 2 MANHOLE SHALL BE INSTALLED AS SHOWN ON THE DRAWINGS. TYPE 2 MANHOLE SHALL BE MADE OF WATER-AND SOIL-RESISTANT URETHANE WHEN NORMAL GROUND WATER LINE IS ABOVE BOTTOM SLAB.
2. VARIATION IN DIMENSIONS AND DESIGN MAY BE PERMISSIBLE PROVIDING EQUIVALENT CAPACITY AND STRENGTH ARE ATTAINED.
3. WHEN ANY STRUCTURE IS CONSTRUCTED OF CONCRETE, CONCRETE BLOCK, OR REINFORCED CONCRETE CULVERT PIPE, THE TOP OF THE MASONRY SHALL BE LEFT SUFFICIENTLY LOW TO PERMIT PROPER APPLICATION OF COVER TO GRADE BY THE USE OF MORTAR.
4. CONCRETE BLOCK MANHOLES REVEALED BY THE MANHOLE WILL BE PERMITTED AS AN ALTERNATE BACK PLASTER OUTSIDE OF ALL CONCRETE BLOCK, CONCRETE BLOCK MANHOLES SHALL BE 2 BLOCKS THICK DOWR DEPTHS OF 10 FEET.

The logo for Strand Associates, Inc. features a large, stylized 'SA' monogram. Below the monogram, the text 'STRAND ASSOCIATES, INC.' is written in a bold, sans-serif font, followed by 'ENGINEERS' in a slightly smaller, similar font.

910 West Wingra Drive
Madison, WI 53715
608 251-4843
608 251-8655 FAX
www.strand.com

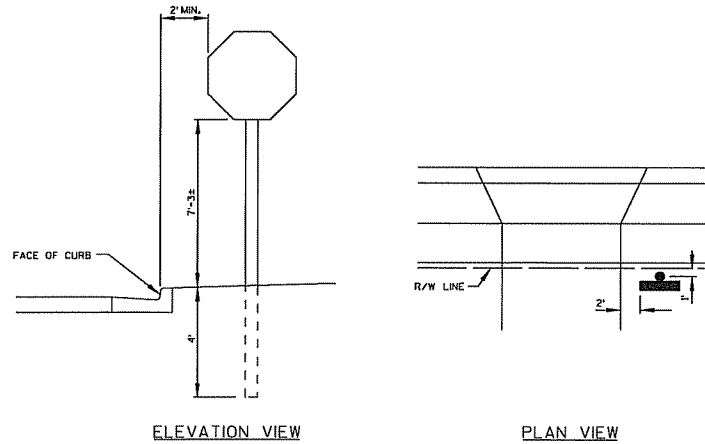
MIDVALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI
HILLDALE LAND COMPANY LLC

STREET AND UTILITY DETAILS

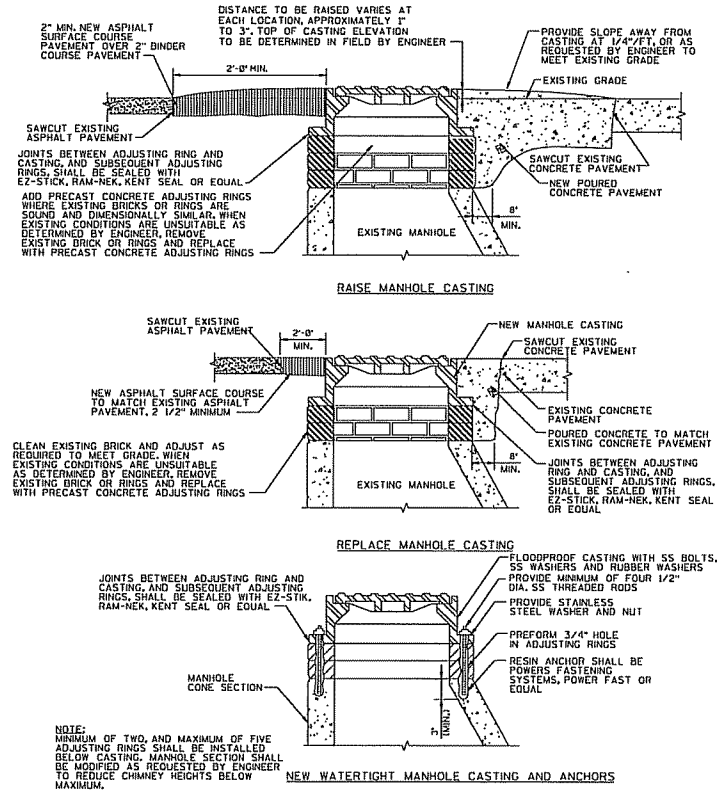
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Project Number:	Drawn By:
	x
Date Issued:	Reviewed By:
12/18/07	x

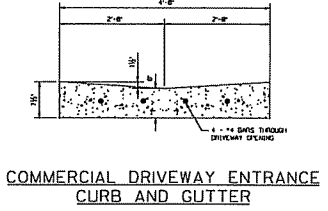
S/C 400



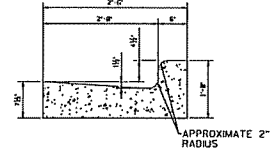
TYPICAL STOP SIGN PLACEMENT



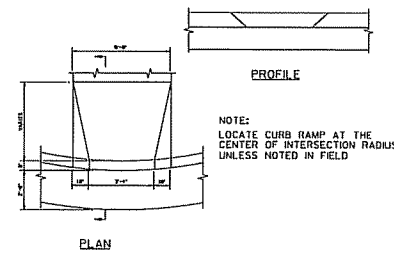
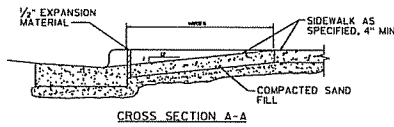
MANHOLE CASTING ADJUSTMENTS



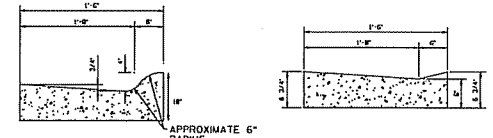
COMMERCIAL DRIVEWAY ENTRANCE CURB AND GUTTER



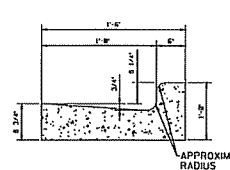
30" CURB AND GUTTER



CURB RAMP DETAIL

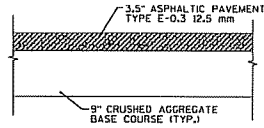
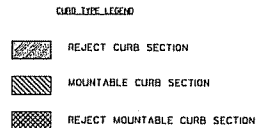


4" MOUNTABLE CURB

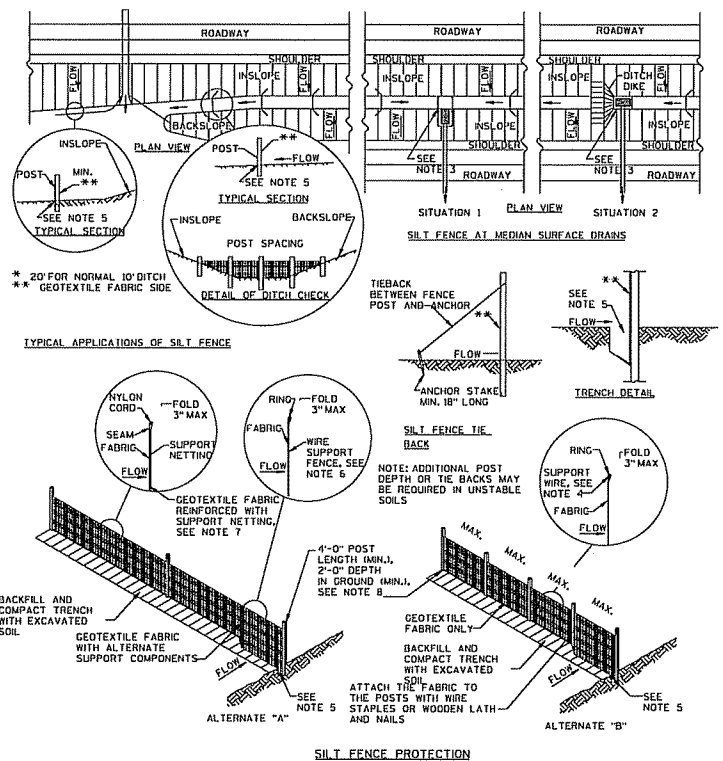


18" CURB AND GUTTER

NOTE: ALL TOC GRADES ARE GIVEN FOR A STANDARD CURB SECTION. ALL CURB AND GUTTER IS REJECT SECTION UNLESS OTHERWISE NOTED.

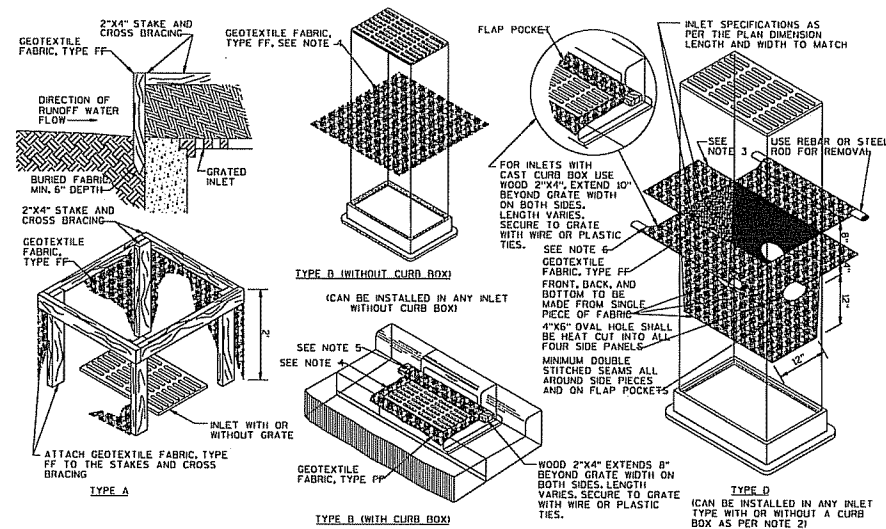


TYPICAL PAVEMENT STRUCTURE



SILT FENCE PROTECTION

- NOTES:
1. DETAILS OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPLICABLE SPECIAL PROVISIONS.
 2. WHEN POSSIBLE THE SILT FENCE SHOULD BE CONSTRUCTED IN AN ARC OR HORSESHOE SHAPE, WITH THE ENDS POINTING UPSLOPE TO MAXIMIZE BOTH STRENGTH AND EFFECTIVENESS.
 3. CROSS BRACE WITH 2"x4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS.
 4. MINIMUM 14 GAGE WIRE REQUIRED, FOLD FABRIC 3" OVER THE WIRE AND STAPLE OR PLACE WIRE RINGS ON 12" C-C.
 5. EXCAVATE TRENCH A MINIMUM OF 4" WIDE AND 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
 6. WIRE SUPPORT FENCE SHALL BE 14 GAGE MINIMUM WOVEN WIRE WITH A MAXIMUM MESH SPACING OF 6". SECURE TOP OF GEOTEXTILE FABRIC TO TOP OF FENCE WITH STAPLES OR WIRE RINGS AT 12" C-C.
 7. GEOTEXTILE FABRIC SHALL BE REINFORCED WITH AN INDUSTRIAL POLYPROPYLENE NETTING WITH A MAXIMUM MESH SPACING OF 1/4" OR EQUAL. A HEAVY DUTY NYLON TOP SUPPORT CORD OR EQUIVALENT IS REQUIRED.
 8. STEEL POSTS SHALL BE STUDDED "TEE" OR "U" TYPE WITH A MINIMUM WEIGHT OF 12 LBS/LINEAR FOOT WITHOUT ANCHORS, OR ANCHORS SUFFICIENT TO RESIST POST MOVEMENT ARE REQUIRED. WOOD POSTS SHALL BE A MINIMUM SIZE OF 4" DIAMETER, OR 2 1/2" X 3 1/2". EXCEPT WOOD POSTS FOR GEOTEXTILE FABRIC REINFORCED WITH NETTING SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OAK OR HICKORY.
 9. ALTERNATES A AND B ARE EQUAL AND EITHER MAY BE USED.

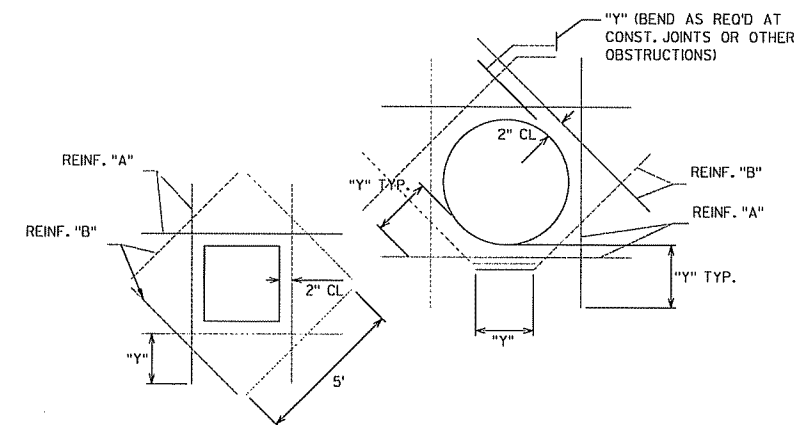
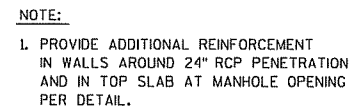
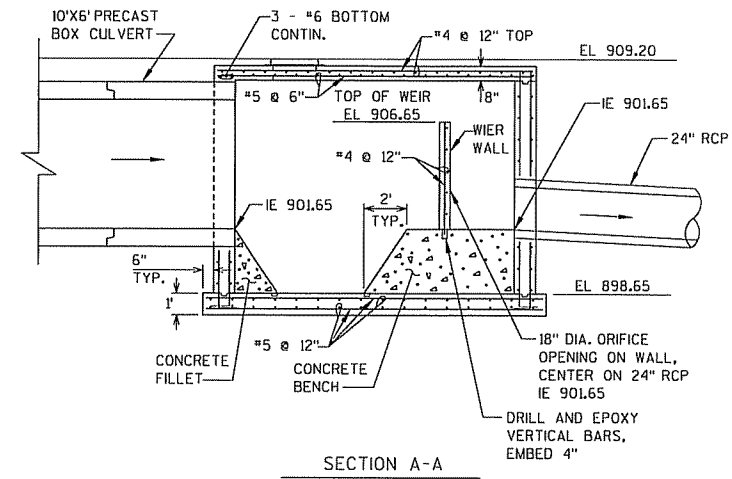


- NOTES:
1. INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.
 2. MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
 3. WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
 4. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND 4' TO THE STAKES AND CROSS BRACING. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
 5. FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
 6. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2"x4".
 7. FOR TYPES B AND C, 10" EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.
 8. TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL HAVE A MINIMUM SIDE CLEARANCE BETWEEN THE INLET BAG AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3".

INLET PROTECTION

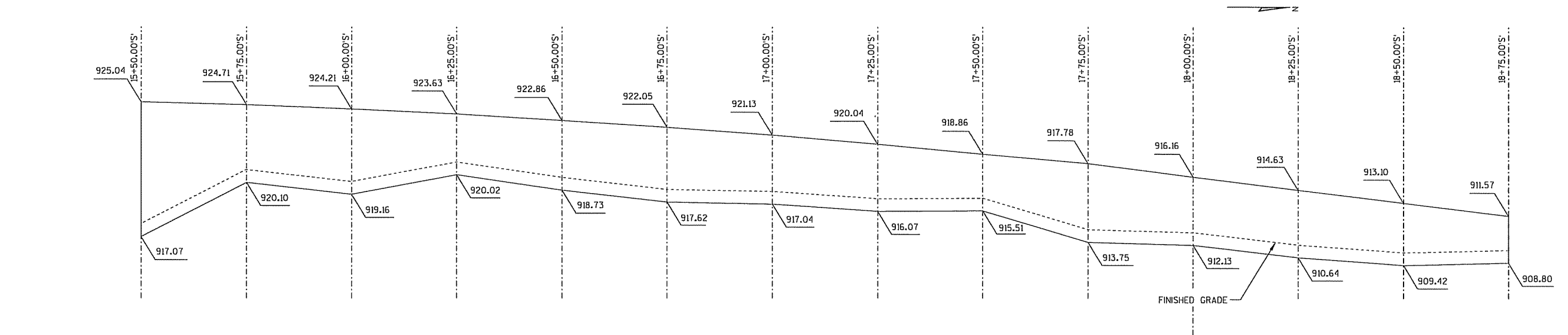
Revisions	No.	Date	Description	By

Project Number:	Drawn By:
x	x
Date Issued:	Reviewed By:
x 12/19/07	x

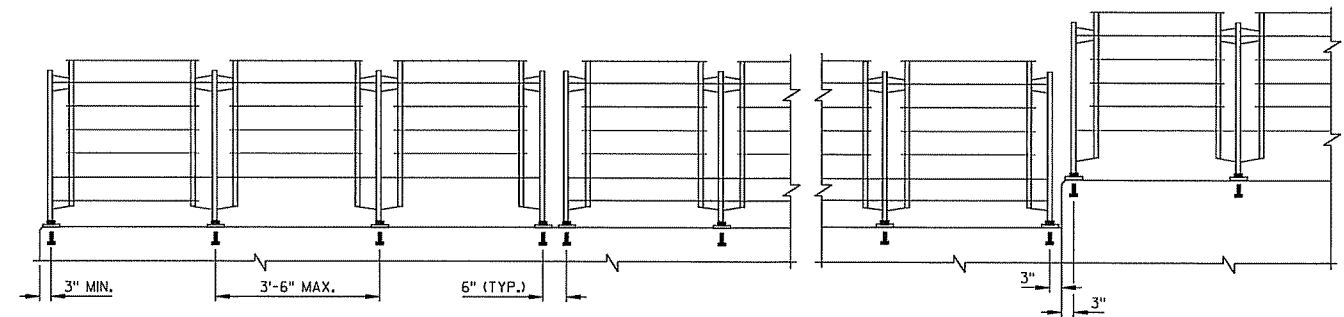
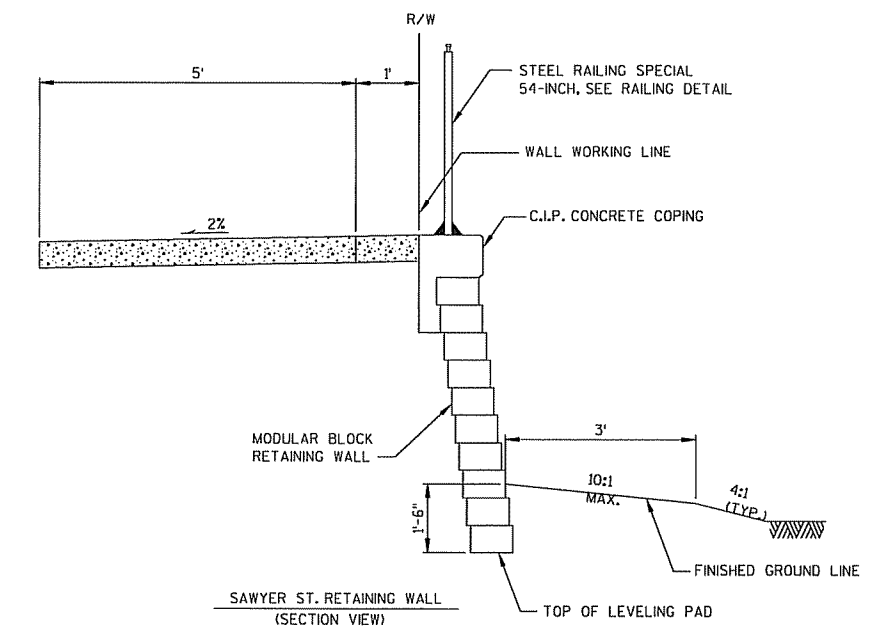
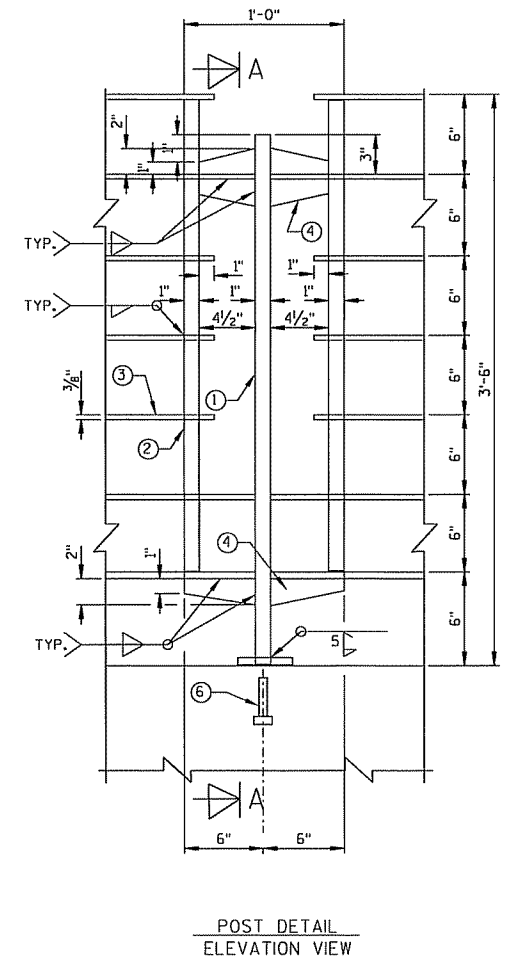
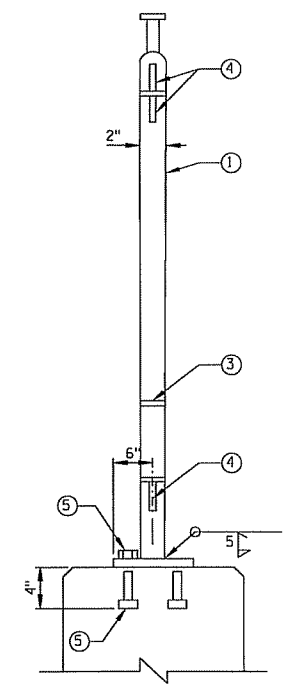
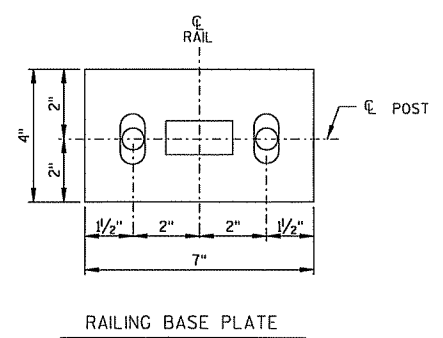
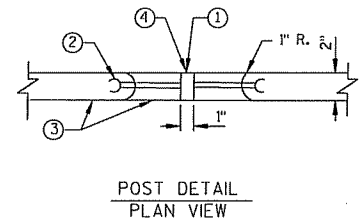
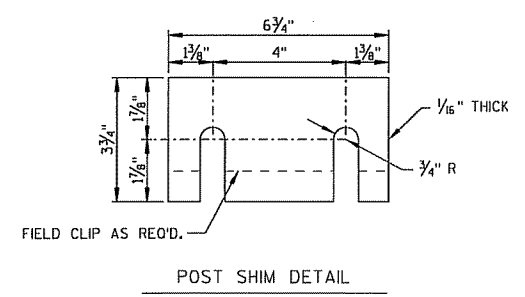


NOTES:

1. MOVE REINF. MAX. OF 2" TO CLEAR OPENING, CUT REMAINING BAR THROUGH OPENING. WHERE REINF. MUST BE CUT, ADD REINF. "A" AT LEAST EQUAL IN AREA TO THAT WHICH WAS CUT AND EXTEND BEYOND OPENING DISTANCE "Y".
2. DIAGONAL BARS "B" TO BE PLACED: A. AT $\frac{1}{4}$ OF WALL WHERE ONE LAYER OF REINF. IS PROVIDED. B. AT EACH FACE OF WALL WHERE TWO LAYERS OF REINF. ARE PROVIDED. C. AT TOP & BOTTOM OF ALL SLABS.
3. UNLESS OTHERWISE NOTED, SIZE OF REINF. "B" SHALL BE THE SIZE OF THE LARGEST REINF. BAR CUT.
4. Y = CLASS B LAP
5. THIS DETAIL IS TO BE USED WHEN NO OTHER DETAIL IS SPECIFIED.
6. MINIMUM REINF. "A" & "B" AROUND ANY AND ALL OPENINGS SHALL BE #4.



SAWYER ST. RETAINING WALL
(ELEVATION VIEW)



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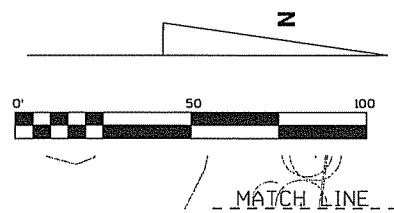
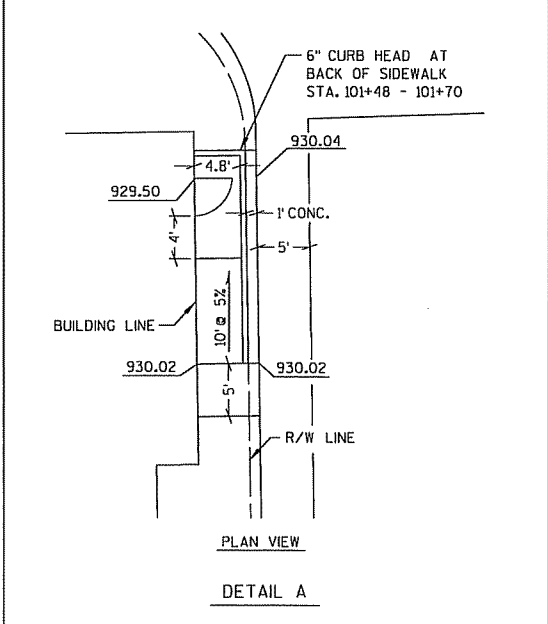
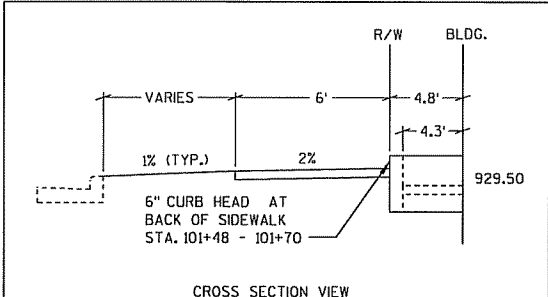
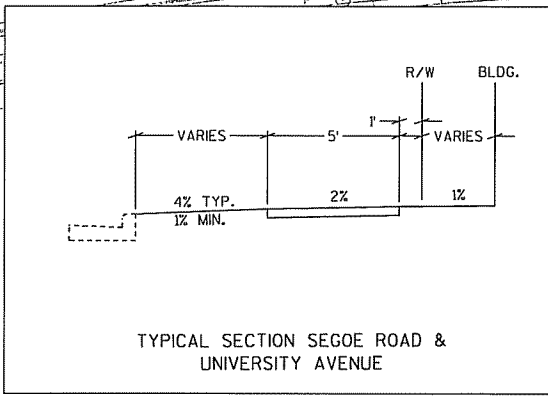
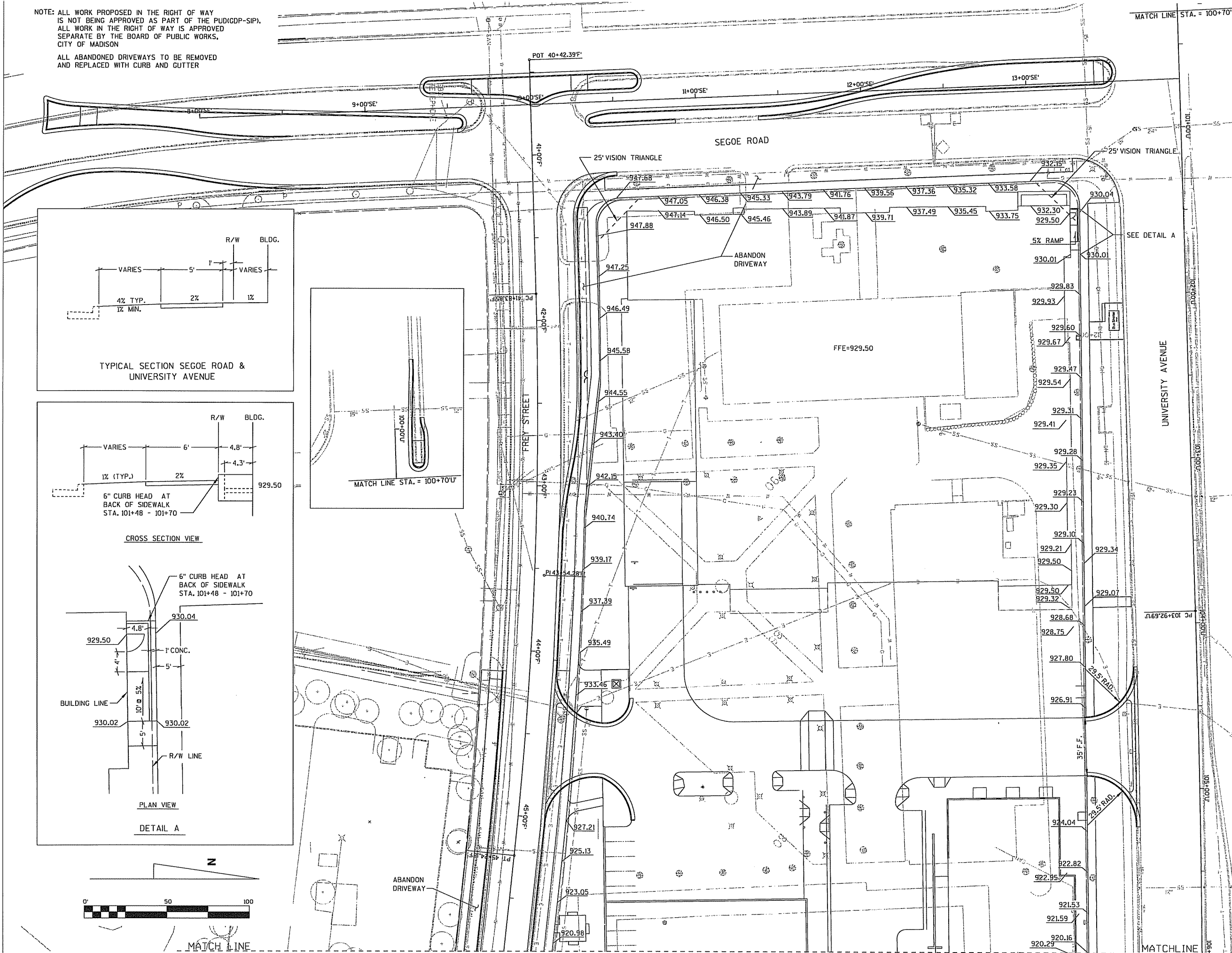
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ALL ABANDONED DRIVEWAYS TO BE REMOVED AND REPLACED WITH CURB AND GUTTER



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Sheet Title

SITE GRADING WEST

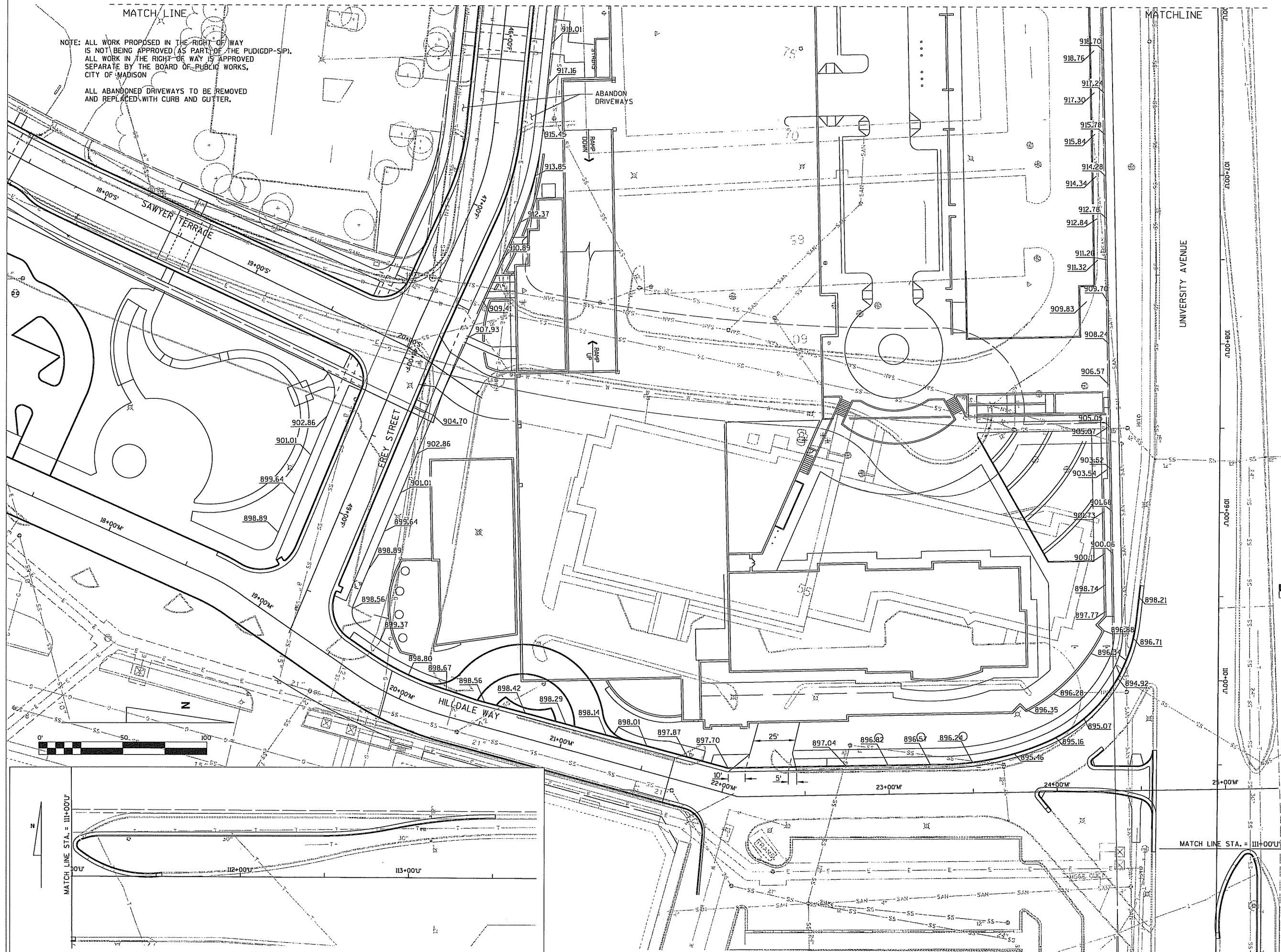
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SITE GRADING
EAST

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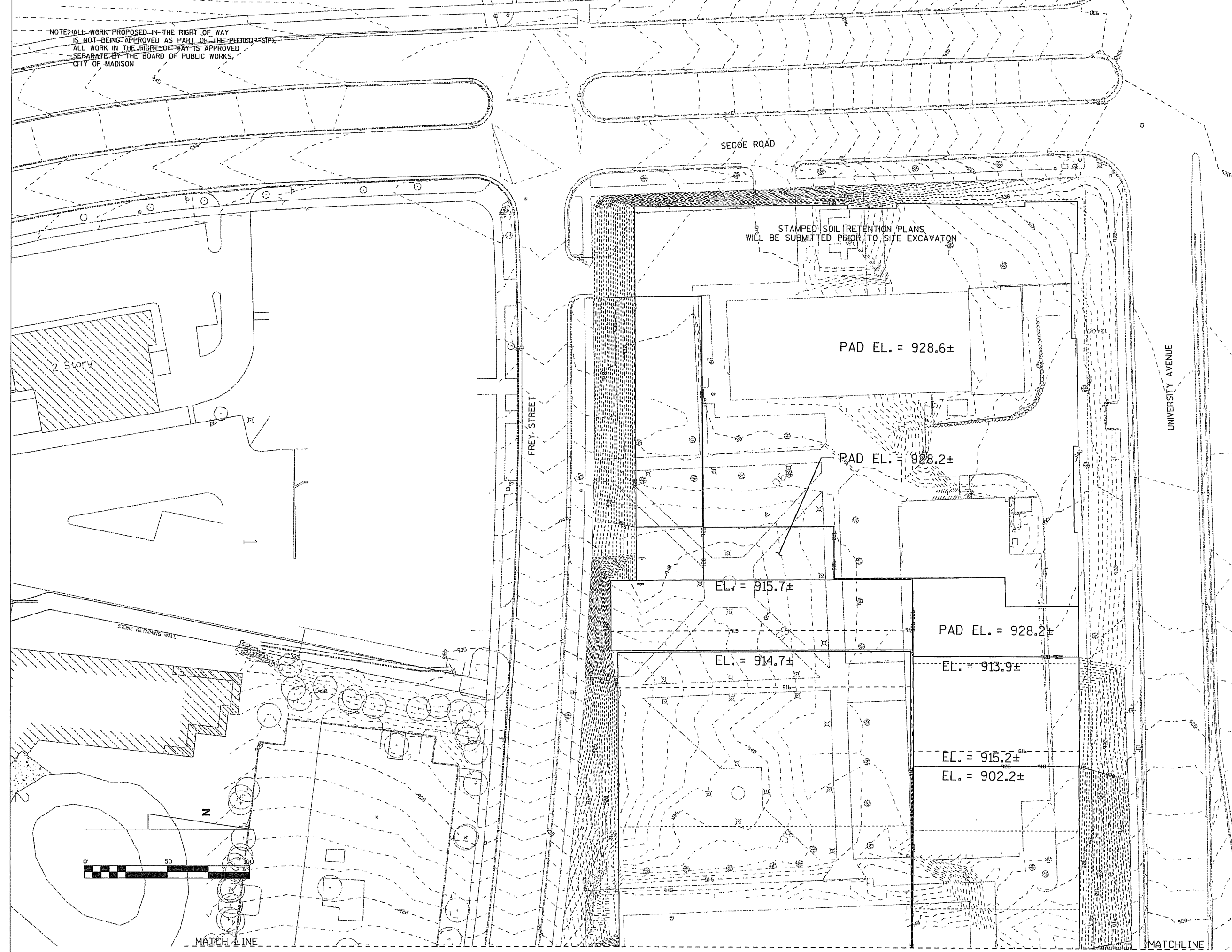
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**MASS
SITE GRADING
WEST**

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No.	Date	Description	By

Project Number	Drawn By
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Sheet Number:
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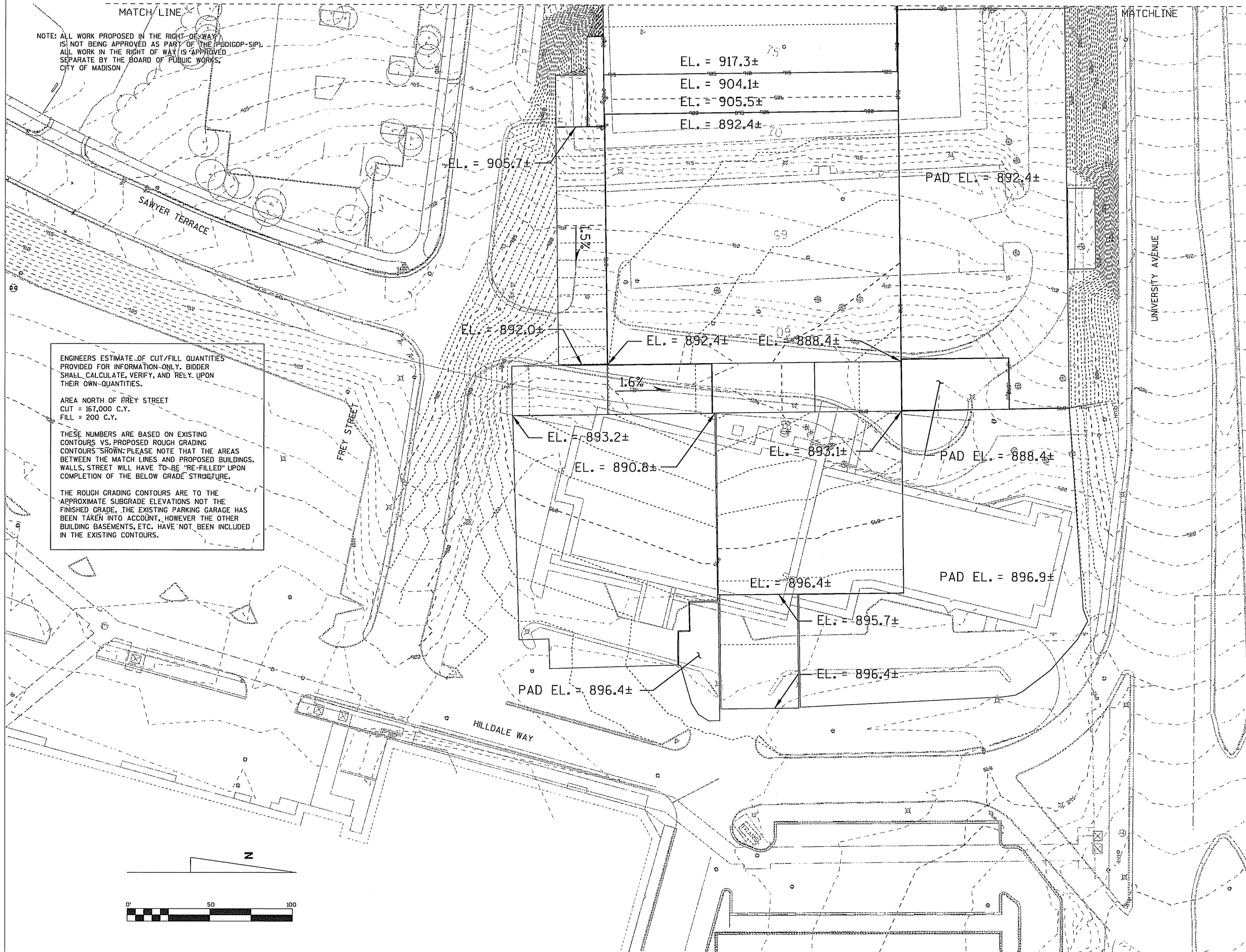
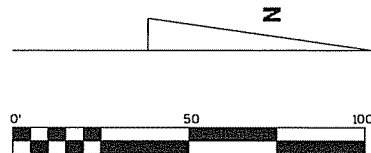
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ENGINEERS ESTIMATE OF CUT/FILL QUANTITIES PROVIDED FOR INFORMATION ONLY. BIDDER SHALL CALCULATE, VERIFY, AND RELY UPON THEIR OWN QUANTITIES.

AREA NORTH OF FREY STREET
CUT = 167,000 C.Y.
FILL = 200 C.Y.

THESE NUMBERS ARE BASED ON EXISTING CONTOURS VS. PROPOSED ROUGH GRADING CONTOURS SHOWN. PLEASE NOTE THAT THE AREAS BETWEEN THE MATCH LINES AND PROPOSED BUILDINGS, WALLS, STREET WILL HAVE TO BE "RE-FILLED" UPON COMPLETION OF THE BELOW GRADE STRUCTURE.

THE ROUGH GRADING CONTOURS ARE TO THE APPROXIMATE SUBGRADE ELEVATIONS NOT THE FINISHED GRADE. THE EXISTING PARKING GARAGE HAS BEEN TAKEN INTO ACCOUNT, HOWEVER THE OTHER BUILDING BASEMENTS, ETC. HAVE NOT BEEN INCLUDED IN THE EXISTING CONTOURS.



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SOIL EROSION CONTROL NOTES:

1. SILT FENCE, STONE TRACKING PADS, AND TEMPORARY SEDIMENT BASINS SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE.
2. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED AS REQUESTED BY ENGINEER OR GOVERNING AGENCY.
3. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS FOLLOWING STABILIZATION OF DRAINAGE AREAS. TEMPORARY SEDIMENT BASINS SHALL BE RESTORED UPON GRASS ESTABLISHMENT OVER THE SITE.
4. ALL PROPOSED EROSION CONTROL MEASURES AND STRUCTURES MUST BE INSPECTED AT LEAST WEEKLY AND WHENEVER 0.5 INCHES OF RAIN IS PRODUCED WITHIN 24 HOURS. NECESSARY MAINTENANCE SHALL FOLLOW THE INSPECTIONS WITHIN 24 HOURS.
5. FOR THE FIRST SIX WEEKS AFTER INITIAL STABILIZATION OF A DISTURBED AREA, THE CONTRACTOR SHALL MAKE PROVISIONS FOR WATERING WHENEVER MORE THAN 7 DAYS OF DRY WEATHER ELAPSE.
6. CONTRACTOR SHALL PROVIDE WDOT TYPE D "CATCH ALL" INLET PROTECTION OR EQUIVALENT AT ALL CURB INLETS AND CATCH BASINS. INLET PROTECTION SHALL BE INSTALLED PRIOR TO THE STORM SEWER SYSTEM RECEIVING RUNOFF. OTHER THAN FOR PERFORMING MAINTENANCE, INLET PROTECTION DEVICES SHALL NOT BE REMOVED UNTIL FINAL STABILIZATION IS COMPLETE.
7. THE CONTRACTOR SHALL COLLECT TRACKED MATERIAL FROM PUBLIC STREETS AT THE END OF EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE VILLAGE.
8. TEMPORARY STONE TRACKING PADS SHALL BE INSTALLED ACCORDING TO WDNR STANDARD 1057. TEMPORARY STONE TRACKING PAD SHALL BE A MINIMUM OF 50' LONG X 12" THICK CONSISTING OF 3 TO 6 INCH CLEAR OR WASHED STONE. SHALL BE FULL WIDTH OF THE EGRESS POINT.
9. STABILIZE (E.G., SEED & MULCH, COMPOST, EROSION MAT, POLYMER) ALL DISTURBED AREAS OUTSIDE OF STREET RIGHT-OF-WAY BEFORE BREAKING GROUND IN THE NEXT ZONE. STABILIZATION SHALL OCCUR WITHIN 7 DAYS OF ACHIEVING FINAL GRADE. MULCH AS PART OF A STABILIZATION MEASURE SHALL BE APPLIED TO PRODUCE A CONTINUOUS COVER OF MULCH AND SHALL BE ANCHORED AT A RATE OF 2 TONS PER ACRE. IN ALL CASES, THE MULCH MUST BE ANCHORED INTO THE SOIL BY DISKING.

0 50 100

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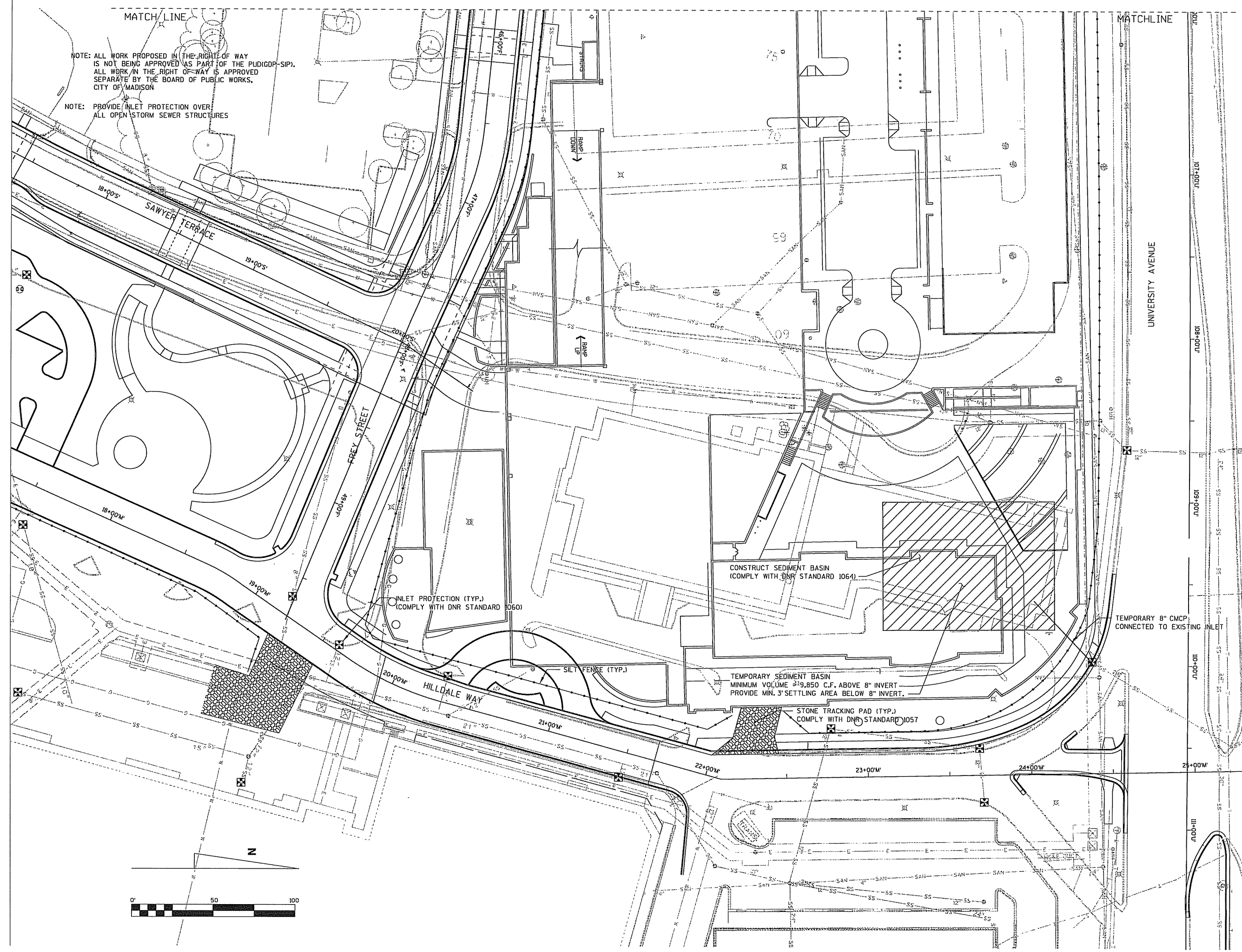
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EROSION CONTROL
WEST

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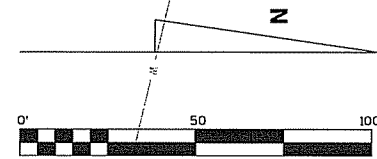
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NOTE: PROVIDE INLET PROTECTION OVER ALL OPEN STORM SEWER STRUCTURES





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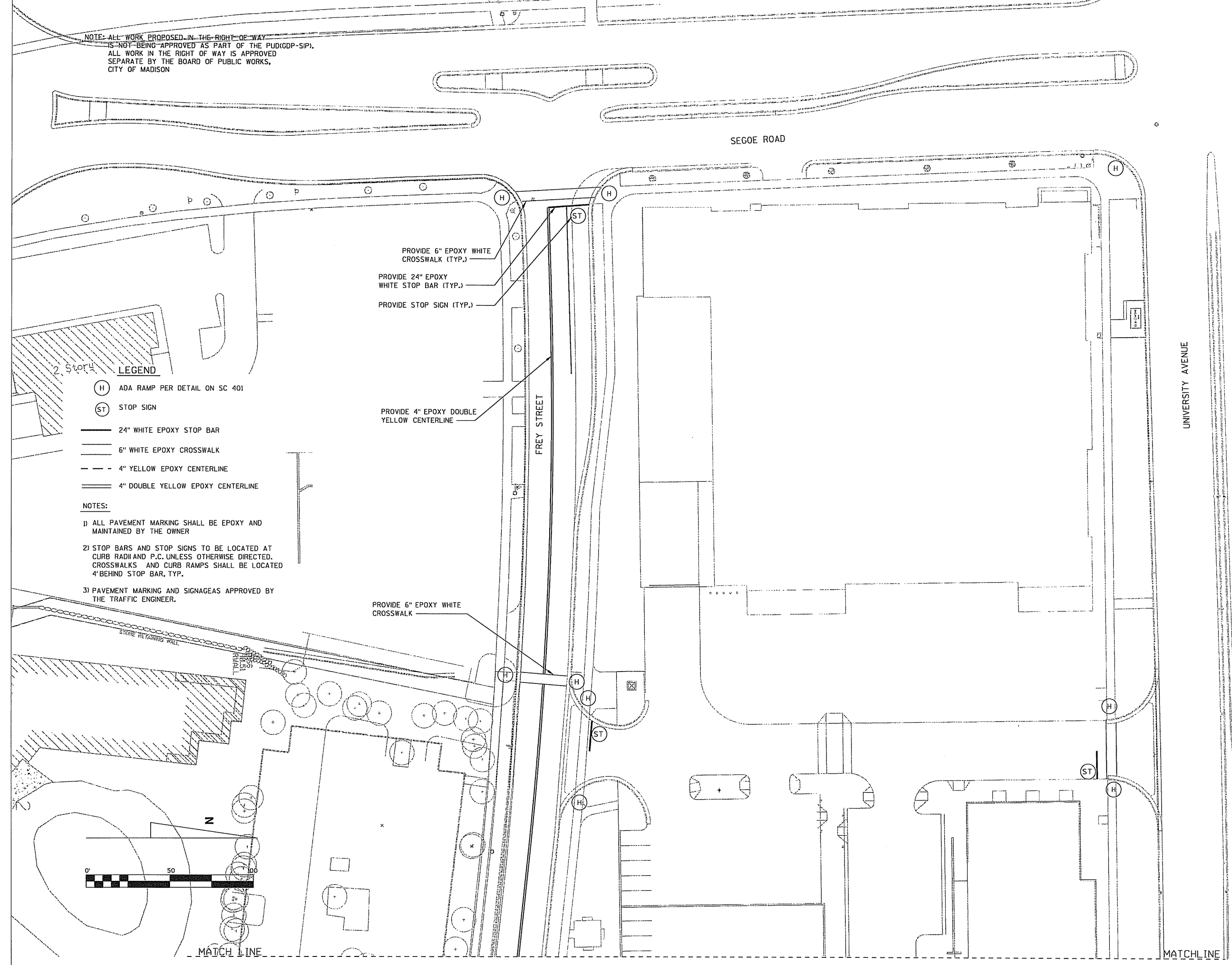
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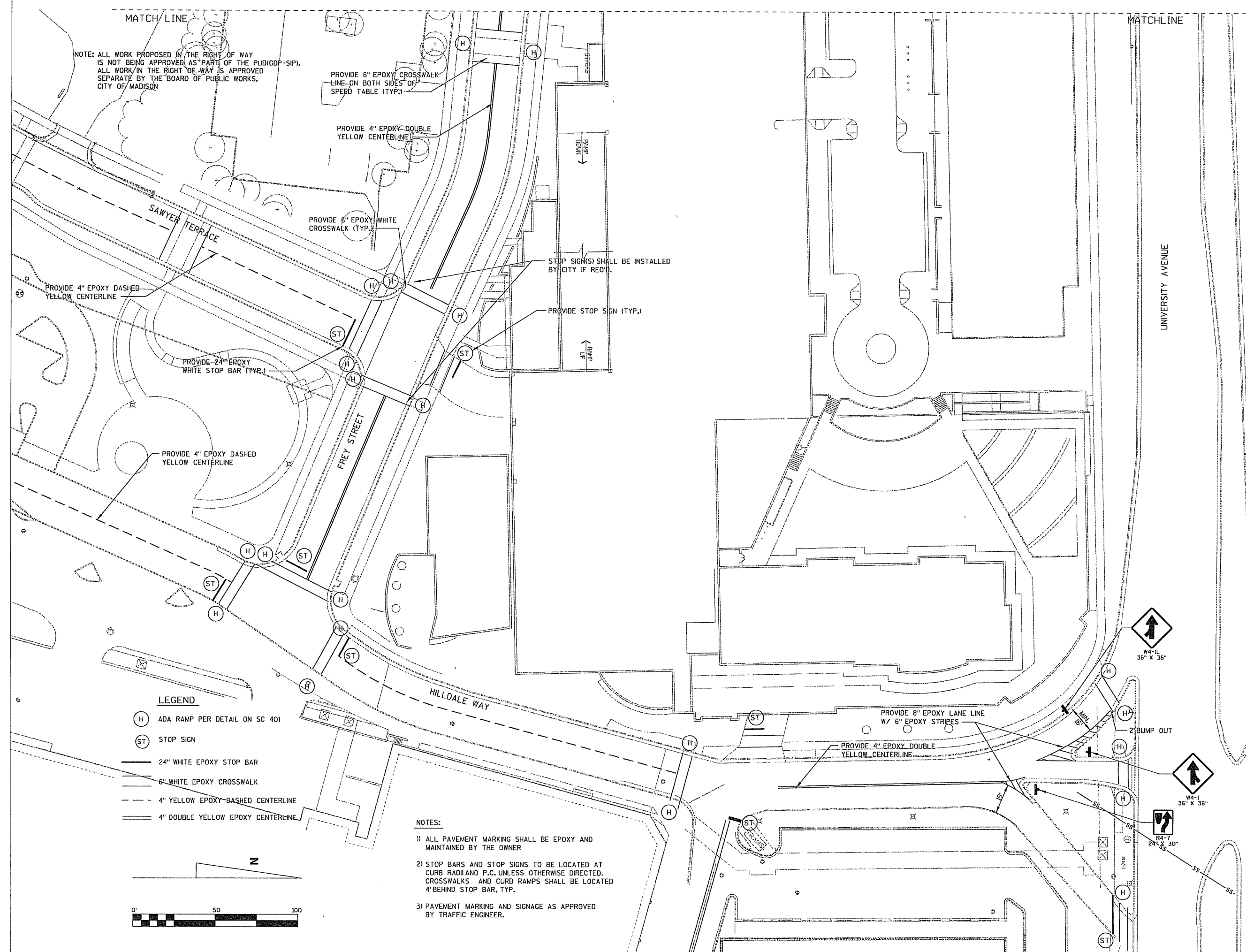
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PAVEMENT MARKING & SIGNAGE WEST

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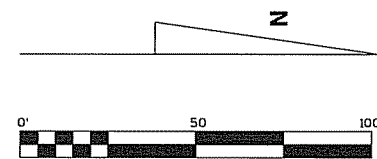
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- LEGEND**
- (H) ADA RAMP PER DETAIL ON SC 401
 - (ST) STOP SIGN
 - 24" WHITE EPOXY STOP BAR
 - 6" WHITE EPOXY CROSSWALK
 - 4" YELLOW EPOXY DASHED CENTERLINE
 - 4" DOUBLE YELLOW EPOXY CENTERLINE



- NOTES:**
- 1) ALL PAVEMENT MARKING SHALL BE EPOXY AND MAINTAINED BY THE OWNER
 - 2) STOP BARS AND STOP SIGNS TO BE LOCATED AT CURB RADIUS AND P.C. UNLESS OTHERWISE DIRECTED. CROSSWALKS AND CURB RAMPS SHALL BE LOCATED 4' BEHIND STOP BAR, TYP.
 - 3) PAVEMENT MARKING AND SIGNAGE AS APPROVED BY TRAFFIC ENGINEER.



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PAVEMENT MARKING & SIGNAGE EAST

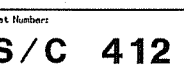
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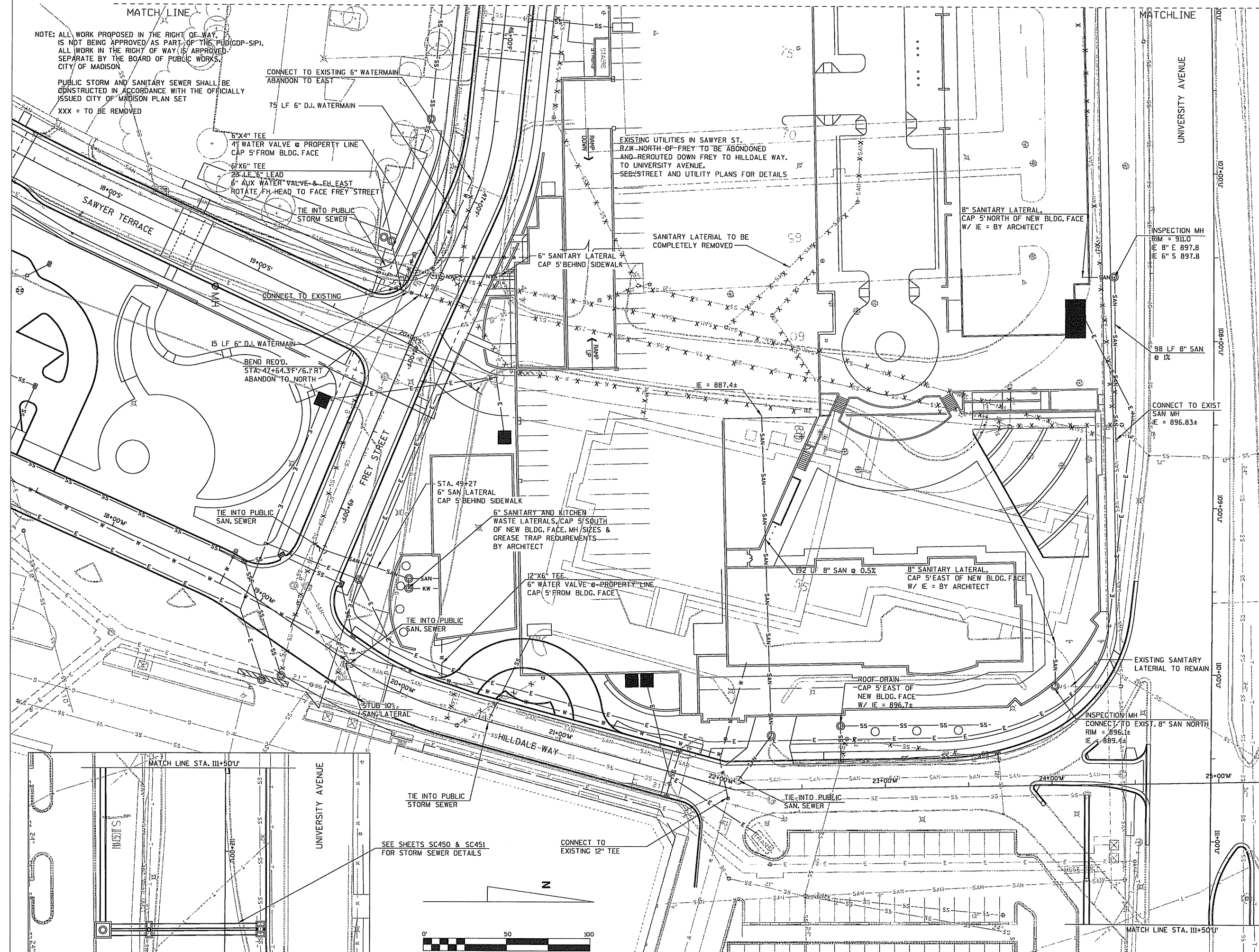
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121 LF 10" O.D. WATERMAIN

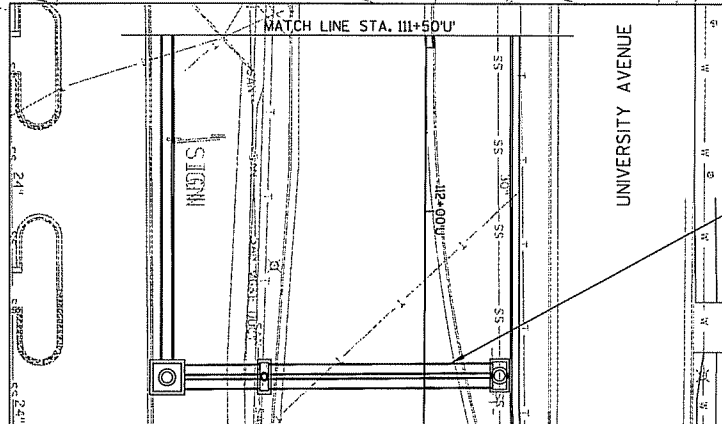




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XXX = TO BE REMOVED



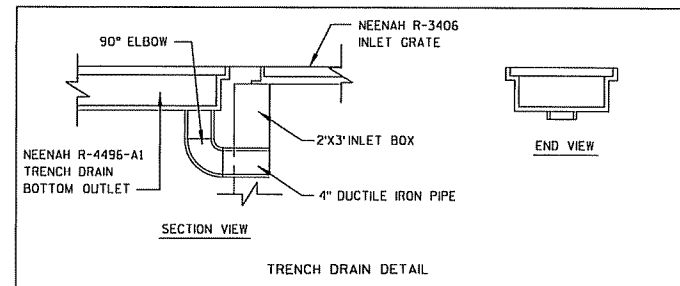
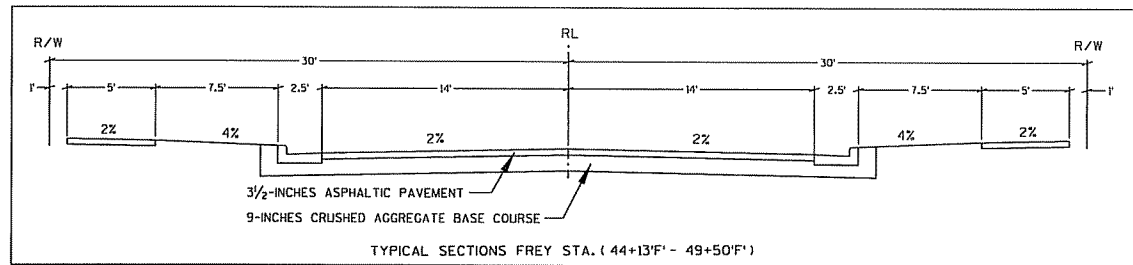


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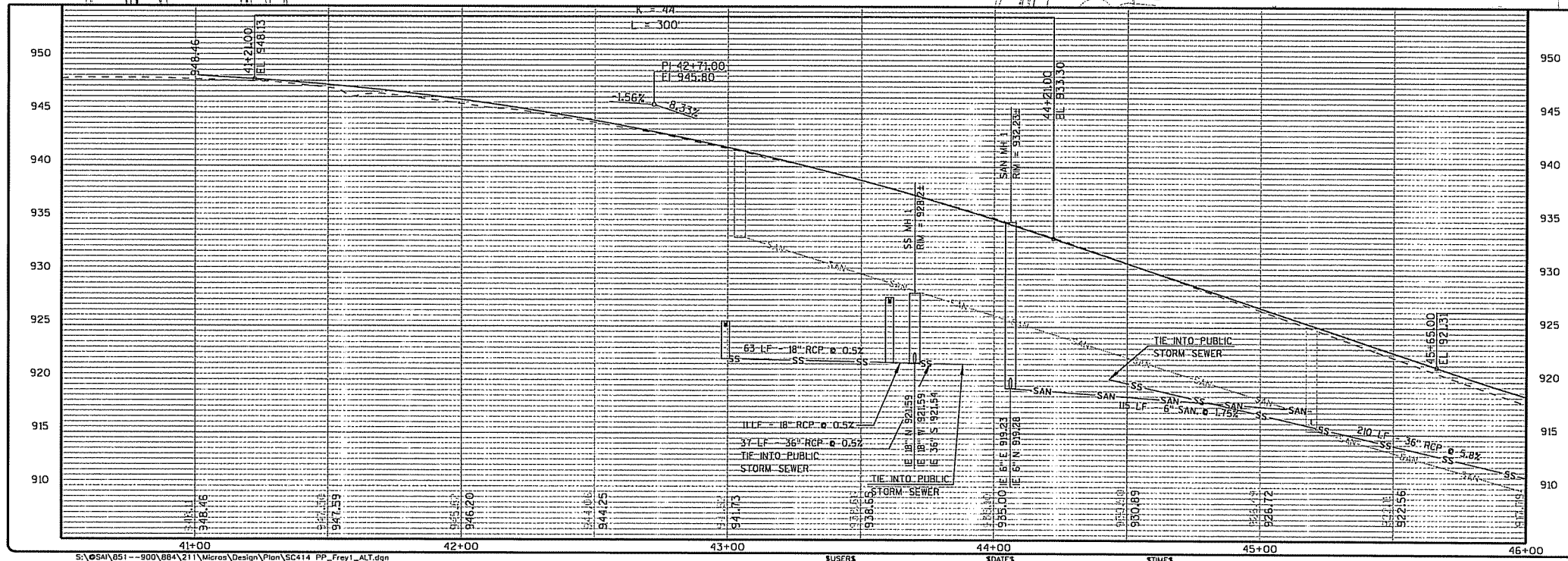
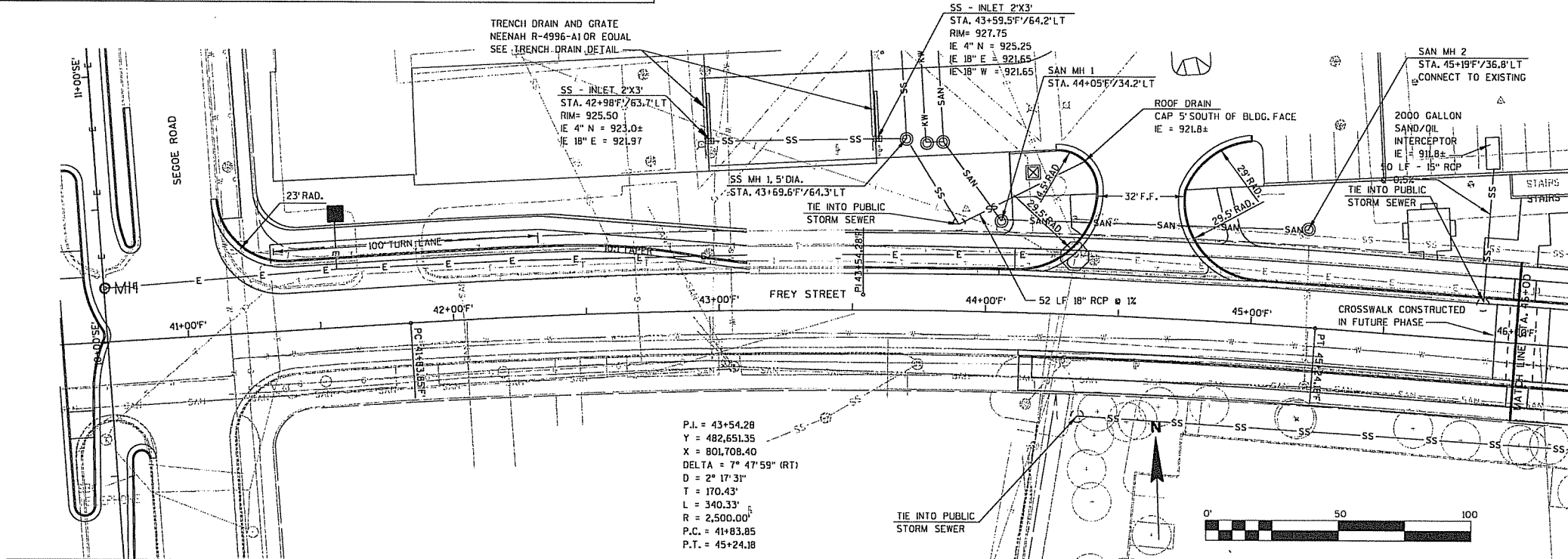
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"PARTIAL" SIGNAL TO BE CONSTRUCTED AT FREY/SEGUE INTERSECTION. CITY TRAFFIC ENGINEERING TO PROVIDE DESIGN

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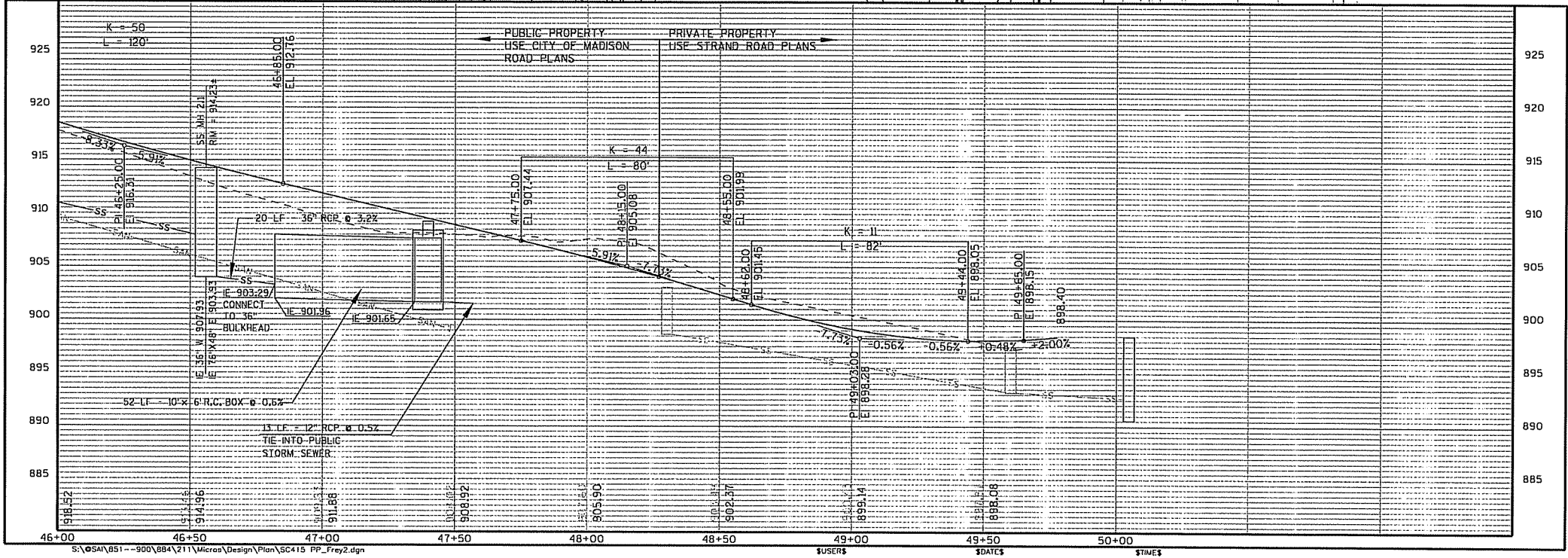
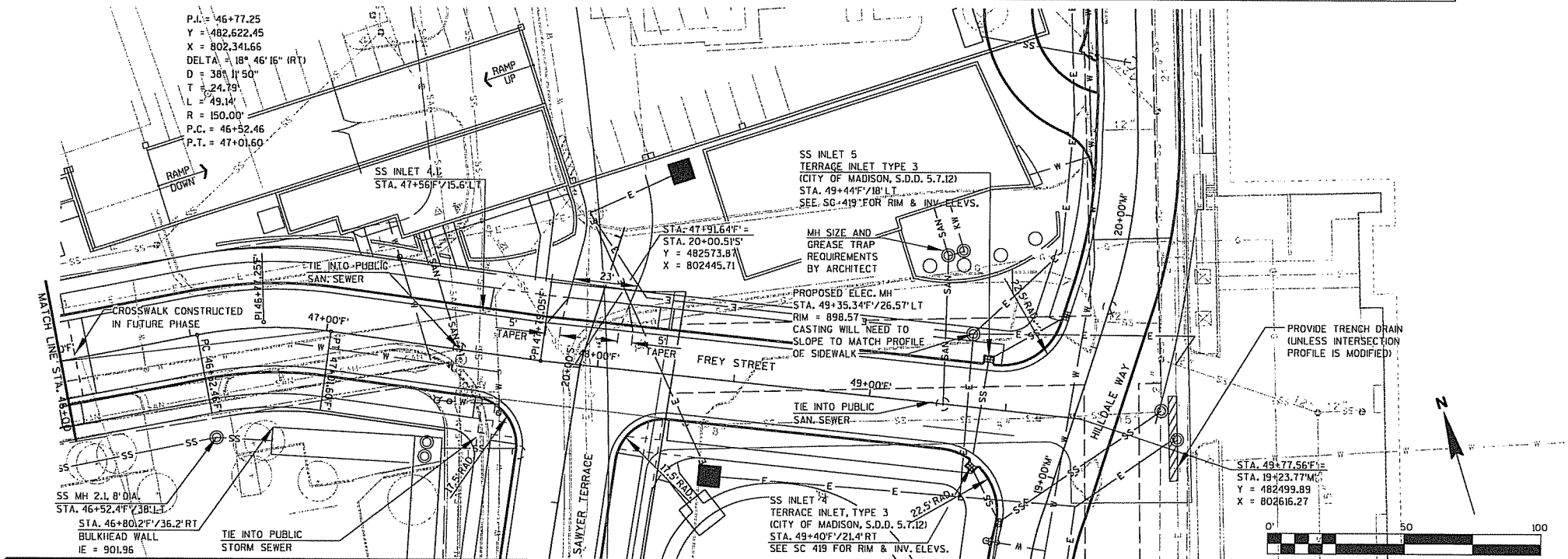
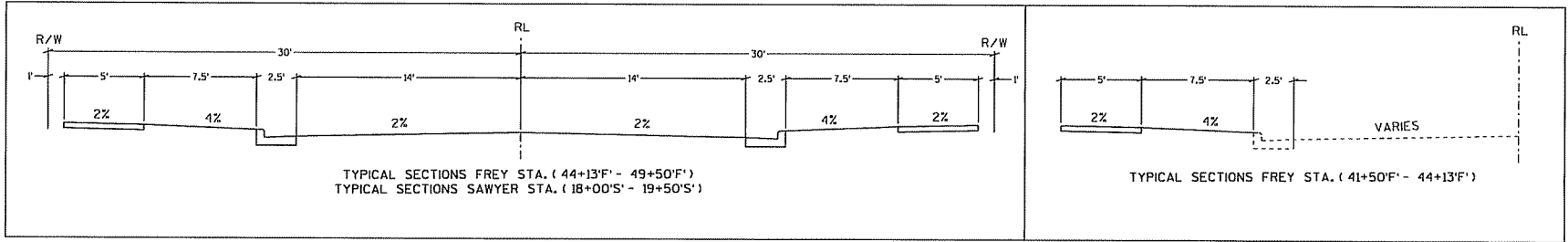
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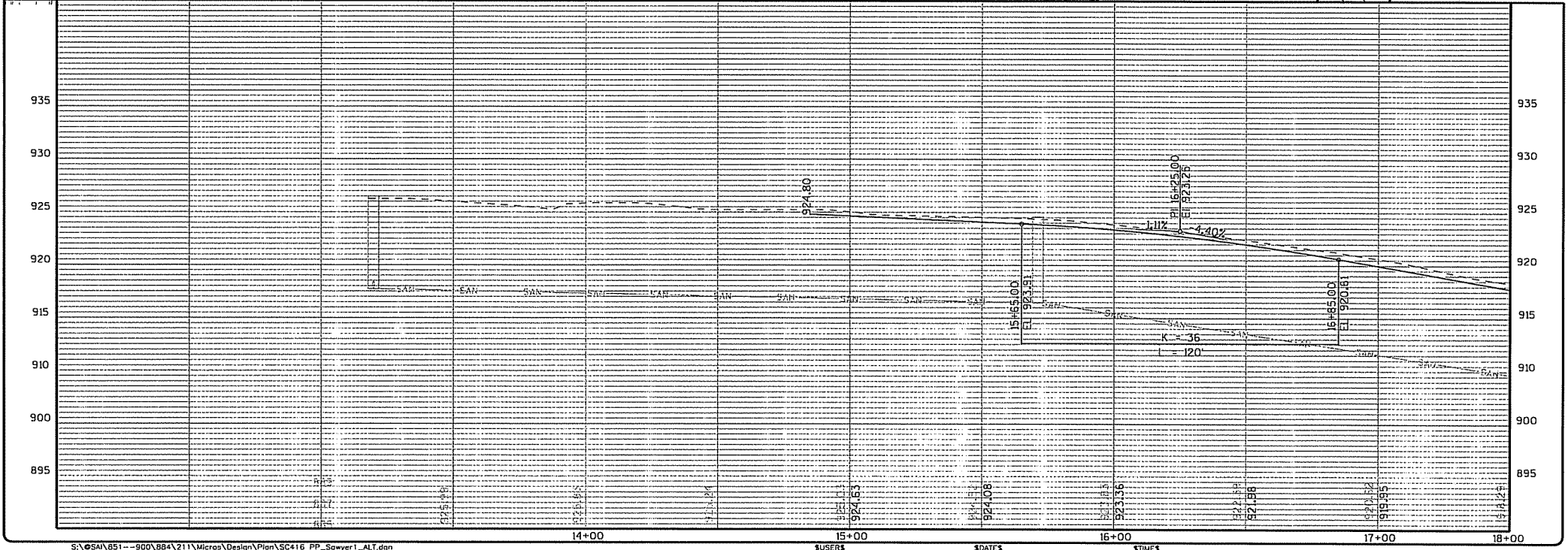
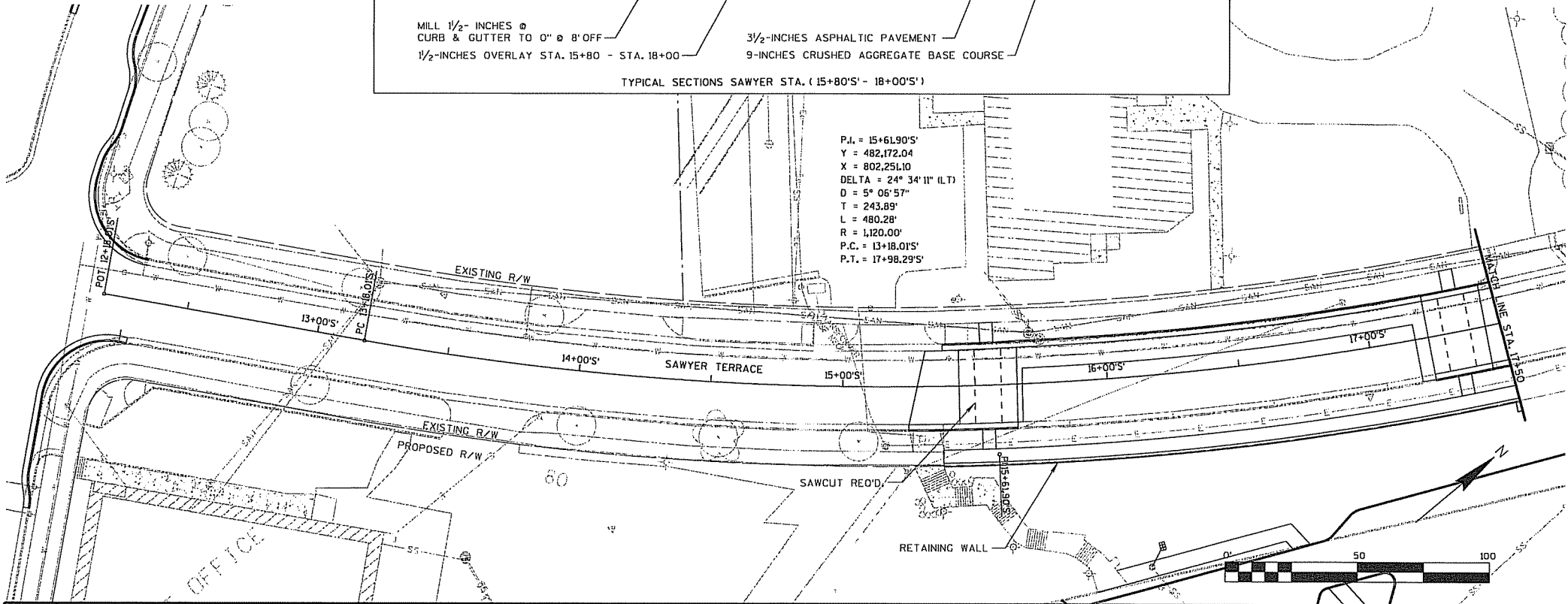
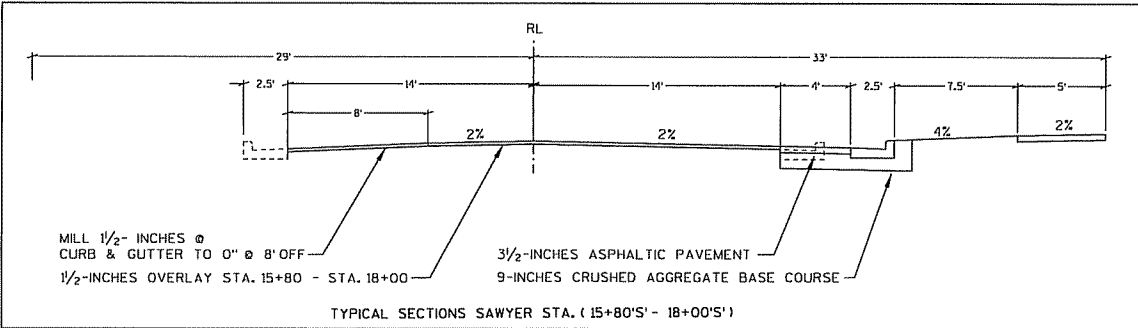
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SAWYER TERRACE**

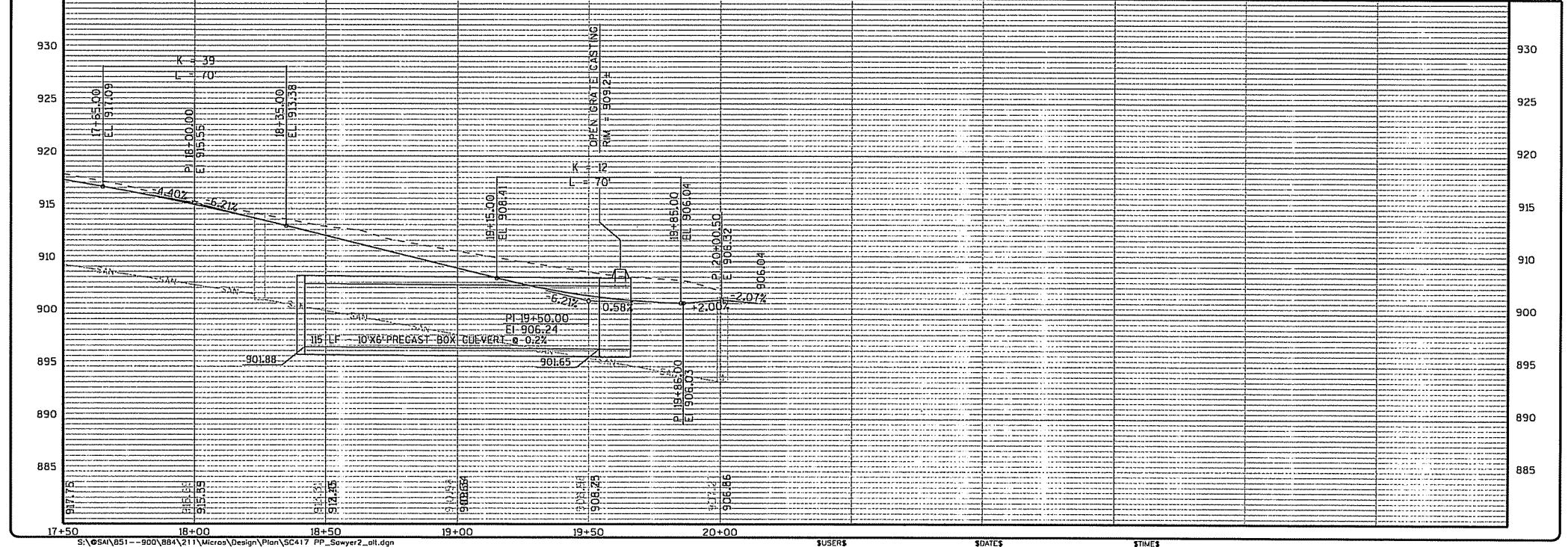
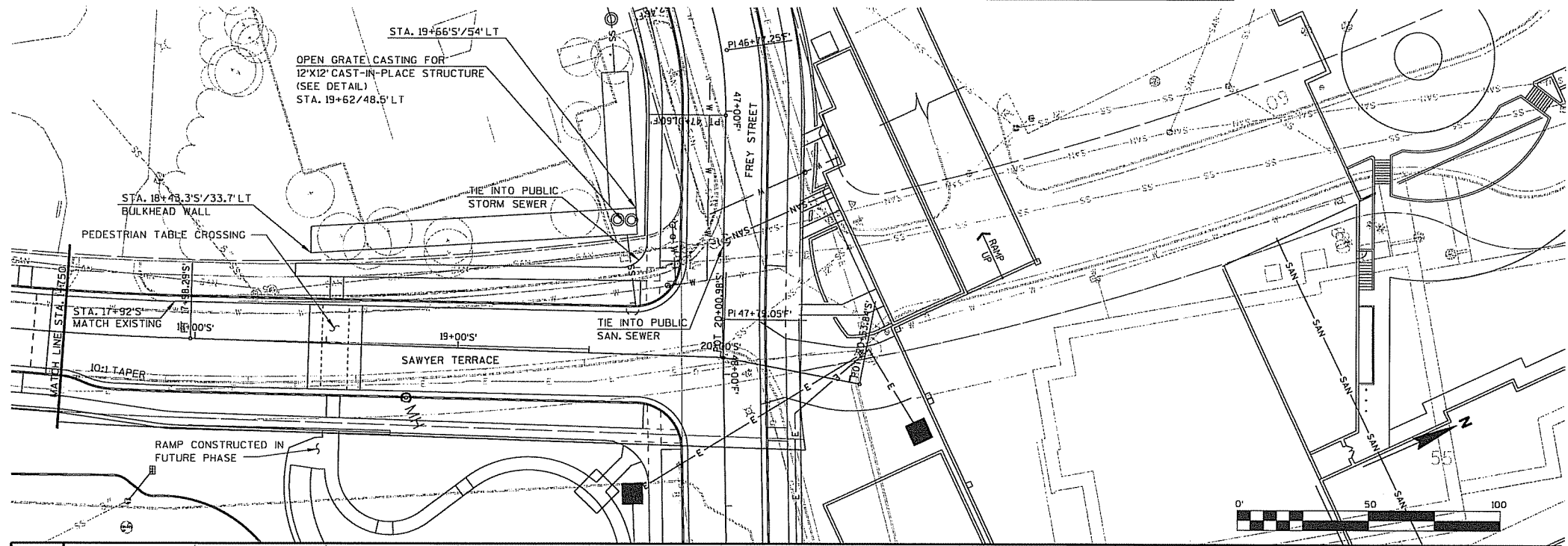
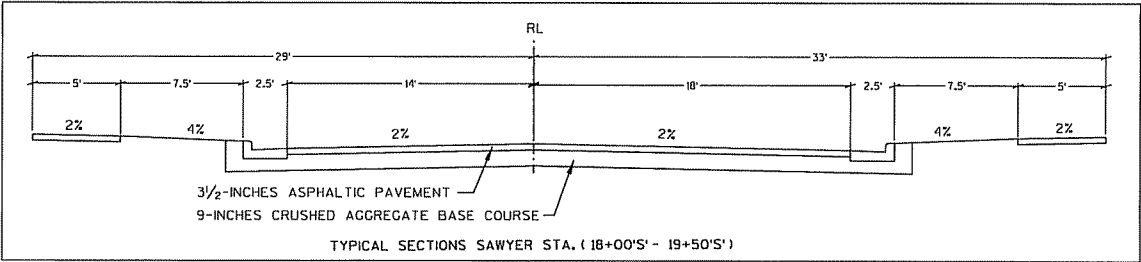
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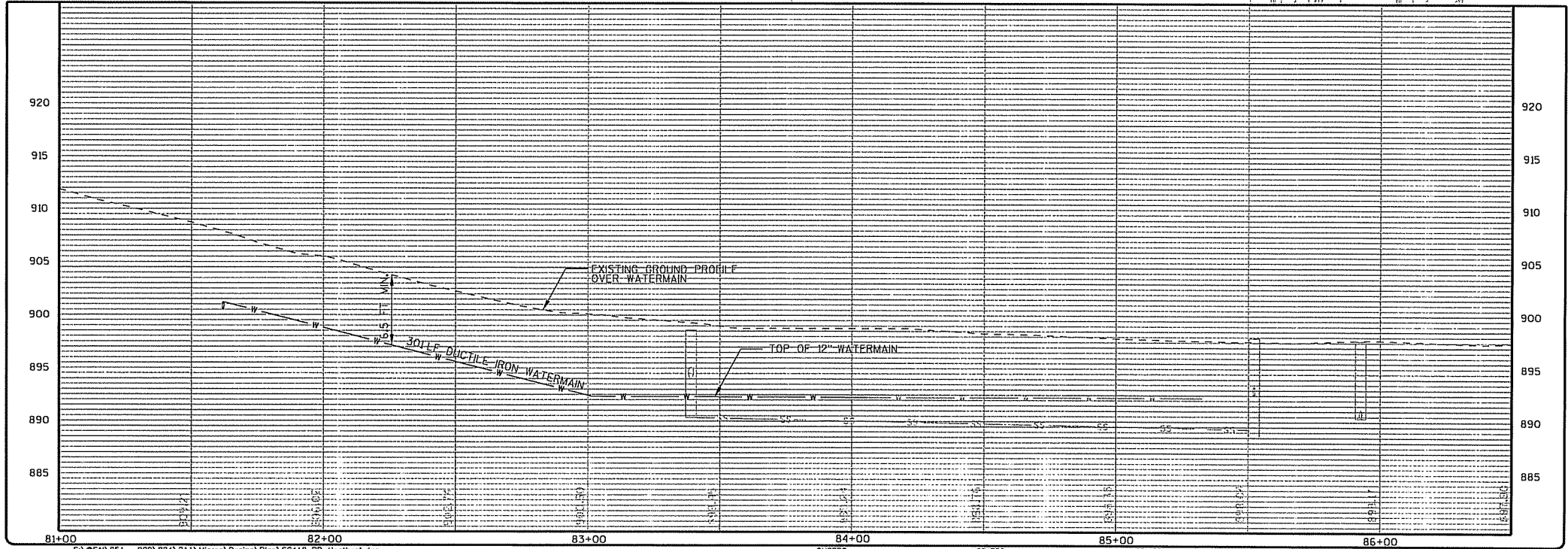
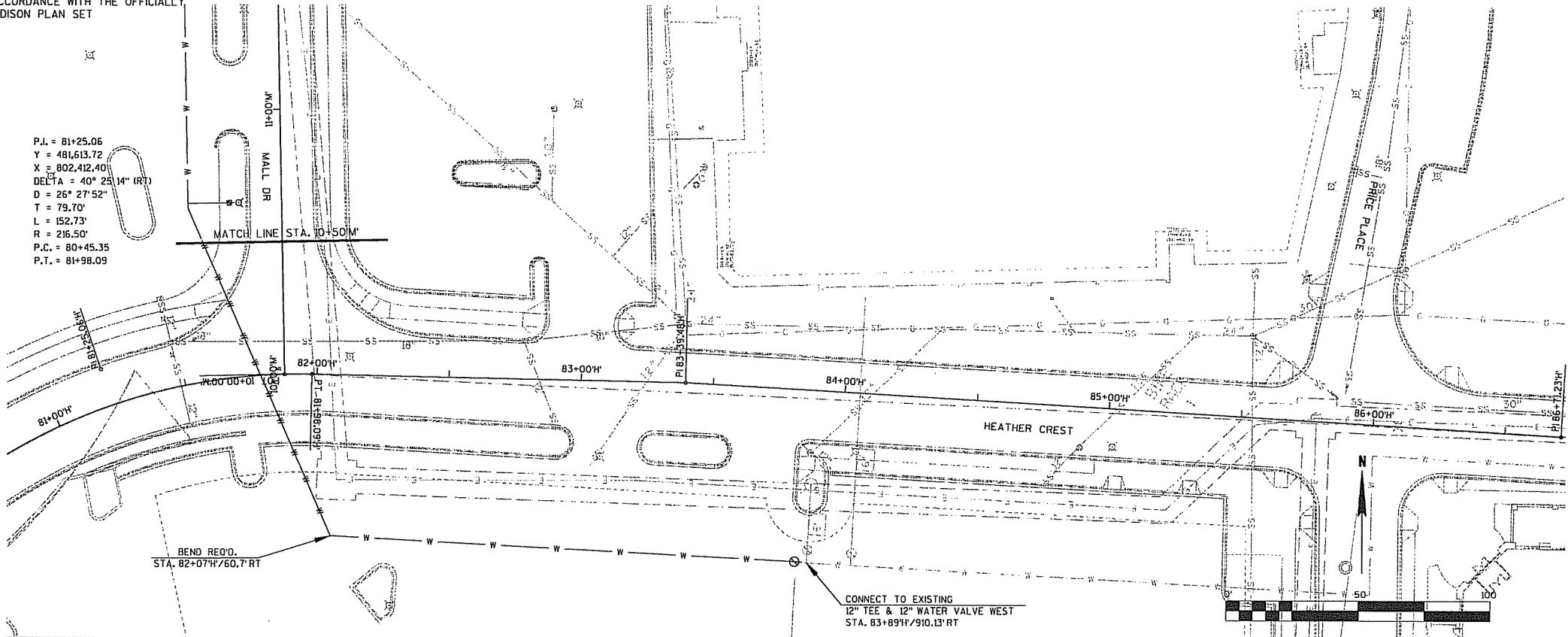
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P.I. = 81+25.05
Y = 481,613.72
X = 802,412.40
DELTA = 40° 25' 14" (RT)
D = 26° 27' 52"
T = 79.70'
L = 152.73'
R = 216.50'
P.C. = 80+45.35
P.T. = 81+98.09



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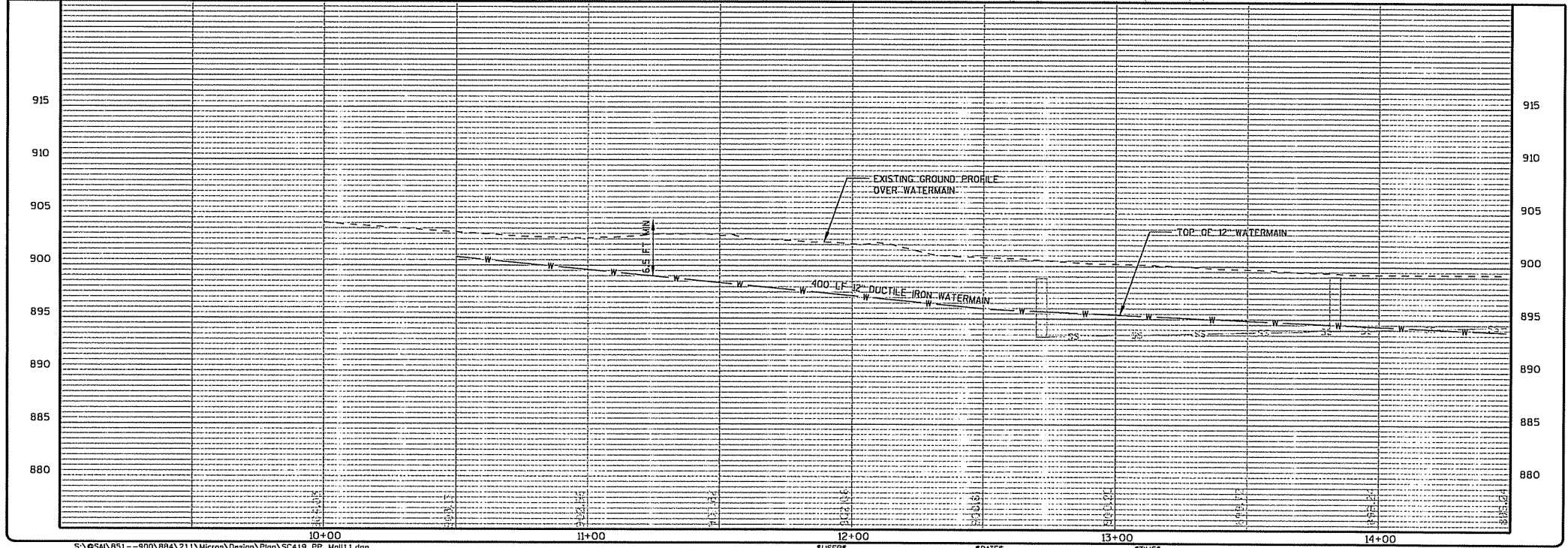
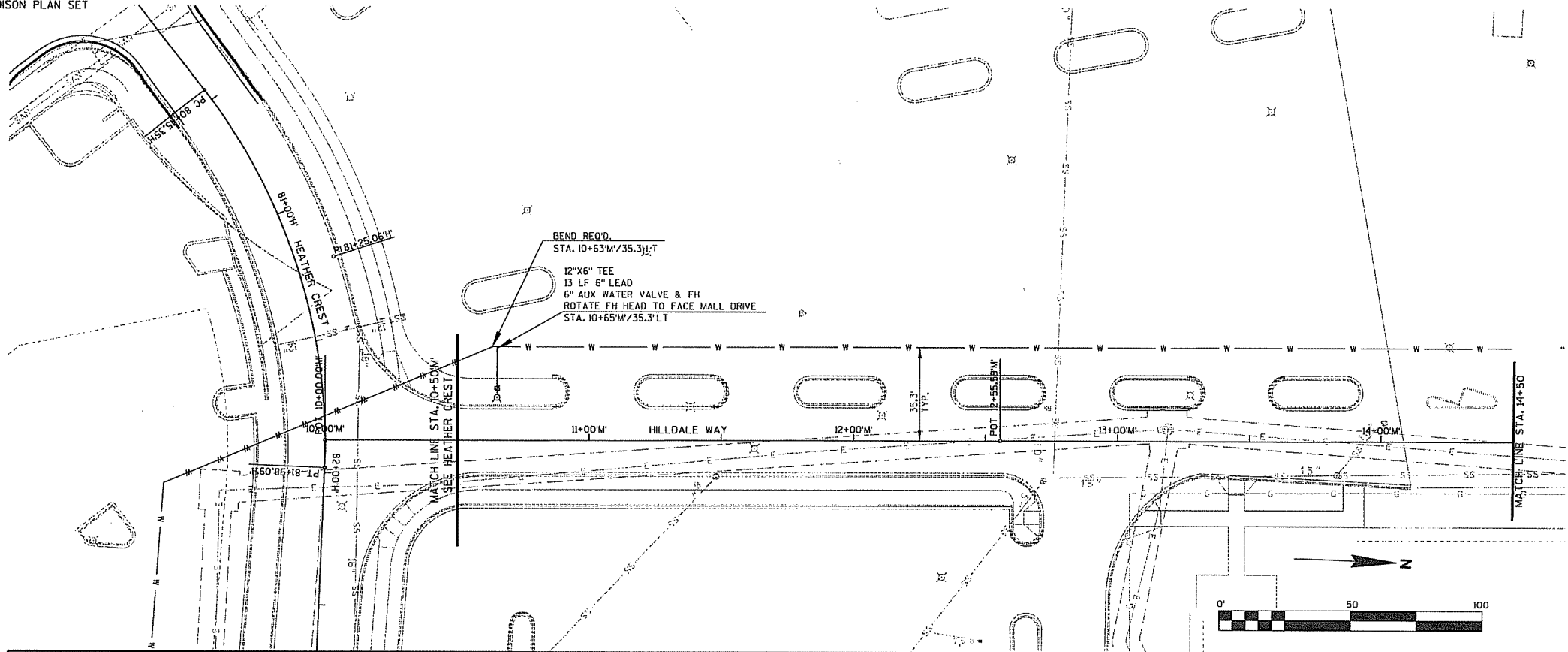
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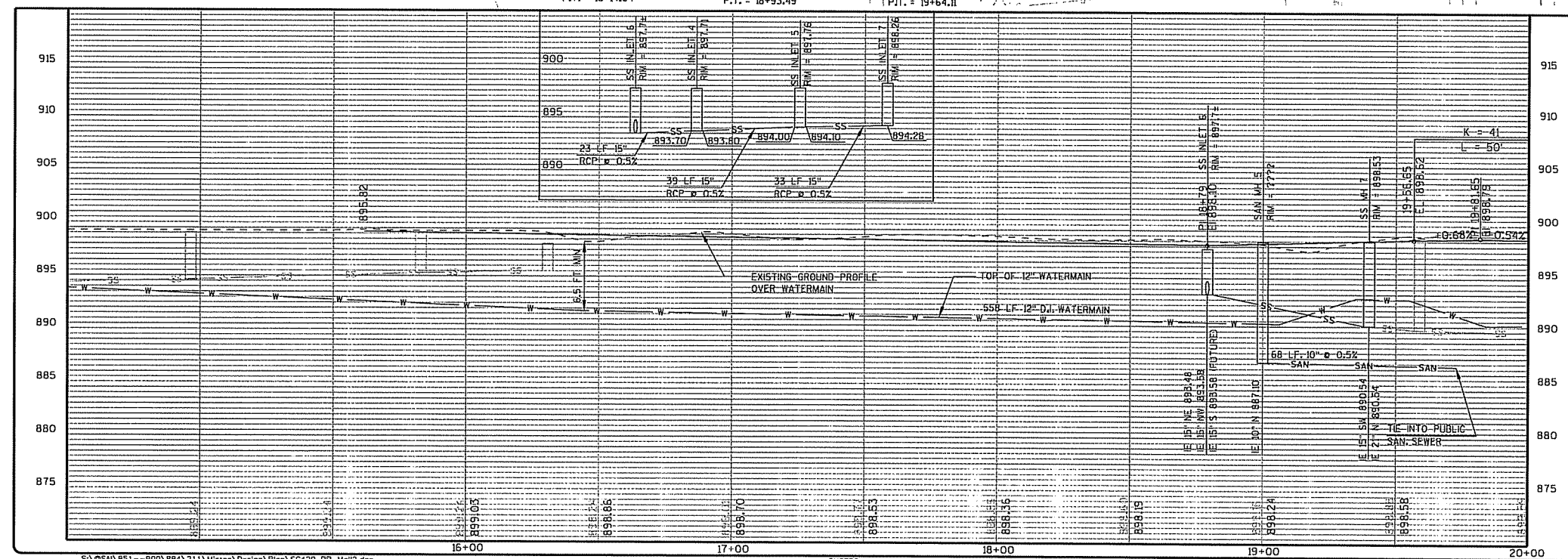
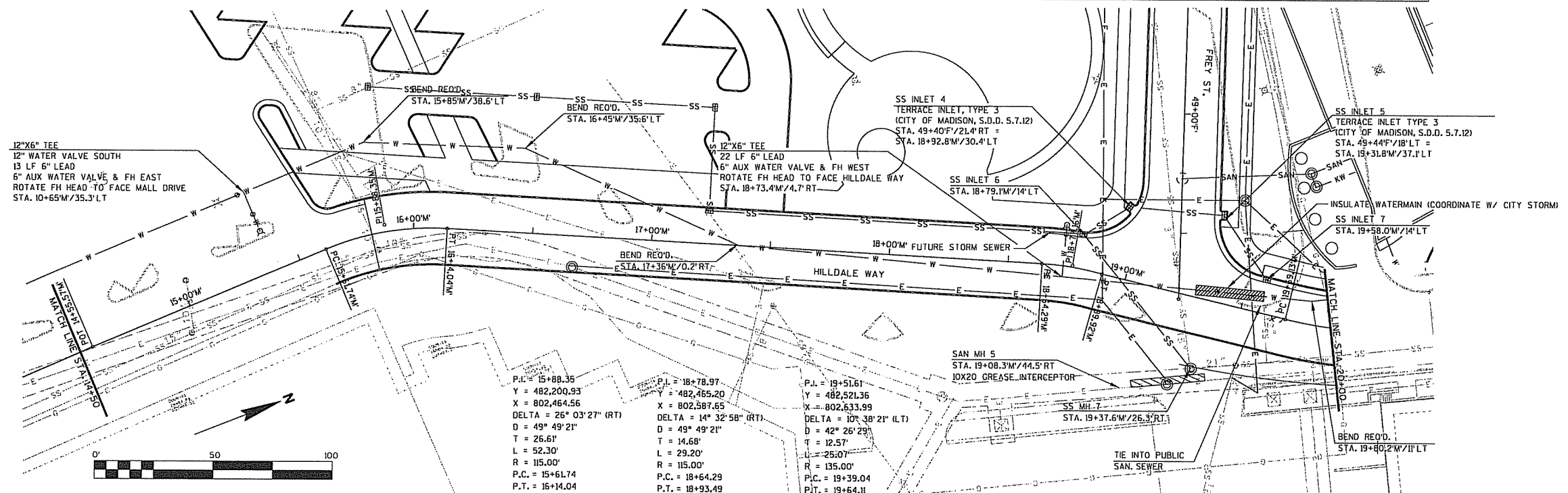
STREET AND
UTILITY
CONSTRUCTION
HILLDALE WAY

Revisions			
No.	Date	Description	By

Project Number	Drawn By
Date Issued	Reviewed By
12/19/07	

Sheet Number
S/C 419

PUBLIC STORM AND SANITARY SEWER SHALL BE
CONSTRUCTED IN ACCORDANCE WITH THE OFFICIALLY
ISSUED CITY OF MADISON PLAN SET



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HILLDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI

HILLDALE LAND COMPANY LLC

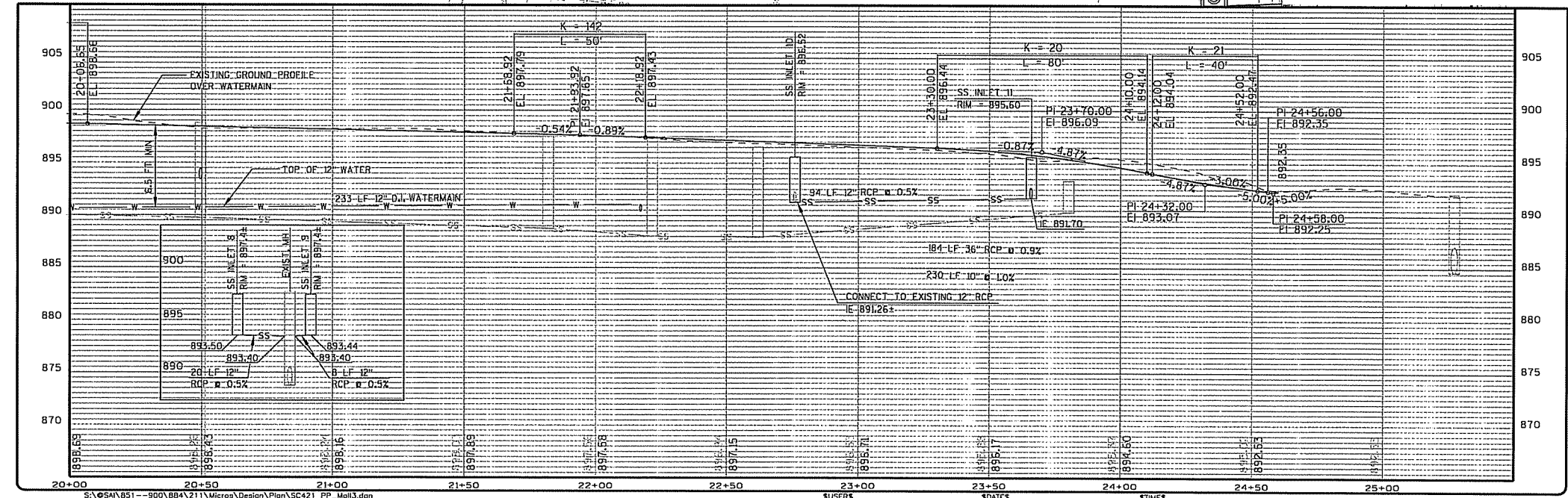
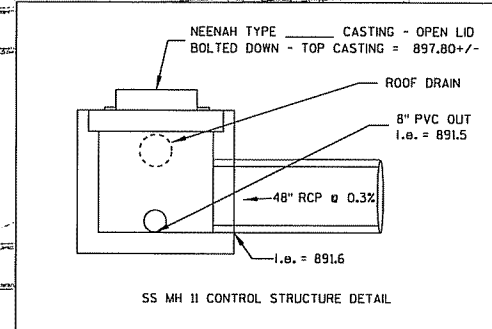
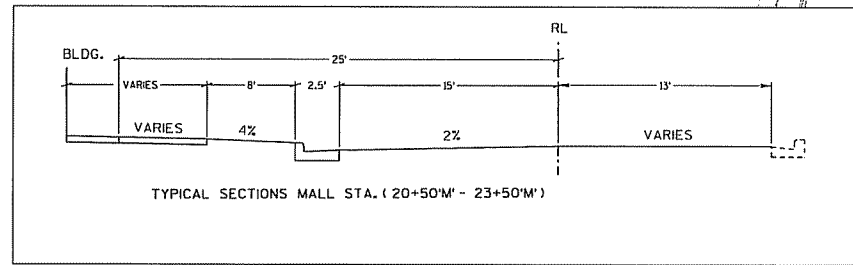
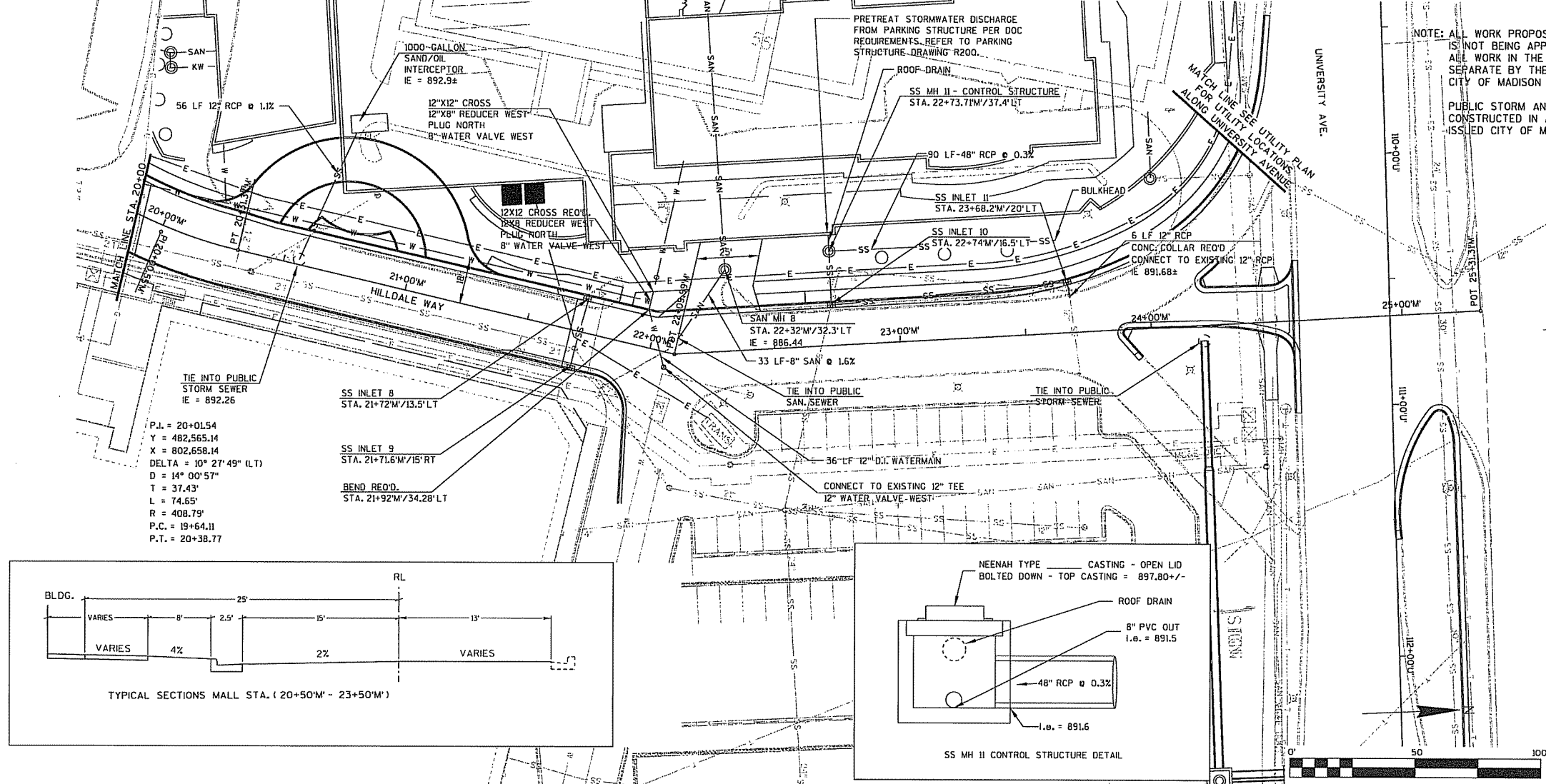
Sheet Title

**STREET AND
UTILITY
CONSTRUCTION
HILLDALE WAY**

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Project Number:	Drawn By: x
Date Issued: 12/19/07	Reviewed By: x

Sheet Numbers
S / C 420



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PUBLIC STORM AND SANITARY SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE OFFICIALLY ISSUED CITY OF MADISON PLAN SET



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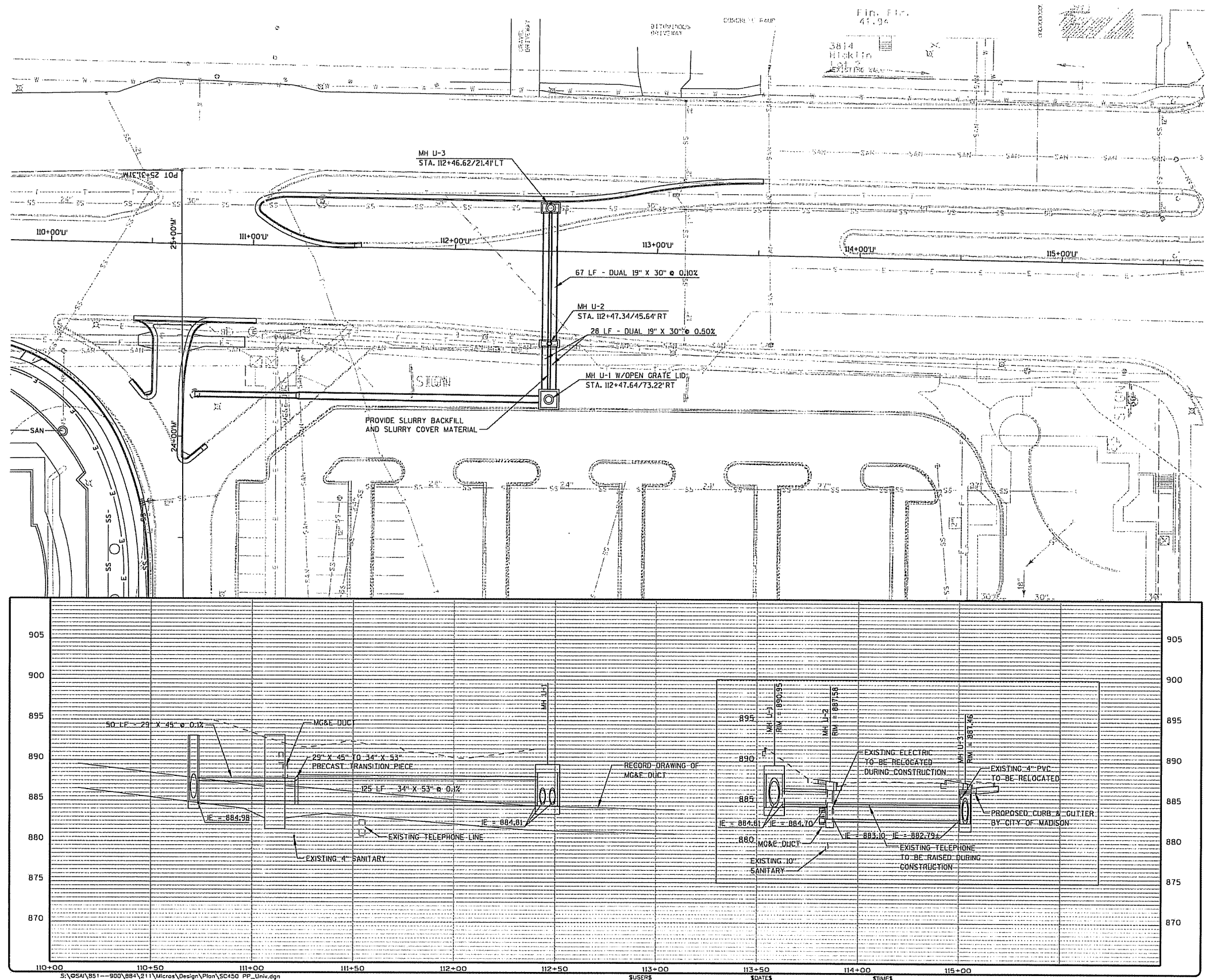
**STREET AND UTILITY CONSTRUCTION
HILDALE WAY**

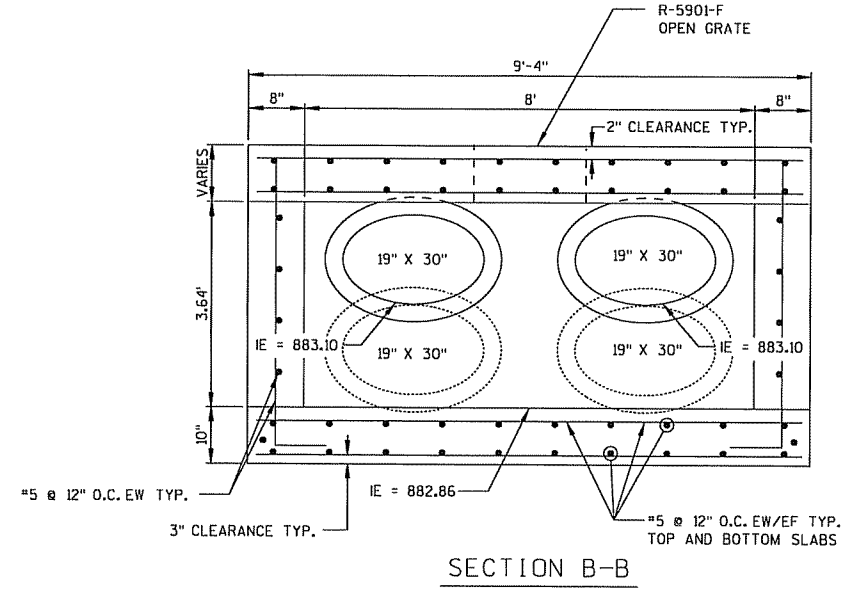
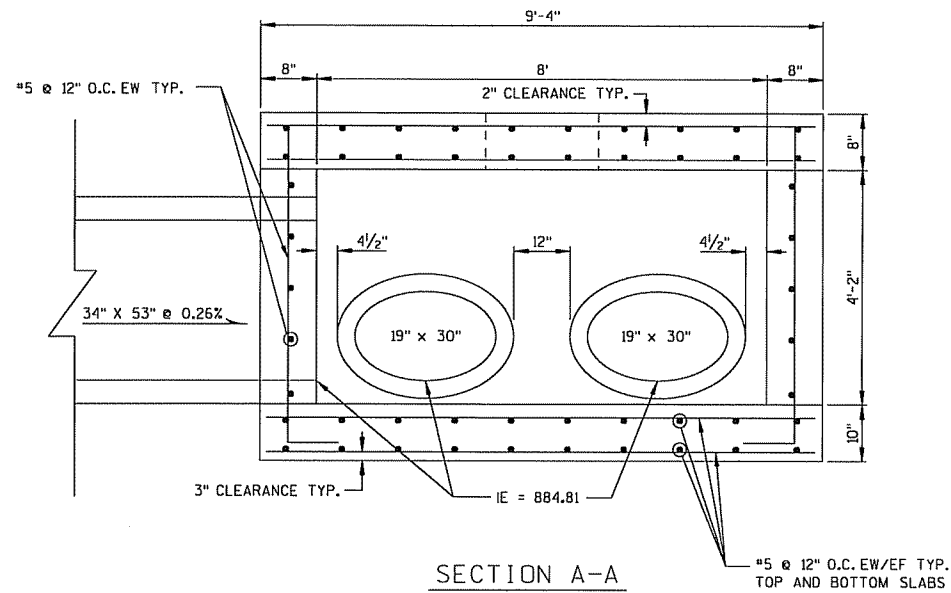
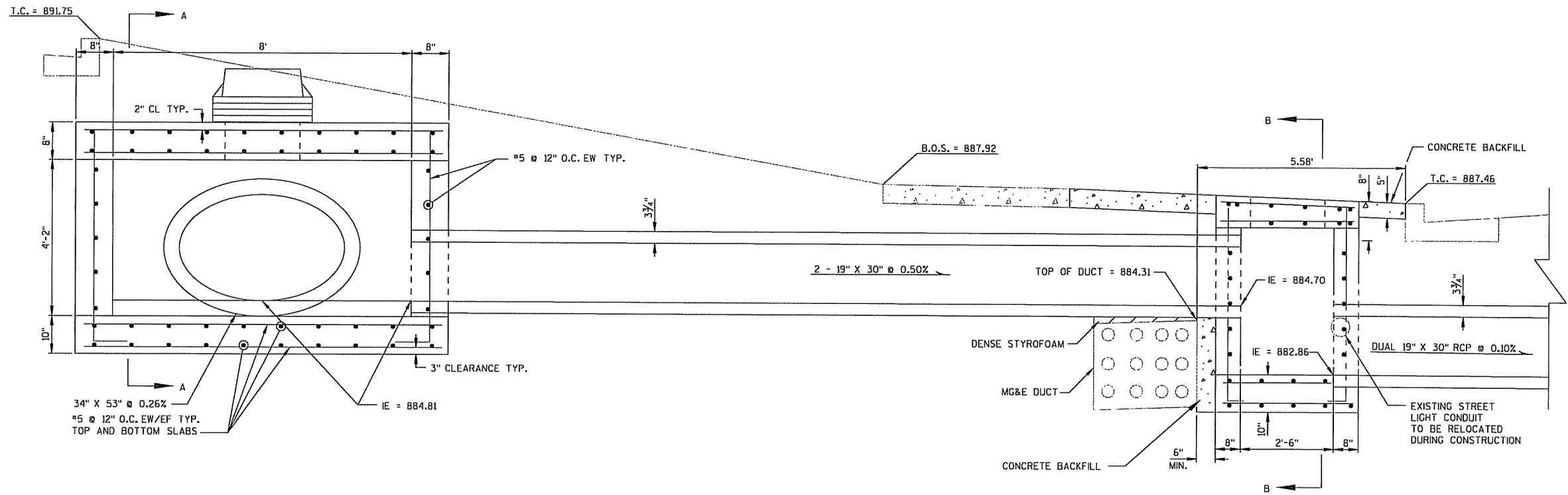
Revisions			
No.	Date	Description	By

Project Number:	Drawn By:
Date Issued:	Reviewed By:
12/19/07	

Sheet Number:

S/C 421





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Sheet Title:

**STORM SEWER
UTILITY DETAILS**

Revisions	No.	Date	Description	By

Project Number:	Drawn By:
x	x
Date Issued:	Reviewed By:
x 12/18/07	x

Sheet Number:
S/C 451

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SEGOE ROAD

26' AERIAL FIRE LANE

LEGEND

FIRE ACCESS ROUTE:



2 Story

PREY STREET

UNIVERSITY AVENUE

0' 50' 100'

N

MATCH LINE

MATCHLINE

20' FIRE LANE

26' AERIAL FIRE LANE

20' FIRE LANE

HILLDALE SHOPPING CENTER

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Sheet Title

FIRE ACCESS
WEST

Revisions

No.	Date	Description	By

Project Number

Drawn By

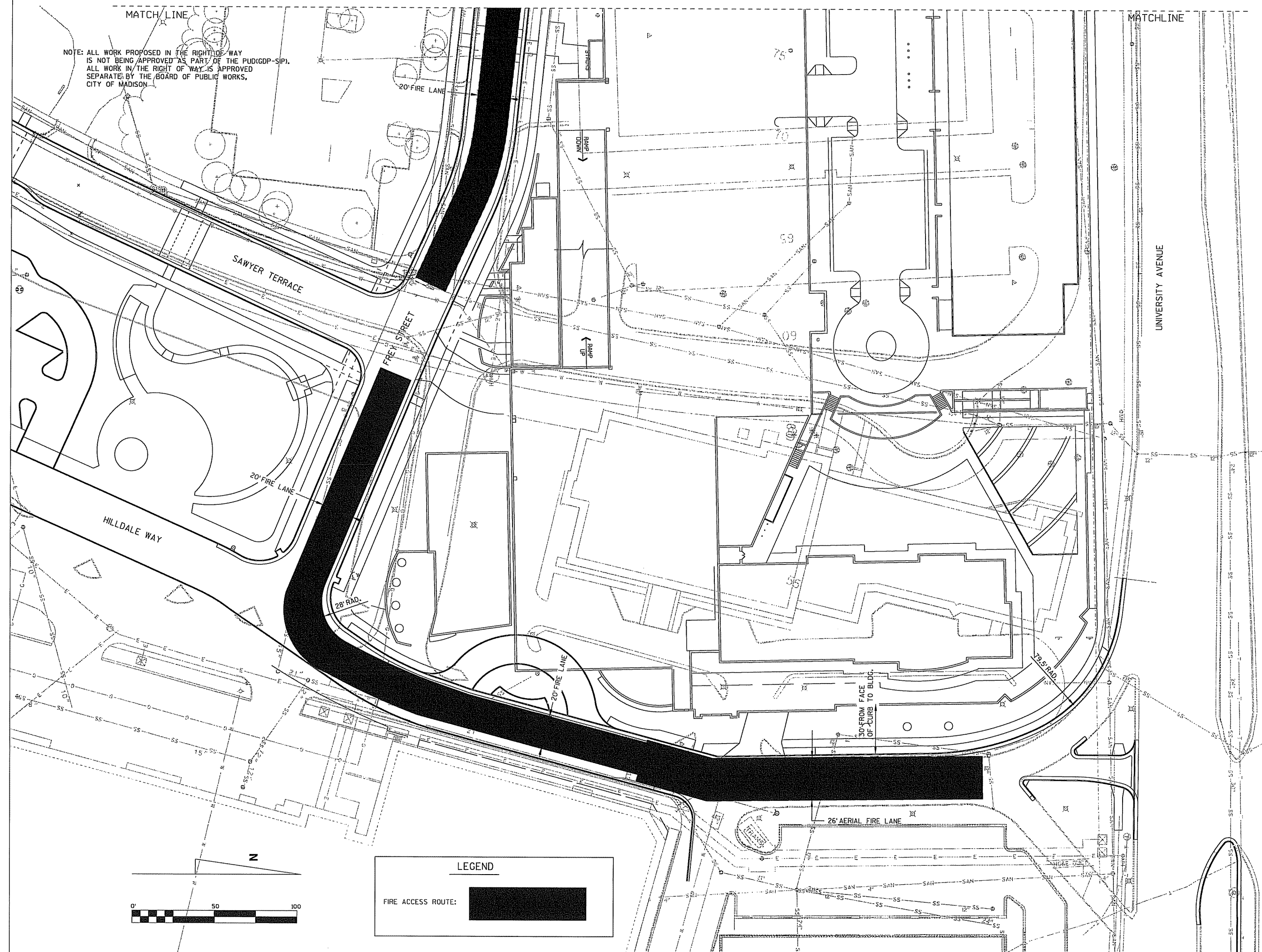
Date Issued

Reviewed By

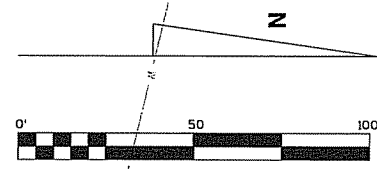
x 12/19/07 x

Sheet Number

S/C 500



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LEGEND

FIRE ACCESS ROUTE:

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Sheet Title:

FIRE ACCESS EAST

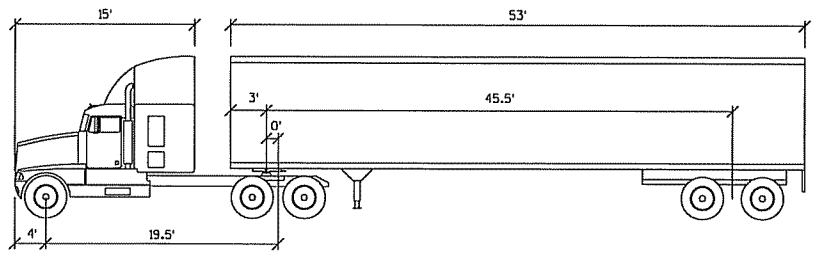
Revisions			
No.	Date	Description	By

Project Number:	Drawn By:
x	x
Date Issued:	Reviewed By:
12/19/07	x

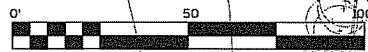
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WB-67 SEMITRAILER
DIMENSIONS OF TRUCK USED FOR TRUCK TURNS



MATCH LINE

SEGOE ROAD

FREY STREET

UNIVERSITY AVENUE

TRUCK TURN

NO TRUCK ACCESS TO OR
FROM UNIVERSITY AVE.

MATCHLINE



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Sheet Title

TRUCK ACCESS
WEST

Revisions

No.	Date	Description	By

Project Number

x

Drawn By

x

Date Issued

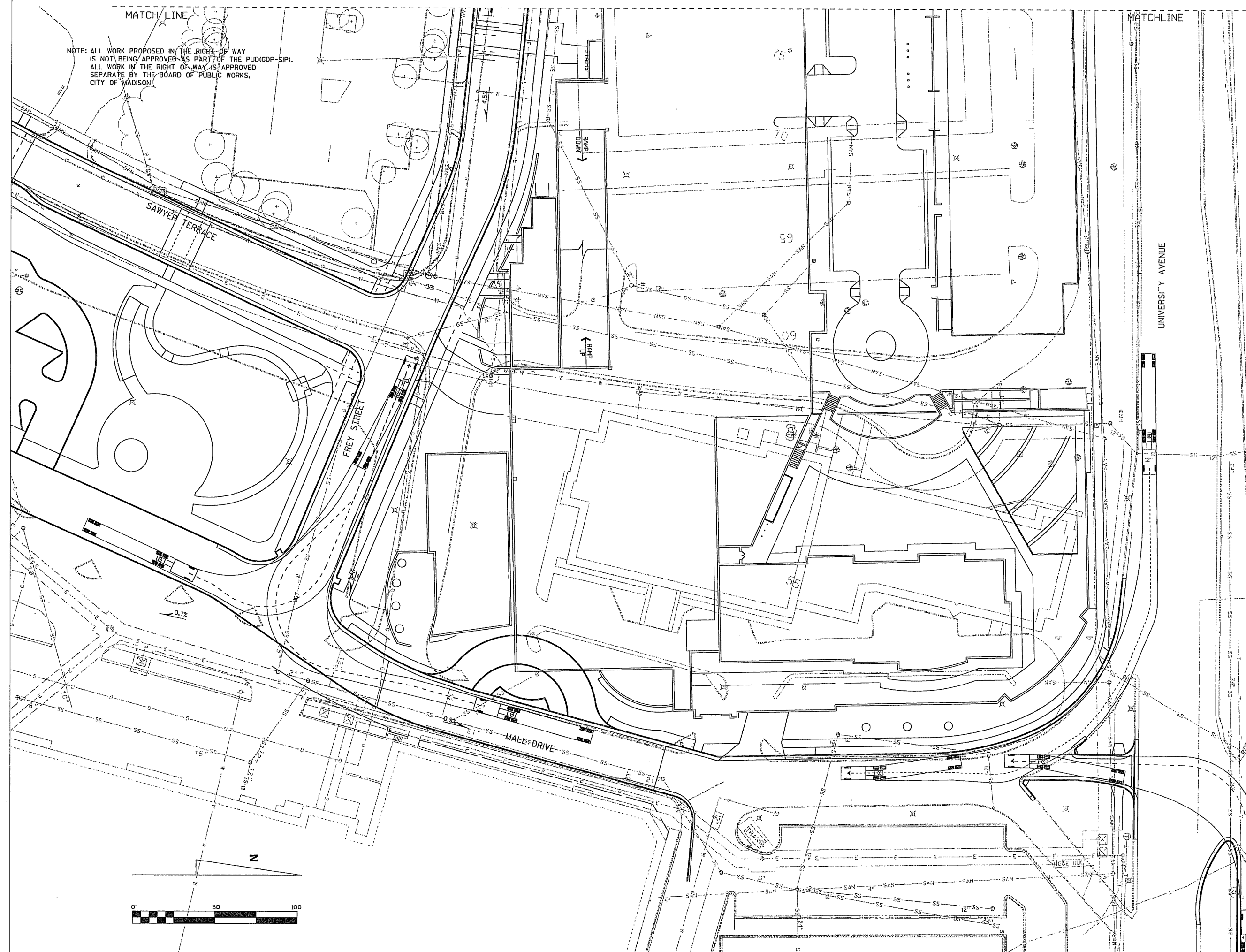
x 12/19/07

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Sheet Number

S/C 502



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Sheet Title

TRUCK ACCESS EAST

Revisions			
No.	Date	Description	By

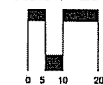
Project Number:	Drawn By:
A	A
Date Issued:	Reviewed By:
12/19/07	A

Sheet Number

S/C 503

Hilldale Redevelopment
Planting Plan (West)

Scale 1"=20'



code	scientific name	common name	quantity	size/notes	comments
Canopy Trees					
AP	Acer x freemanii 'Marmel'	Marmel maple	17	2-1/2" cal. B&B	
CO	Cornus occidentalis	common hockberry	9	2-1/2" cal. B&B	
GB	Ginkgo biloba 'Autumn Gold'	ginkgo	21	2-1/2" cal. B&B	
GT	Gleditsia inaequalis 'Imperial'	Imperial Honeylocust	7	2-1/2" cal. B&B	
UA	Ulmus x hollandicus	Hollandicus hybrid elm	13	2-1/2" cal. B&B	
Small Trees					
AG	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance serviceberry	13	6" H. B&B	multistem
CC	Carpinus canadensis	American hophornbeam	22	2-1/2" cal. B&B	single stem
MR	Malus rubra 'Royal Star'	Royal Star malus	2	6" H. B&B	multistem
MA	Malus 'Adirondack'	Adirondack crabapple	16	6" H. B&B	multistem
MA	Malus 'Red Jewel'	Red Jewel crabapple	2	2" cal. B&B	single stem
MS	Malus 'Sugar Tyme'	Sugar Tyme crabapple	3	6" H. B&B	multistem
SR	Syringa reticulata 'Honey Silk'	Honey Silk lilac	16	6" H. B&B	multistem
Deciduous Shrubs					
AM	Amelanchier x canadensis 'Snowflake Beauty'	Snowflake Beauty serviceberry	46	18" H. #3 Cont.	space 3' o.c.
CM	Cornus mix 'Golden Glory'	Golden Glory dogwood	12	36" H. B&B	space 8' o.c.
RH	Rosa 'Newly Wed'	Newly Wed rose	46	18" H. #3 Cont.	space 3' o.c.
SI	Staphylea trifolia 'Crispa'	Crispa staphylea	58	18" H. #3 Cont.	space 3' o.c.
Evergreen Trees and Shrubs					
JC	Juniperus chinensis 'Vittoja Compact'	Vittoja Compact juniper	32	18" spd. #3 Cont.	space 8' o.c.
JV	Juniperus chinensis var. sargentii 'Vittoja'	green sargent juniper	10	18" spd. #3 Cont.	space 8' o.c.
JS	Juniperus scopulorum 'Skyrocket'	Skyrocket juniper	12	6" H. B&B	space 4' o.c.
JB	Juniperus sabina 'Buffalo'	Buffalo juniper	22	18" spd. #3 Cont.	space 4' o.c.
MD	Microbiota decussata	Chinese yew	40	18" spd. #3 Cont.	space 8' o.c.
PO	Picea omorika	Siberian spruce	18	6" H. B&B	space per plan
TM	Taxus x media 'Taunton'	Taunton yew	20	18" spd. #3 Cont.	space 8' o.c.
TD	Thuja occidentalis 'Little Gem'	Little Gem arborvitae	18	18" spd. #3 Cont.	space 8' o.c.
Perennial/Grass/Overhead Representative Species					
AL	Allium longicollum 'Summer Beauty'	Summer Beauty ornamental onion	72	1 qt. pot	space 18" o.c.
AL	Allium triquetrum	Lady Fern	77	1 qt. pot	space 15" o.c.
AN	Anemone pulsatilla	Anemone pulsatilla	46	1 qt. pot	space 15" o.c.
CB	Calamagrostis canadensis	Korean leather med. grass	50	1 qt. pot	space 2' o.c.
DC	Deschampsia cespitosa 'Goldstrich'	Goldstrich	132	1 qt. pot	space 18" o.c.
EC	Echinacea purpurea 'Kim's Redhead'	Kim's Redhead	15	1 qt. pot	as shown
EP	Echinacea purpurea 'Krim's Redhead'	Krim's Redhead	9	1 qt. pot	as shown
GS	Geranium sanguineum	bloody cranesbill	66	1 qt. pot	space 18" o.c.; mix 3 cultivars in equal numbers
GR	Geranium sanguineum 'Rufum'	Rufum cranesbill	25	1 qt. pot	
GR	Geranium sanguineum var. elatum	elatum cranesbill	63	1 qt. pot	
HB	Hemerocallis x 'Herberta Mitchell'	Herberta Mitchell daylily	7	1 qt. pot	space 24" o.c.
HN	Hemerocallis x 'Happy Returns'	Happy Returns daylily	115	1 qt. pot	space 18" o.c.
HL	Hemerocallis x 'Little Grapelle'	Little Grapelle daylily	260	1 qt. pot	space 15" o.c.
HK	Hemerocallis x 'Bilby'	Bilby daylily	36	1 qt. pot	as shown
HL	Hemerocallis x 'Crimson Icon'	Crimson Icon daylily	96	1 qt. pot	as shown
HL	Hemerocallis x 'Francis Williams'	Francis Williams daylily	122	1 qt. pot	space 24" o.c.
HL	Hemerocallis x 'Royal Standard'	Royal Standard daylily	33	1 qt. pot	space 18" o.c.
MP	Macrorhiza purpurascens	Kambo grass	40	1 qt. pot	space 24" o.c.
PG	Parthenocissus vitacea	Vitacea creeper	12	1 qt. pot	space per plan
PG	Parthenocissus vitacea 'Hamm'	Hamm creeper	114	1 qt. pot	space 15" o.c.
PO	Polygonatum odoratum 'Variegatum'	variegated Solomon's seal	34	1 qt. pot	space 15" o.c.
SS	Salvia x superba 'Blue Hill'	Blue Hill sage	20	1 qt. pot	space 18" o.c.

Segoe Road

Retail Unit L
Whole Foods

Match Line

HILLDALE SHOPPING CENTER

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KEN SAKI
DESIGN INC
LANDSCAPE
ARCHITECTS
303 S. PATTERSON
SUITE ONE
MADISON, WI 53703
Phone: 608-551-3600
Fax: 608-551-2330
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Sheet Title:

PLANTING PLAN
WEST

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No.	Date	Description	By

Project Number:

Drawn By:

MS

Date Issued:

Reviewed By:

12-19-07

KS

Sheet Number:

S/L 100

Hilldale Redevelopment Planting Plan (East)

Age Group	Number of People
0-6	10
6-10	5
10-20	15

Proposed Office Building

University Ave.

Retail Unit P

Pool Wing

Proposed Hotel

SIP Amendment 3 Boundary

Sentry

Existing
Parking

[illegible]

Planter Enlargem
(5 Typ.)

Planter Enlargement
(12 Typ.)

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Sheet Title:
PLANTING PLAN
EAST

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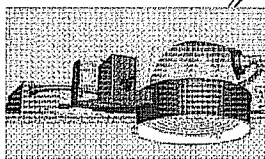
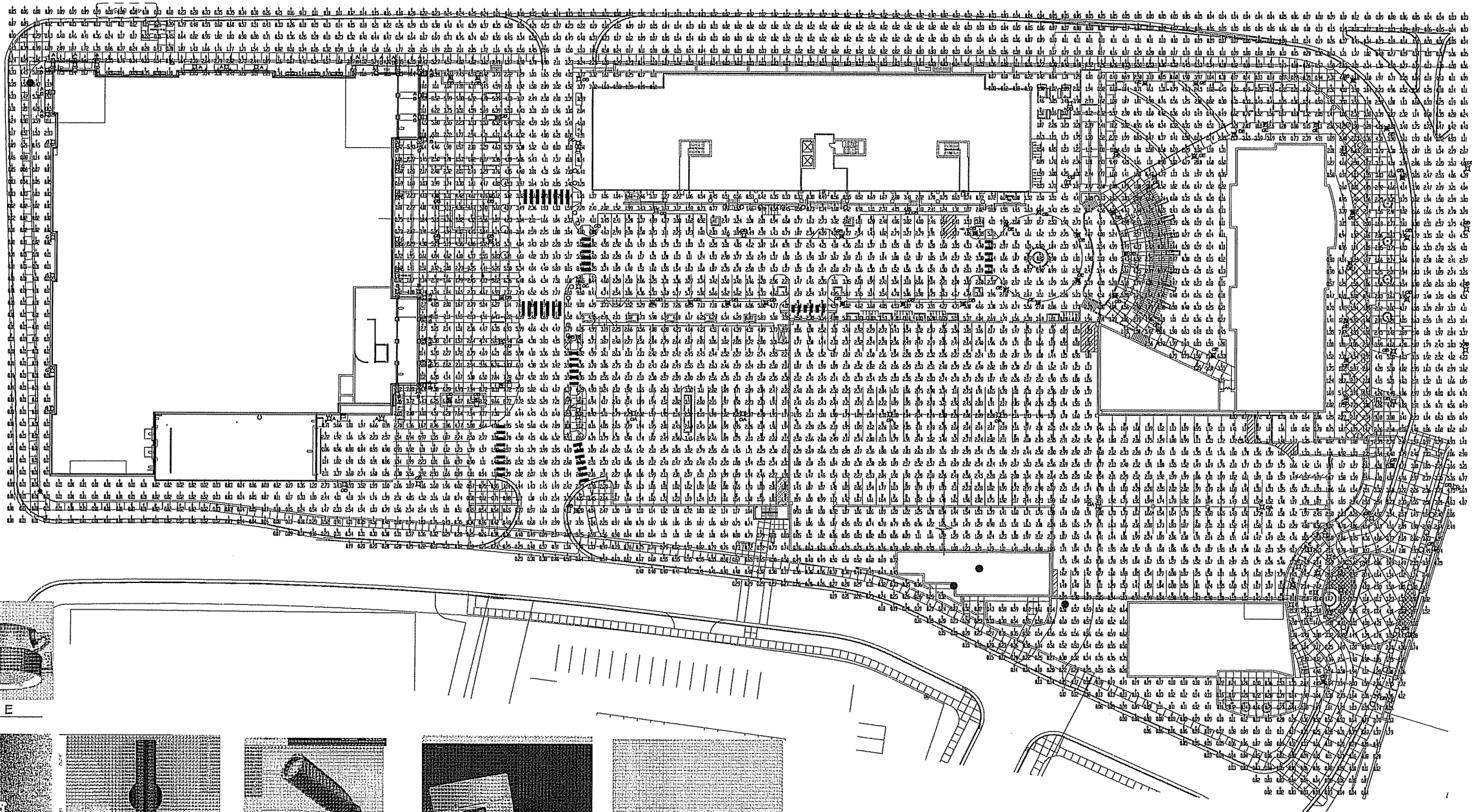
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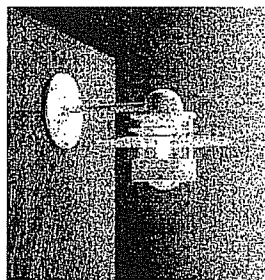
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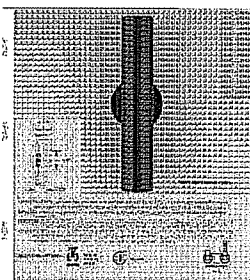
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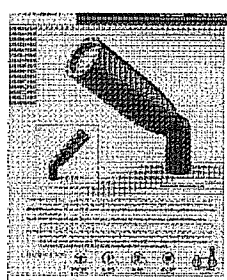
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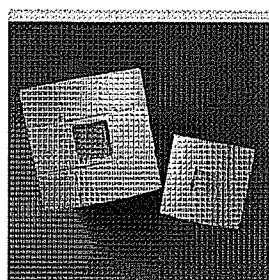
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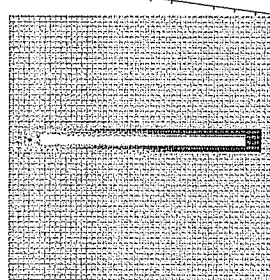
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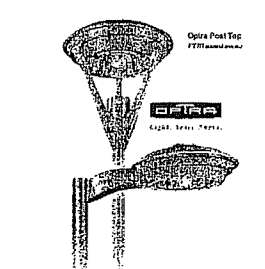
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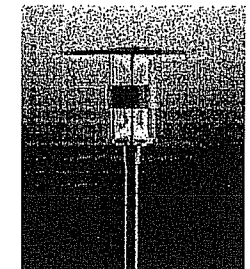
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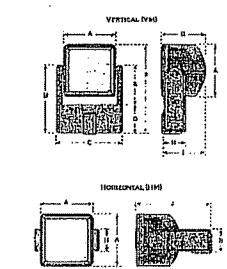
11 FIXTURE TYPE OF
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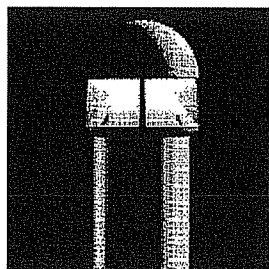
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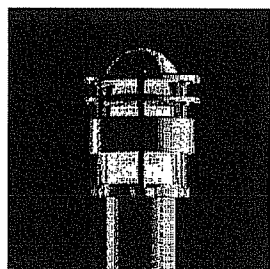
3 FIXTURE TYPE OB&OC
SCALE: NONE



4 FIXTURE TYPE OC
SCALE: NONE



5 FIXTURE TYPE OD
SCALE: NONE



6 FIXTURE TYPE OE
SCALE: NONE

SITE PHOTOMETRICS

FIXTURE SCHEDULE				CALCULATION SUMMARY			
TYPE	SYMBOL	DESCRIPTION	LAMP	LUMENS	LLF	AVE	MAX
A	HX	LOUIS POULSEN GREATER MAX HALL	(1) 104H M1	6600	0.75	0.24 fc	0.2 fc
B	HX	MINORA ** A2-4040	(2) 504H PAR30	-	0.75	0.60 fc	0.6 fc
C	HX	MINORA ** C255	(1) 204H PAR30	-	0.75	0.60 fc	0.6 fc
D	HX	AAL ESCONCE ES2-2	(1) 104H M1	6600	0.75	0.24 fc	0.2 fc
E	HX	BURT VERNER R5612	(1) 1004H M1	8500	0.75	0.24 fc	0.2 fc
OA	HX	HIDELITE OPT-4006-PTR-30" POLE	(1) 4504H P5 M1	50000	0.75	0.24 fc	0.2 fc
OB	HX	LOUIS POULSEN SATT-MAX-T5H-MRSA-4.5'-14" POLE	(1) 1704H M1	13500	0.75	0.24 fc	0.2 fc
OC	HX	LOUIS POULSEN / HIDELITE * (1) TYPE OD @ 14' / (2) TYPE OD @ 250'-0" - 30' POLE	(2) 1704H M1 / (2) 2504H M1	13500 / 20500	0.75	0.24 fc	0.2 fc
OD	HX	LOUIS POULSEN WATERFRONT BOLLARD	(1) 104H M1	6600	0.75	0.24 fc	0.2 fc
OE	HX	LOUIS POULSEN GREATER BOLLARD	(1) 104H M1	6600	0.75	0.24 fc	0.2 fc
OF	HX	BECA B302	LED	-	-	0.24 fc	0.2 fc

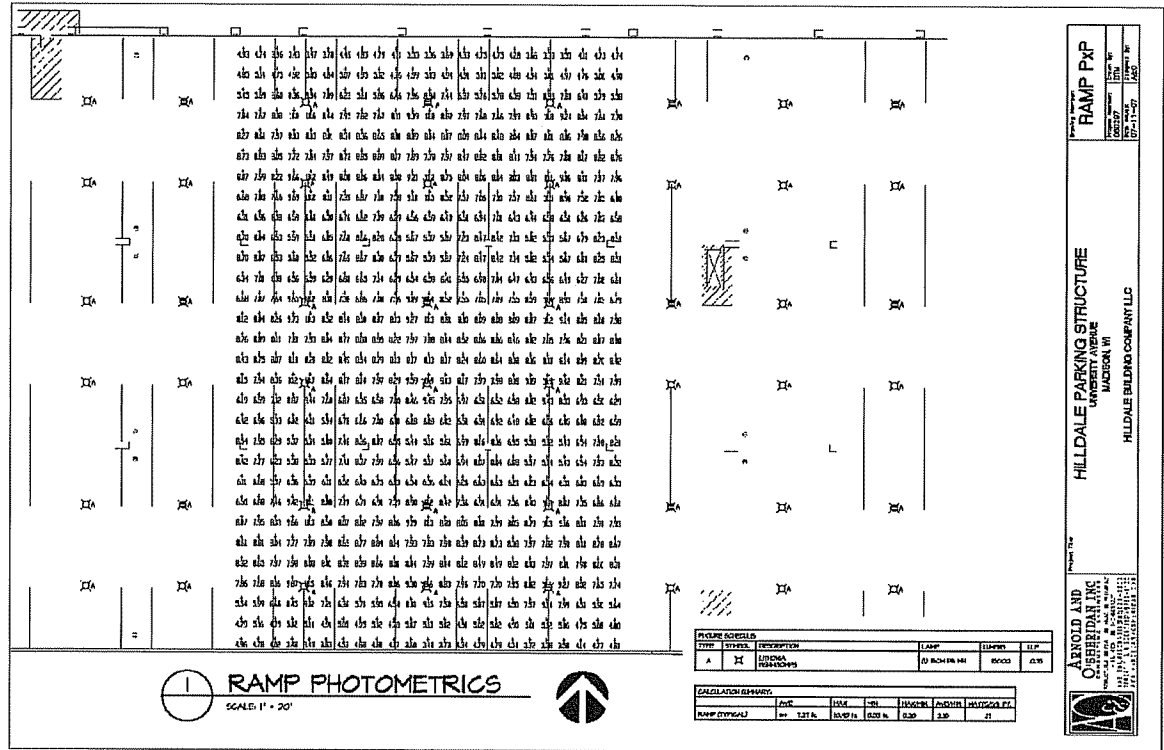
* (1) HIDELITE FLOODLIGHTS MOUNTED ON TOP OF 30' POLE AND (2) POULSEN POST-TOP FIXTURES MOUNTED ON CUSTOM ARPS AT 14' APG.
** FIXTURE TYPE B & C ARE NOT INCLUDED IN PHOTOMETRIC CALCULATIONS

Sheet Title:
SITE PHOTOMETRICS

Revisions:		
No.	Date:	Description:

Project Number:	Drawn By:
060297	DTM
Date Issued:	Reviewed By:
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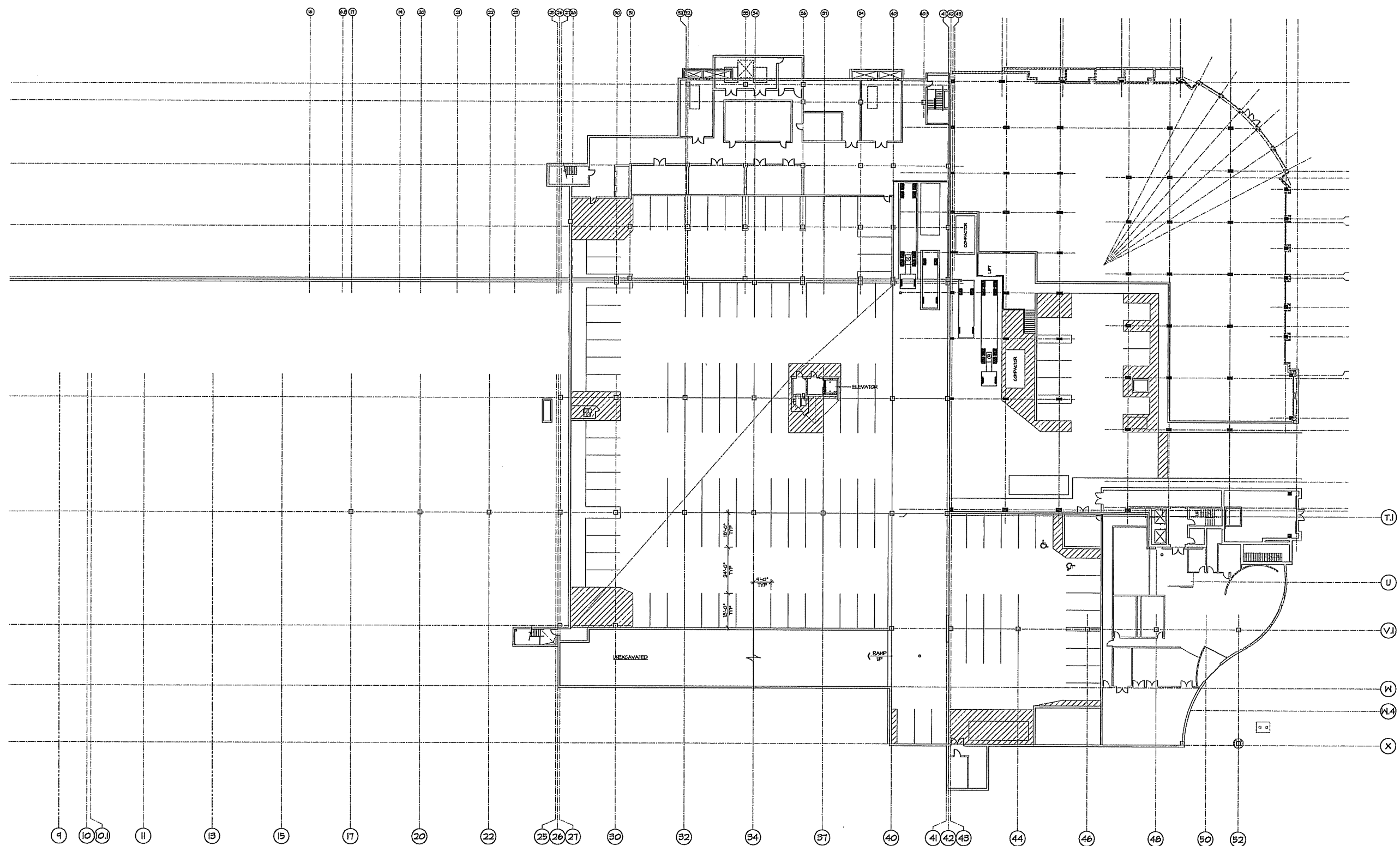
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Sheet Title:
BUILDING R
PARKING LEVEL 1

Revisions:			
No.	Date	Description	By

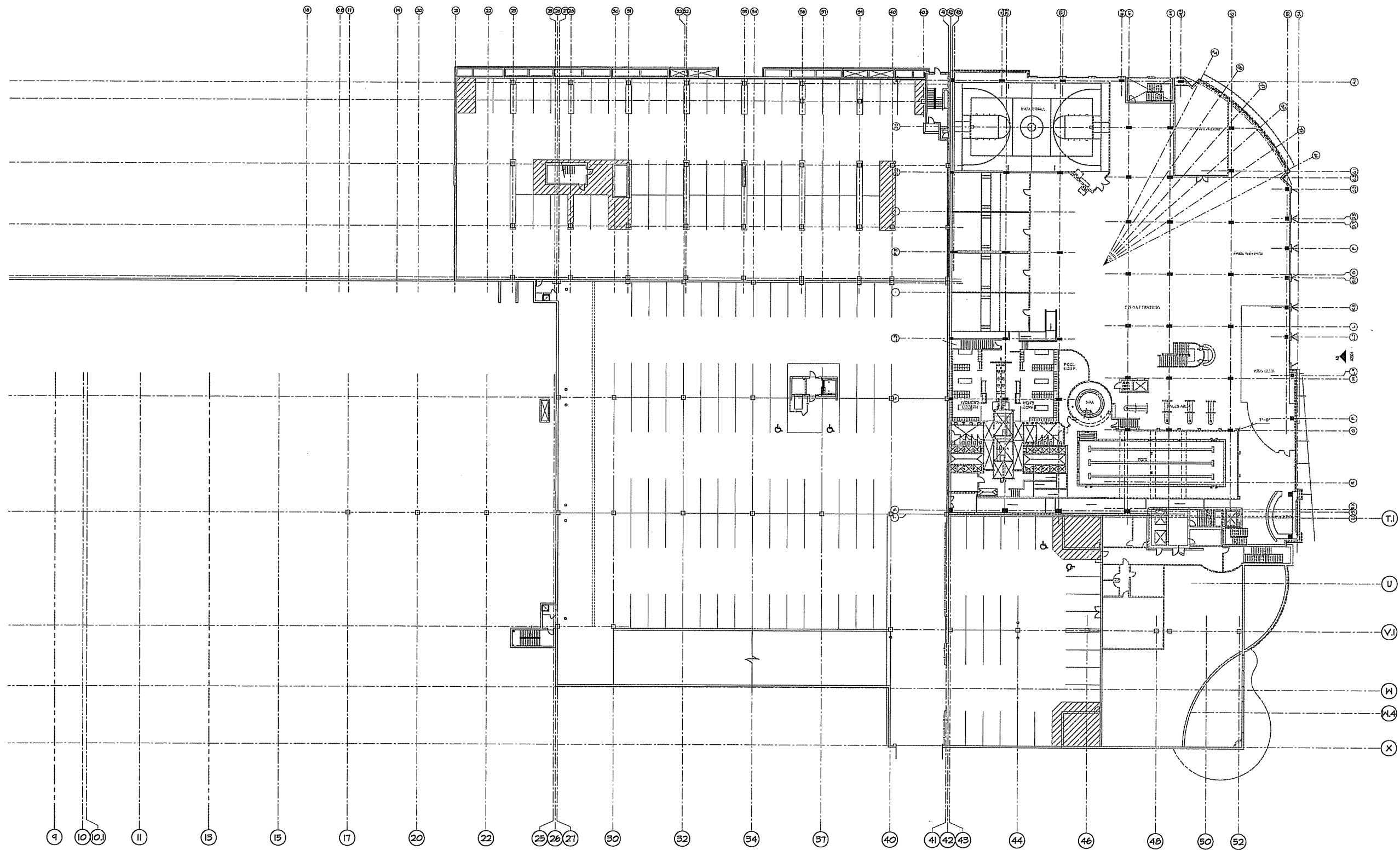
Project Number: 060297	Drawn By: MMO
Date Issued: 12/19/07	Reviewed By: MLS

Sheet Number:
R101



LEVEL 1 PARKING PLAN
SCALE: NONE





1 LEVEL 2 PARKING PLAN
R102 SCALE: NONE



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Sheet Title:			
BUILDING R PARKING LEVEL 2			

Revisions:			
No.	Date:	Description:	By:

Project Number:	Drawn By:
060297	MMO
Date Issued:	Reviewed By:
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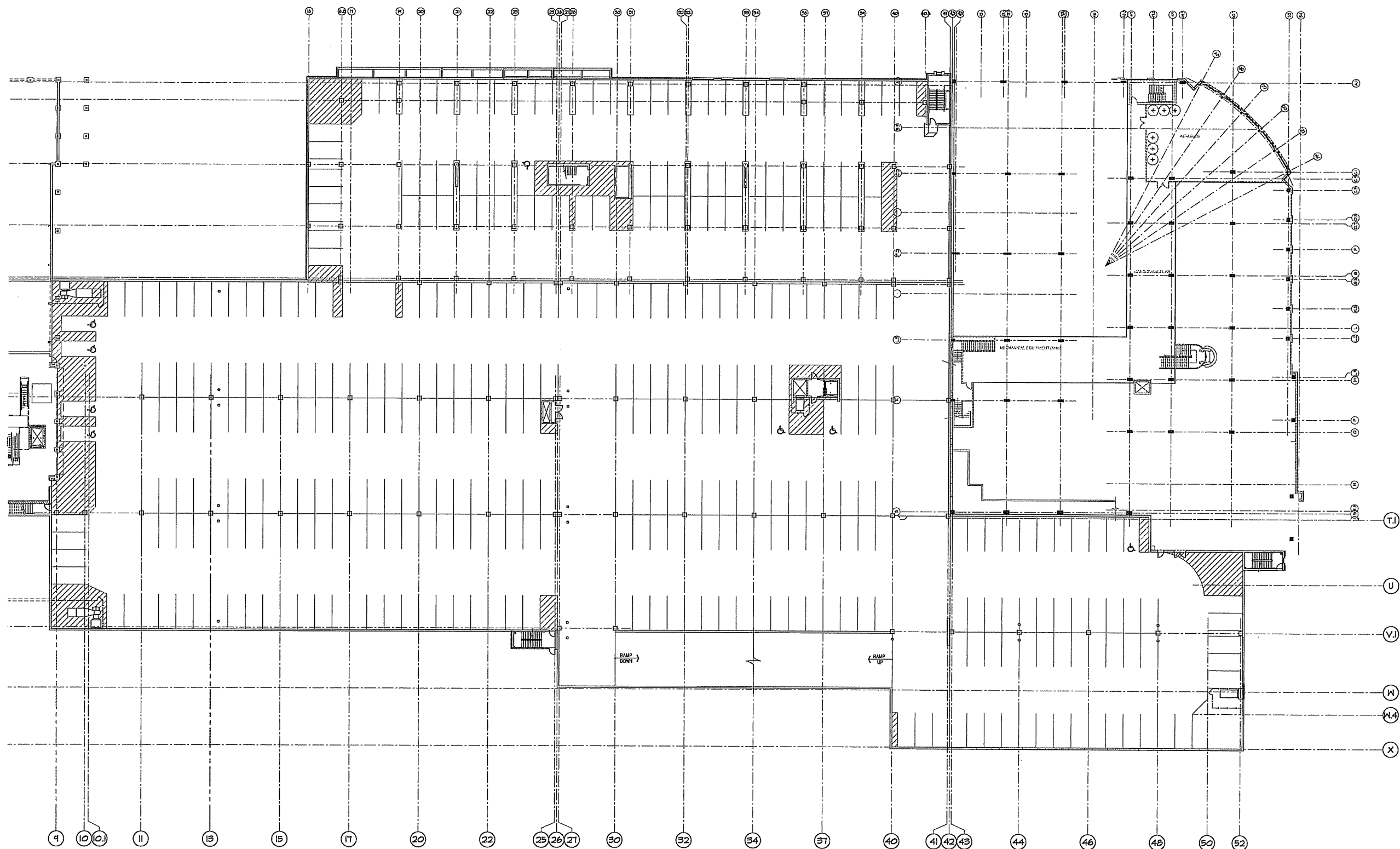
Sheet Number:
R102



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608.261.1111 FAX 608.261.1110
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HILLDALE BUILDING COMPANY LLC



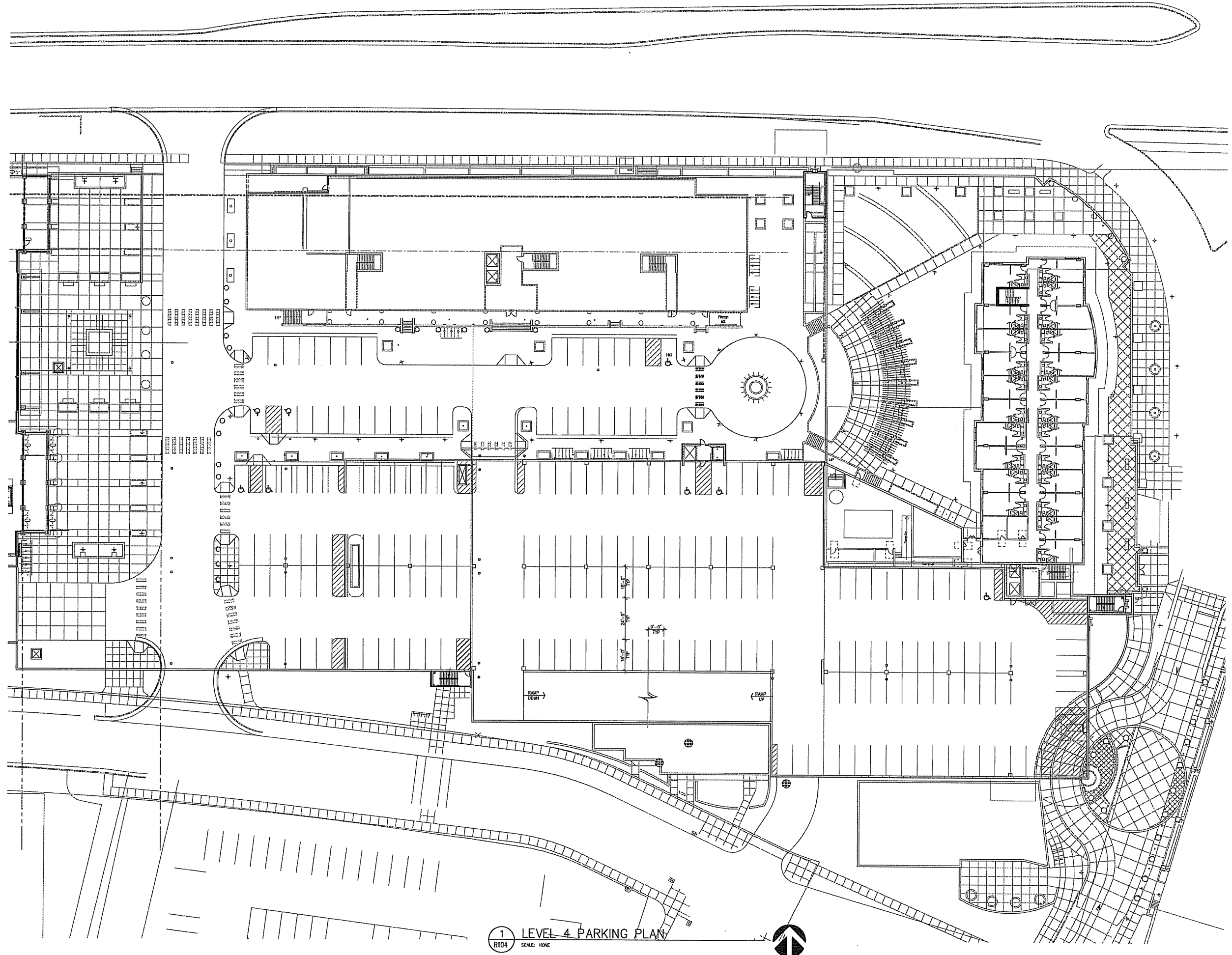
1 LEVEL 3 PARKING PLAN
SCALE: NONE



Revisions:		
No.	Date	Description

Project Number:	Drawn By:
060297	MMO
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12/19/07	MLS

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1 LEVEL 4 PARKING PLAN
SCALE: NONE



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MADISON, WISCONSIN (608) 221-8500
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Sheet Title:
**BUILDING R
PARKING LEVEL 4**

Revisions:		
No.	Revised	By:

Project Number:	Drawn By:
060297	MMO
Date Issued:	Reviewed By:
12/19/07	MLS

Sheet Number:
R104



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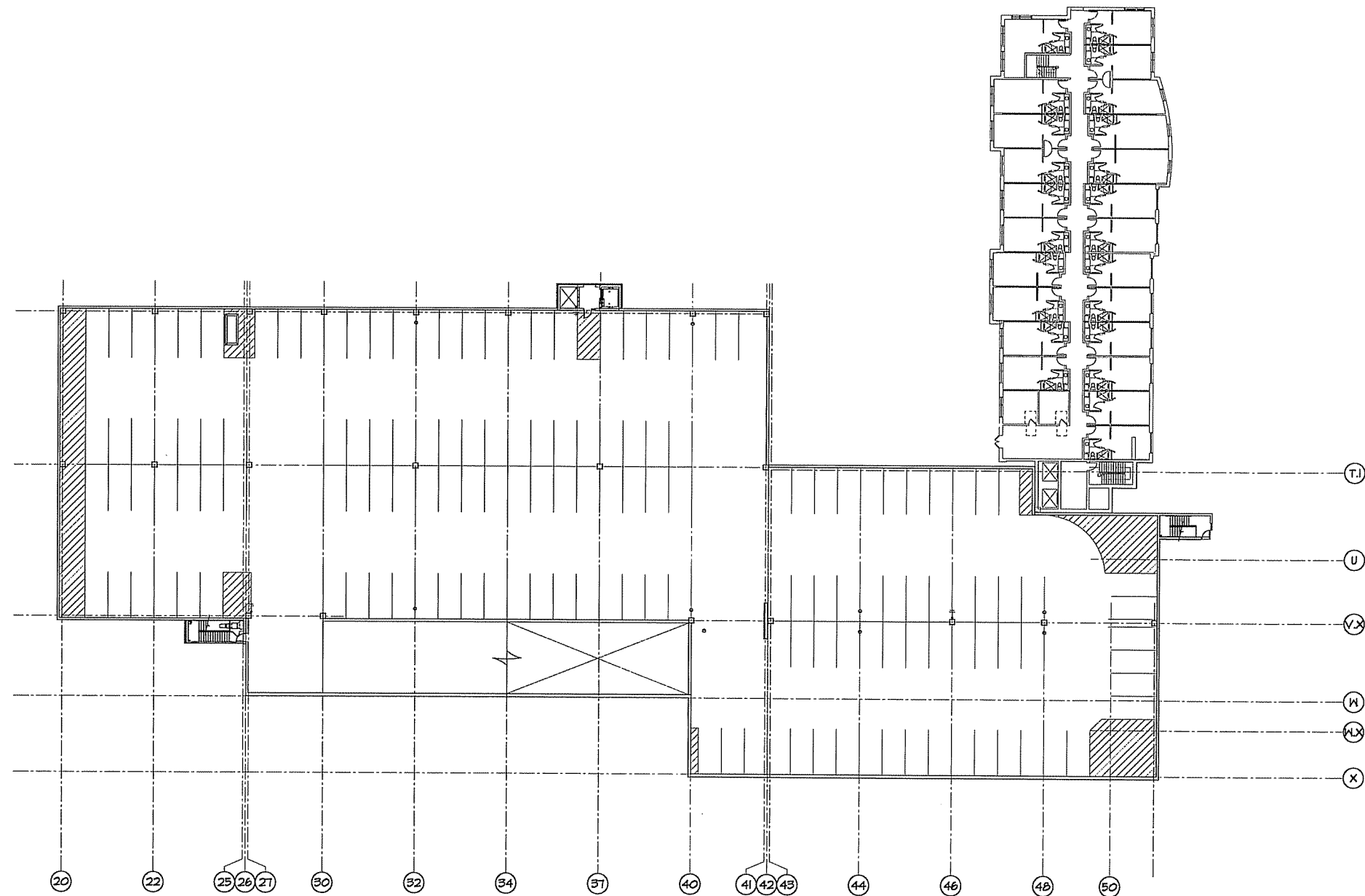
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Sheet Title:
BUILDING R
PARKING LEVEL 5

Revisions:			
No.	Date	Description	By

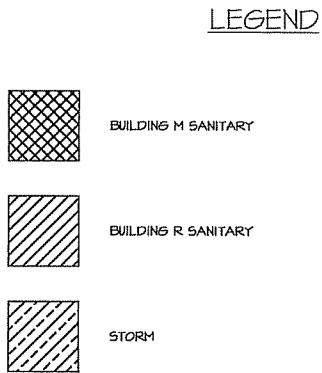
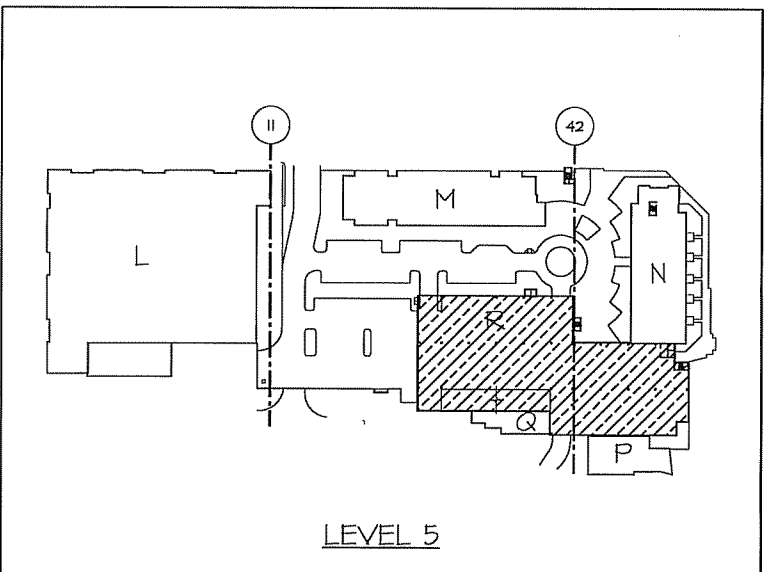
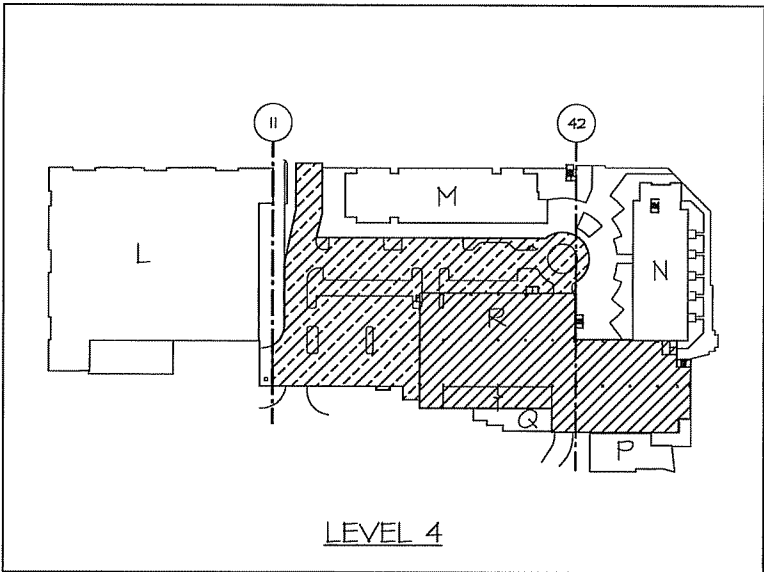
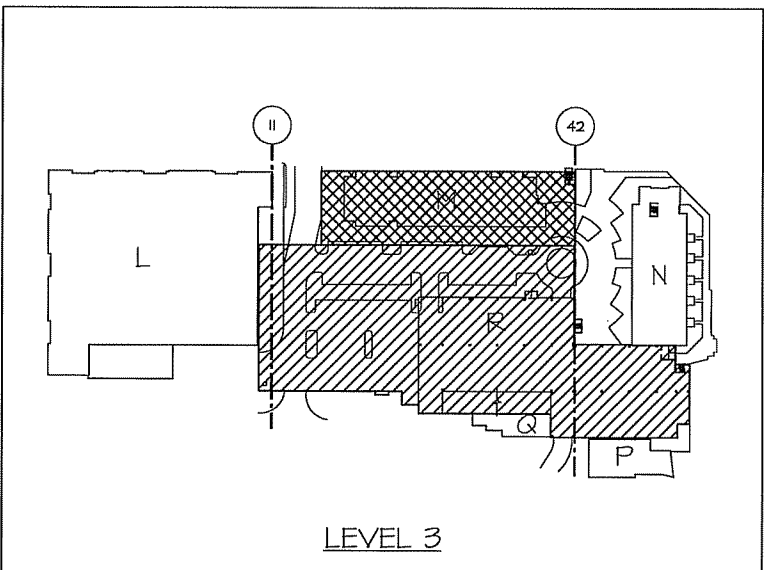
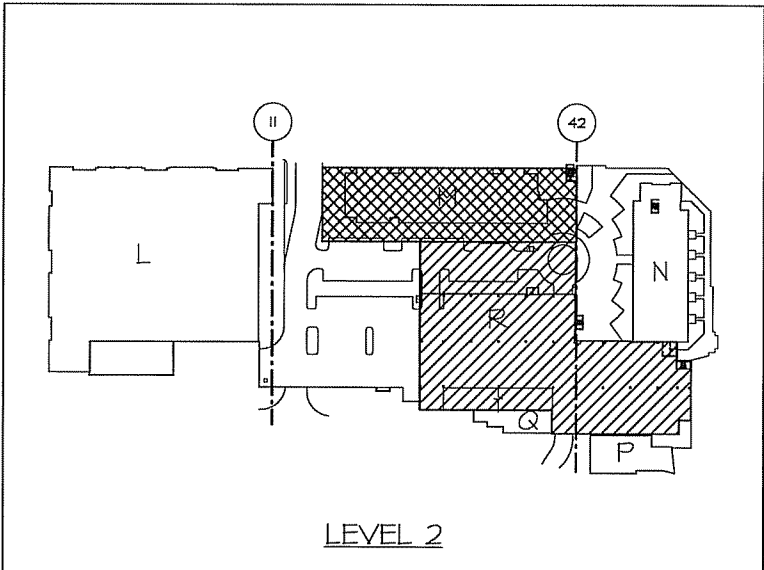
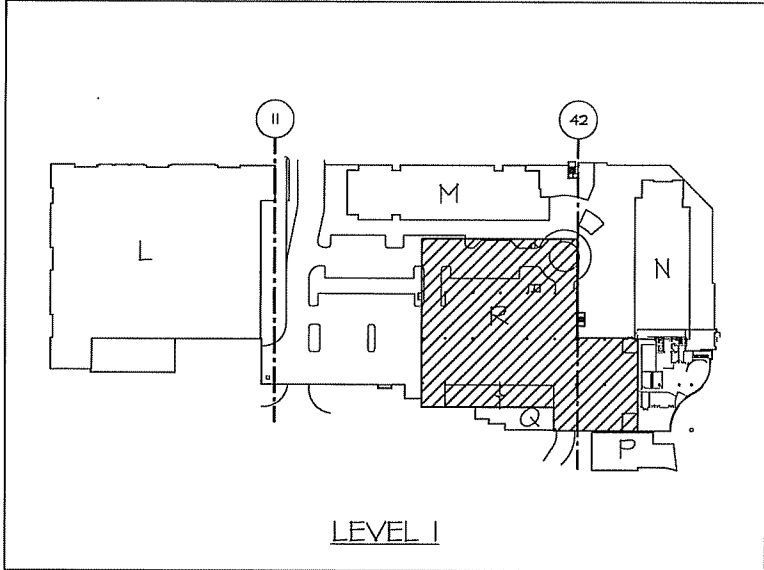
Project Number: 060297	Drawn By: MMO
Date Issued: 12/19/07	Reviewed By: MLS

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R105



LEVEL 5 PARKING PLAN
SCALE: NONE





Revisions:			
No.	Date:	Description:	By:

Project Number:	Drawn By:
060297	MMO
Date Issued:	Reviewed By:
12/19/07	MLS

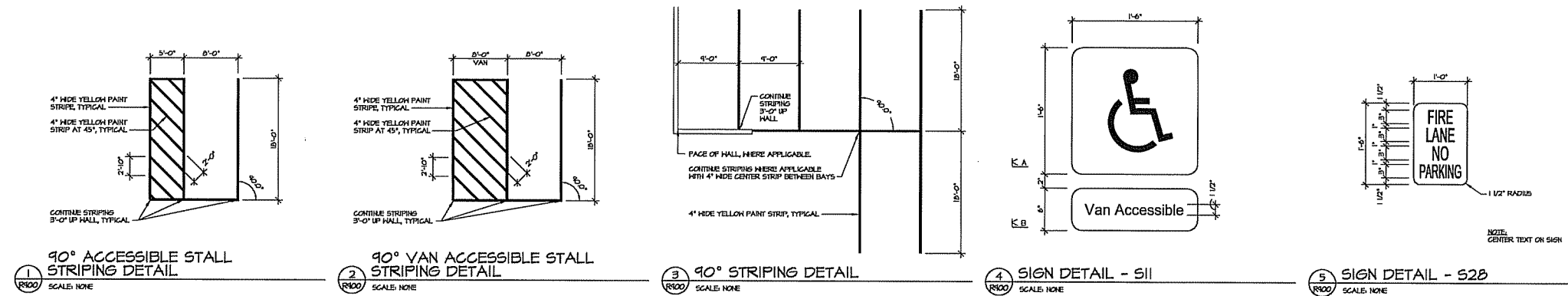


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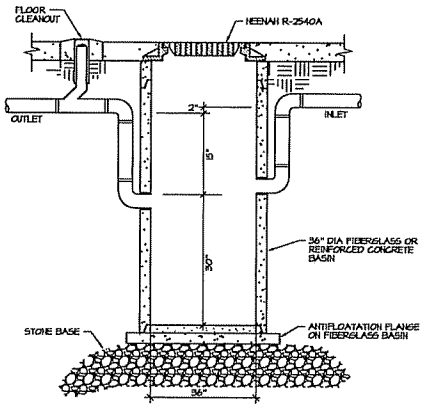
IGN SCHEDULE AND DETAILS

Project Number:	Drawn By:
0297	MMO
Issued:	Reviewed By:
1/19/07	MLS

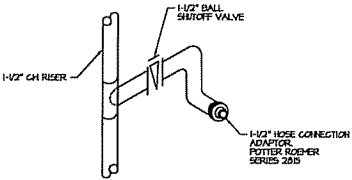
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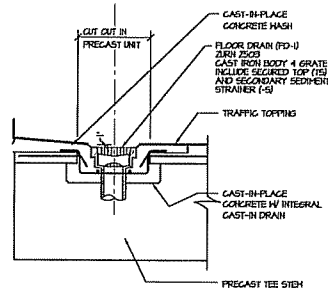
PLUMBING SCHEDULE			
DEVICE NO.	MANUF.	MODEL NO.	DESCRIPTION
FD-1	ZURN	Z 503 DRAIN	CAST IRON BODY AND TOP, INCLUDE (F-15) SECONDARY STRAINER.
FD-2	ZURN	FD-2211-ST DRAIN	PVC BODY, NICKEL-BRONZE HEAD. INCLUDE STAINLESS STEEL SECURING SCREWS.
GO	ZURN	GO-3455 FINISHED CLEANKUT	PVC BODY, ABS PLUG, CASTIRON ADJUSTABLE HEAD, NICKEL BRONZE COVER.
	ZURN	2 INCH VERTICAL CLEANKUT ACCESS COVER	CAST IRON TEE, ABS PLUG, NICKEL BRONZE INCLUDE FOR FINISHED AREAS.
HB-1	NIBCO	505-TO-66 BALL VALVE	BRONZE, STAINLESS STEEL BALL 4 TRIP, FULL PORT, SOLDER OR THTREADED ENDS.
	POTTER ROEBER	2015 HOSE CONNECTION	BRASS, PIPE THREAD TO 15 HOSE CONNECTION ADAPTER.
RPT BACKFLOW PREVENTION DEVICE	HATTS	1/4" SERIES RPZ	BRONZE, REPLACEABLE CHECK UNITS, (15PSI) PRESSURE RATING, BALL SHUTOFF VALVES, ASSE 1015. INCLUDE STRAINER.
SUMP AND PUMP (ELEVATOR)	LITTLE GIANT	SERIES D-CBA	SUBMERSIBLE PUMP, BRONZE HOUSING, OIL-FILLED, INTEGRAL PRESSURE SWITCH, CAPACITY OF 20 GPM AT 15 FEET TDH, 120 VOLT, SINGLE PHASE.
	AK INDUSTRIES	BASH	FIBERGLASS, 18-INCH DIAMETER BY 22-INCH DEEP, OPEN GRATE.



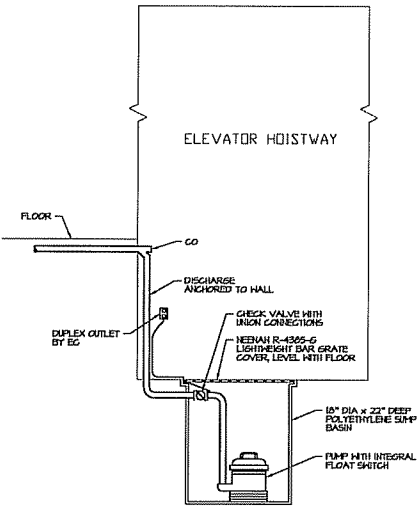
1 GARAGE CATCH BASIN DETAIL
P100 SCALE: NONE



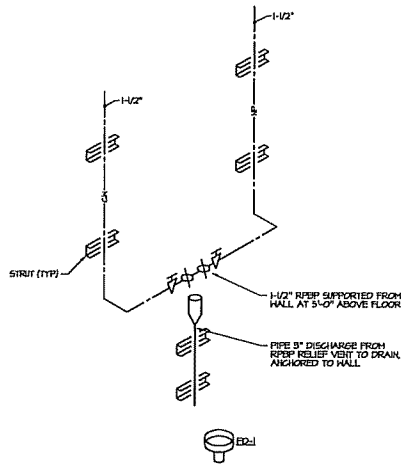
2 HOSE BIB (HB-1)
P100 SCALE: NONE



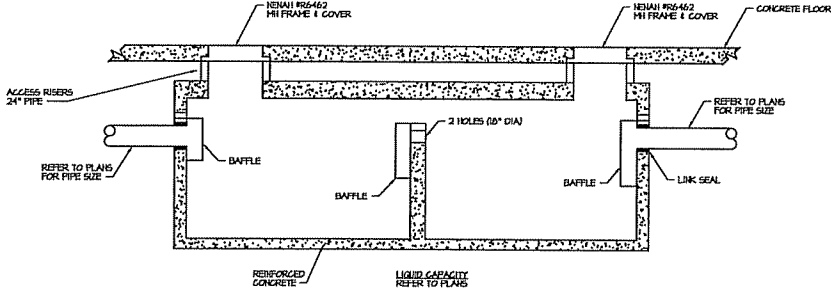
3 FLOOR DRAIN DETAIL (FD-1)
P100 SCALE: NONE



5 SUMP PUMP DETAIL
P100 SCALE: NONE



6 REDUCED PRESSURE BACKFLOW PREVENTER
P100 SCALE: NONE



4 SAND/ OIL INTERCEPTOR
P100 SCALE: NONE

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ELECTRICAL ■ TECHNOLOGY
MADISON, WISCONSIN 53703-1500
PH: 608/261-1111 FAX: 608/261-1114
WWW.ARNOLOANDOSHERRIDAN.COM

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Sheet Title:
PLUMBING LEGEND, DETAILS, & INDEX

Revisions:		
No.	Date:	Description:

Project Number:	Drawn By:
060297	JML
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Sheet Number:
P100R



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MADISON, WISCONSIN 53703-1500
BROOKFIELD, WISCONSIN 53005-4130
WWW.ARNOLDANDOSHERIDAN.COM

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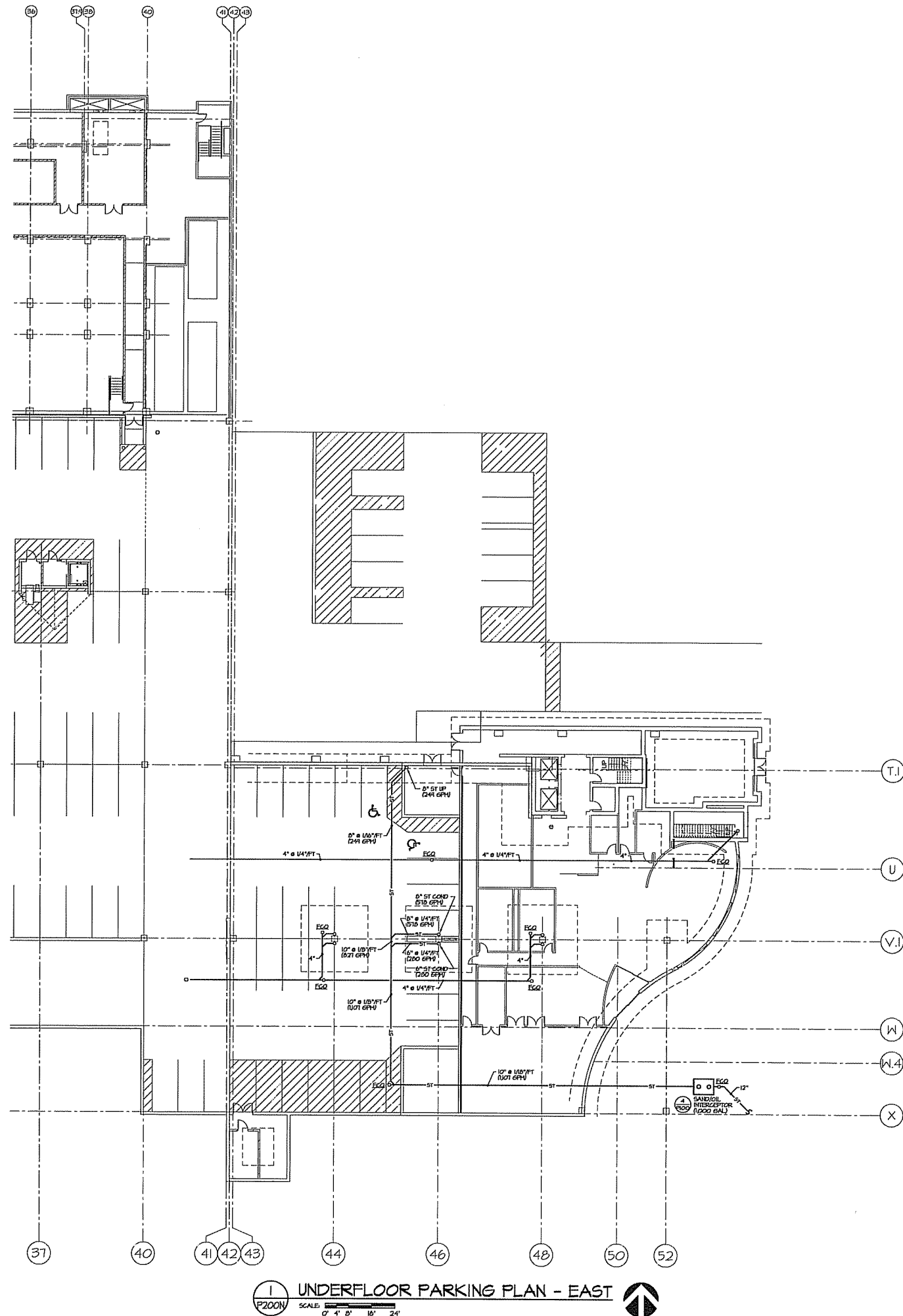
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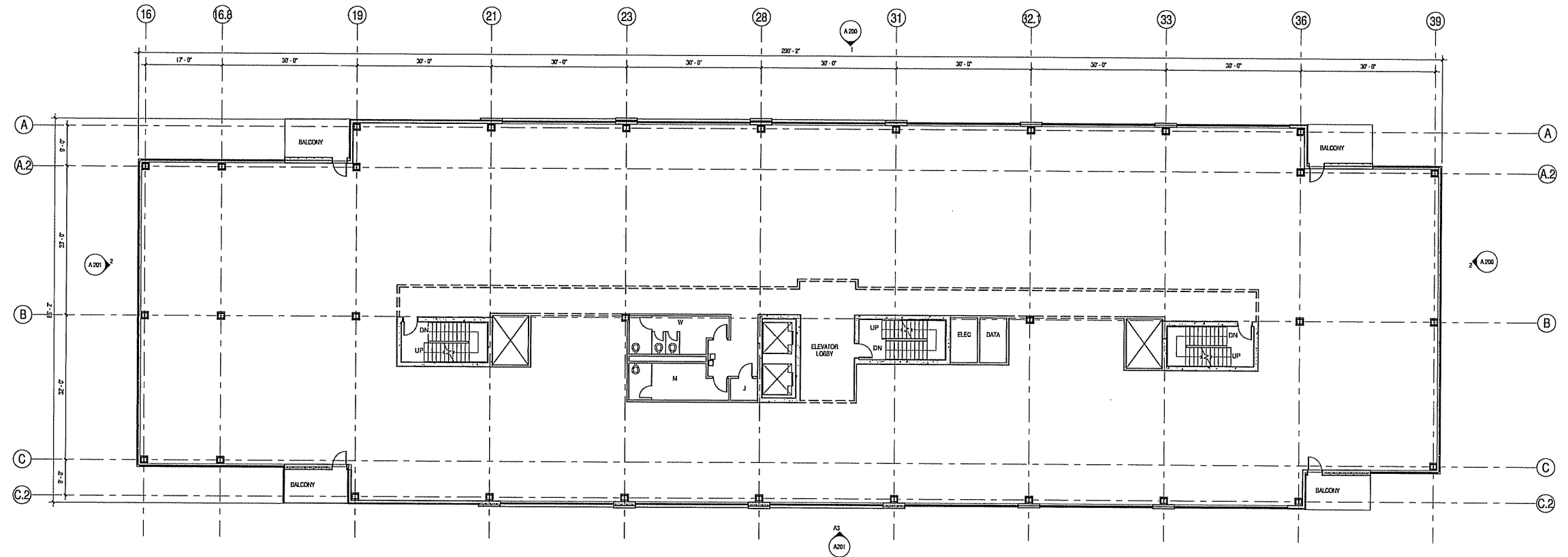
Sheet Title:
BUILDING R
UNDERFLOOR PARKING
PLAN - EAST

Revisions:		
No.	Date:	Description:

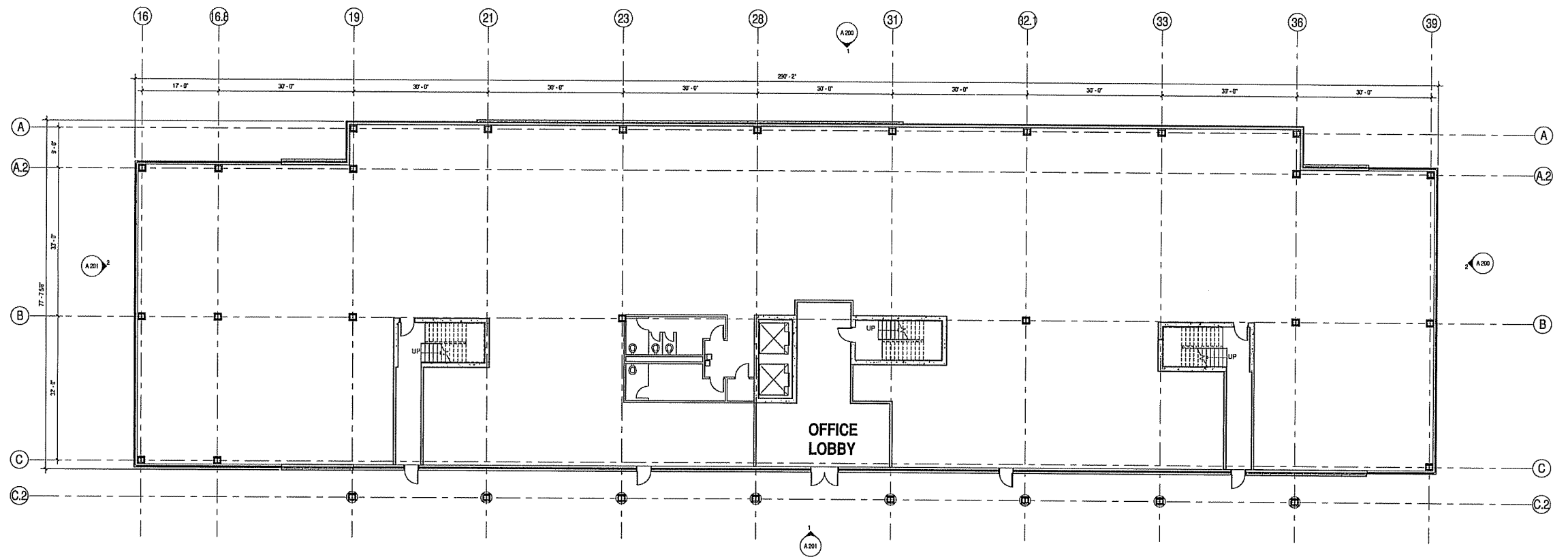
Project Number:	Drawn By:
060297	JML
Date Issued:	Reviewed By:
12/19/07	A&O

Sheet Number:
P200N





2 SECOND TO FIFTH FLOOR PLANS
 302' x 147' 6"
 SCALE: 3/32" = 1'-0"



1 FIRST FLOOR PLAN
 302' x 147' 6"
 SCALE: 3/32" = 1'-0"

Revisions:			
No.	Date:	Description:	By:

Project Number:	Drawn By:
Date Issued:	MD
12-19-07	Reviewed By:
	CG



eppstein uhen : architects
milwaukee 333 East Chicago Street
Milwaukee, Wisconsin 53202
tel 414 271 5350 fax 414 271 7704
madison 222 West Washington Ave, Suite 600
Madison, Wisconsin 53703
tel 608 442 5350 fax 608 442 6600

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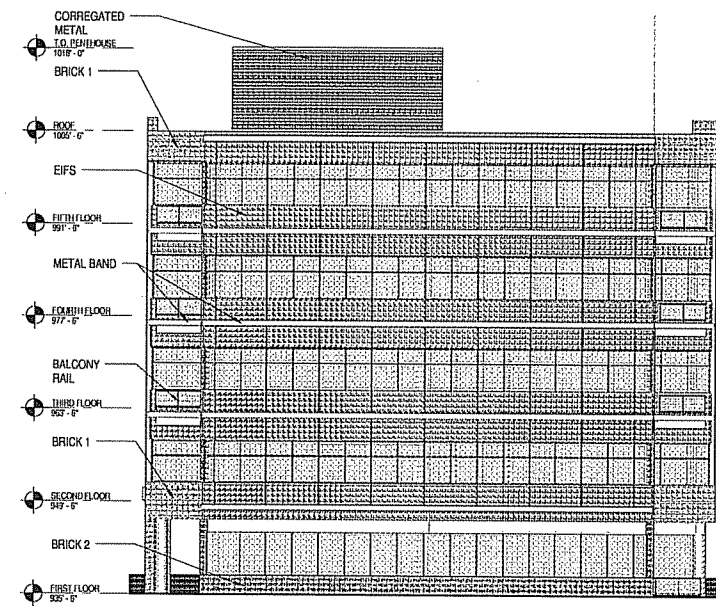
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Sheet Title:
NORTH & EAST ELEVATIONS

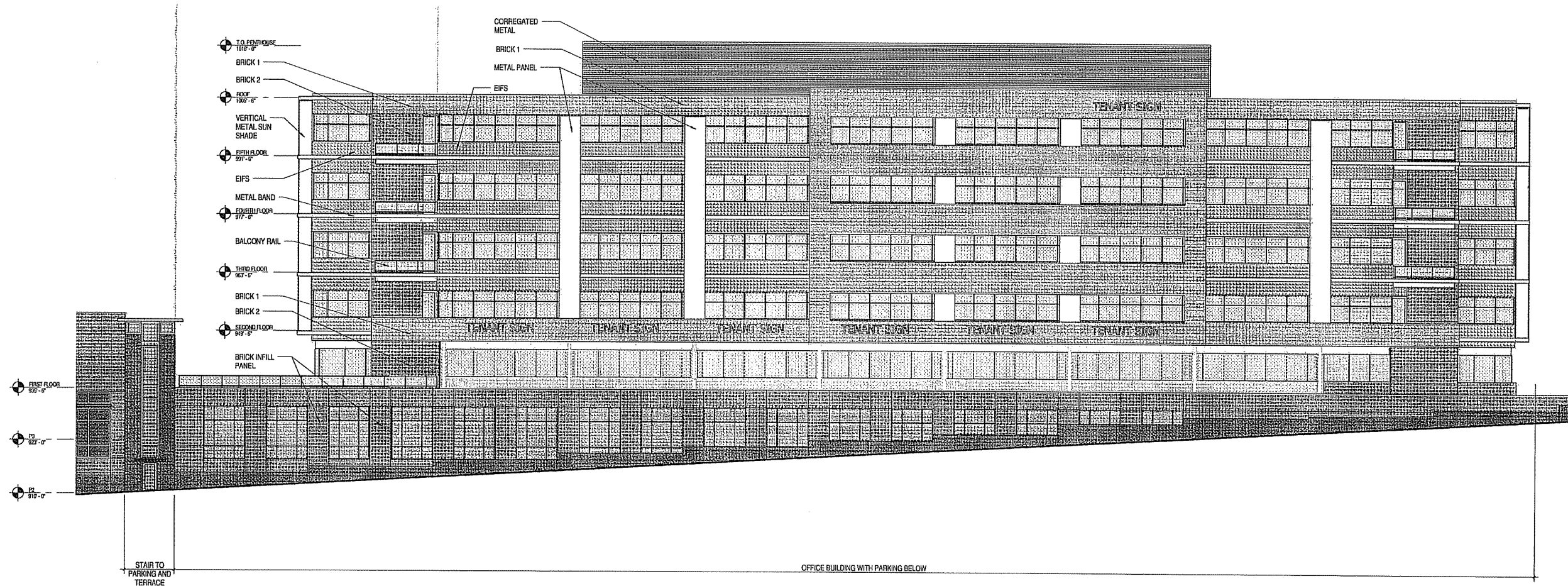
Revisions:			
No.	Date:	Description:	By:

Project Number:	Drawn By:
	MD
Date Issued:	Reviewed By:
12-19-07	CG

Sheet Number:
A 200



2 EAST ELEVATION
3/32" = 1'-0"
0 4 8 12 16 20
SCALE: 3/32" = 1'-0"



1 NORTH ELEVATION
3/32" = 1'-0"
0 4 8 12 16 20
SCALE: 3/32" = 1'-0"



eppstein uhen : architects
milwaukee 333 East Chicago Street
Milwaukee, Wisconsin 53202
tel 414 271 5350 fax 414 271 7704
madison 222 West Washington Ave. Suite 650
Madison, Wisconsin 53703
tel 608 442 5350 fax 608 442 6500

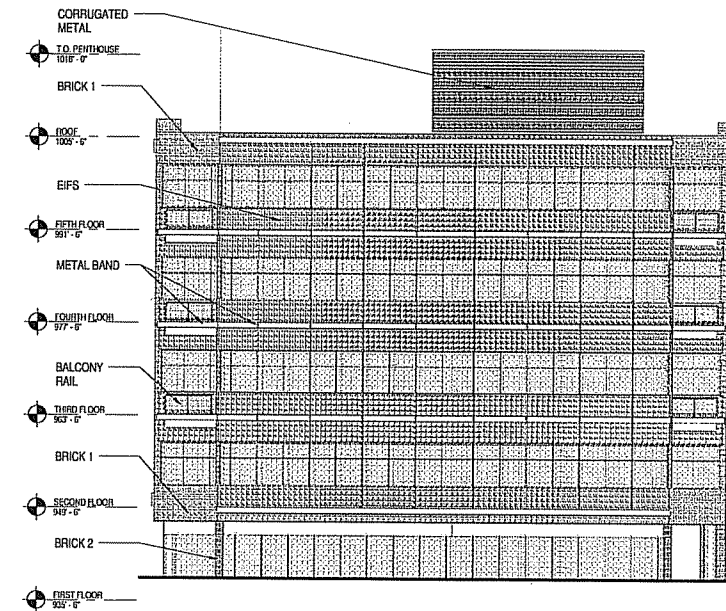
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Sheet Title:
SOUTH & WEST
ELEVATIONS

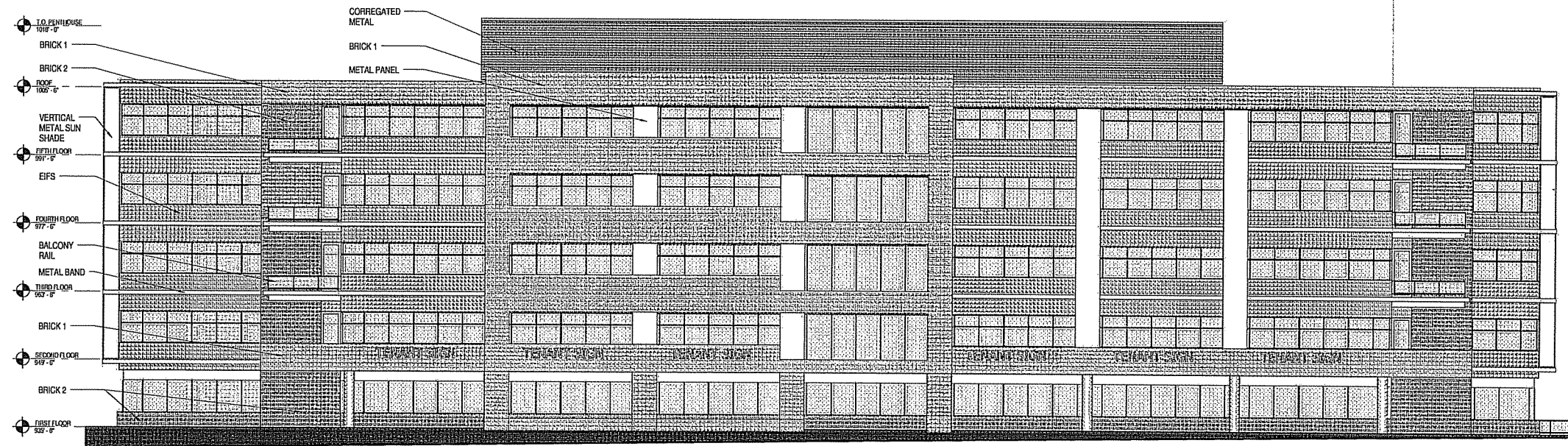
Revisions:			
No.	Date	Description	By:

Project Number:	Drawn By:
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Sheet Number:
A 201



2 WEST ELEVATION
3/32" = 1'-0"
SCALE: 3/32" = 1'-0"



1 SOUTH ELEVATION
3/32" = 1'-0"
SCALE: 3/32" = 1'-0"