

Scale 1"=60'

0 20 40 60

[illegible]

HILLDALE LAND COMPANY LLC

Sheet Title:
Master Plan
GDP Amendment

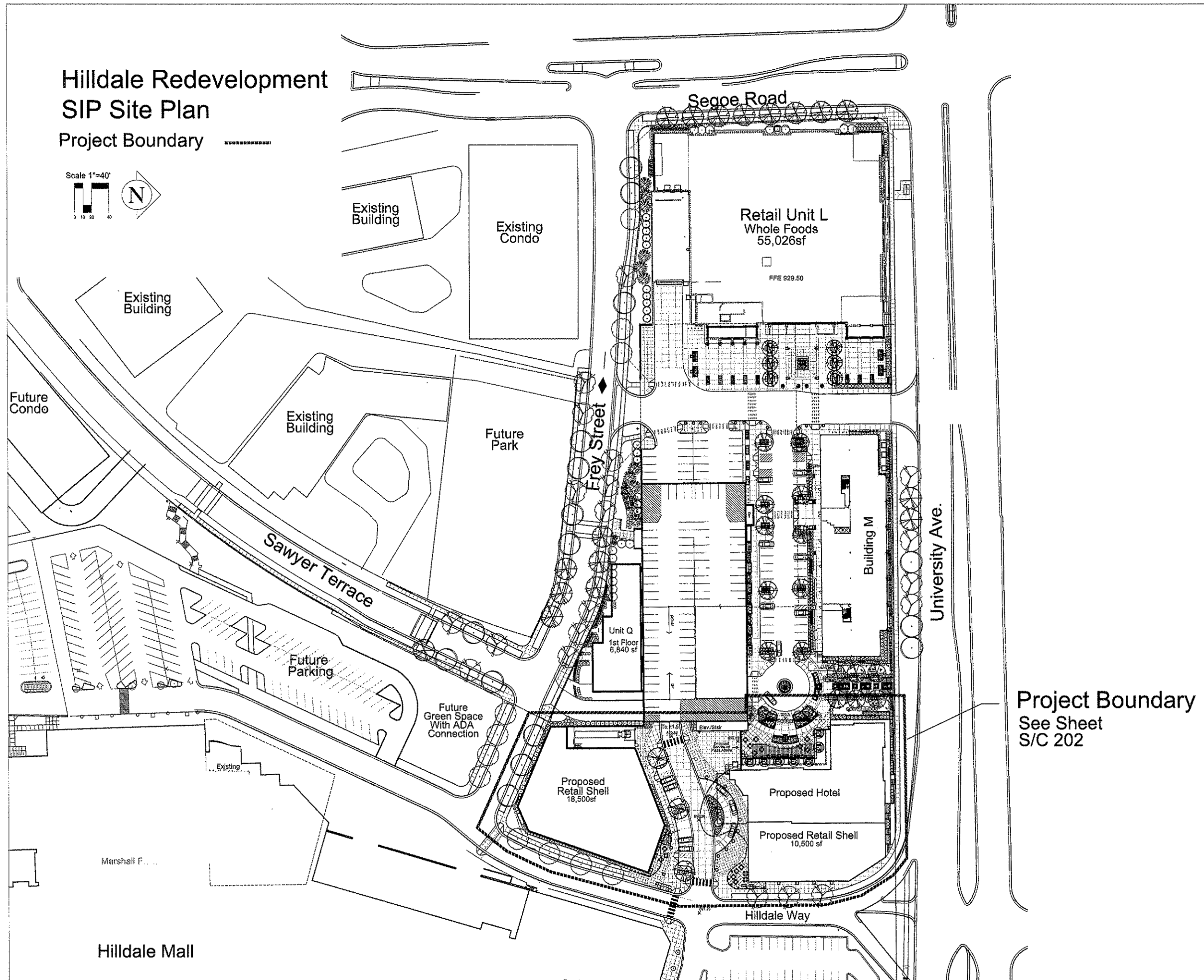
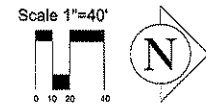
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Project Number:	Drawn By: MS
Date Issued: 05-07-08	Reviewed By: KS

Sheet Number:
S/C 100

Hilldale Redevelopment SIP Site Plan

Project Boundary



Project Boundary
See Sheet
S/C 202

KEN SAIKI
DESIGN INC
LANDSCAPE
ARCHITECTS
303 S. PATTERSON
SUITE 200
MADISON, WI 53708
Phone: 608.551.1560
Fax: 608.551.2330
www.KSG-16.com

HILLDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI

HILLDALE LAND COMPANY LLC

Sheet Title:
SIP LOCATION PLAN

Revisions:			
No.	Date	Description	By

Project Number:	Drawn By:
05-07-08	MS
Date Issued:	Reviewed By:
05-07-08	KS

Sheet Number:
S/C 200

Scale 1"=20'

0 5 10 20

N

Scale 1"=20'



Existing
Parking Lot

Match Line

Segoe Road

Retail Unit L
Whole Foods
55,026sf

FFE 929.50

5'-0"
7'-6"

Frey Street

and

SEE CIVIL DRAWINGS
FOR ROAD ALIGNMENT,
CURB RAVPS, SIGNAGE,
AND PAVEMENT MARKING

Bus
Stop

HILLDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI

HILDALE LAND COMPANY LLC

Sheet Title:
SITE LAYOUT PLAN
WEST

Revisions:	
No. Date:	Description:

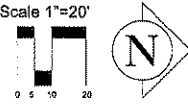
Project Number:	Drawn By:
	MS
Date issued:	Reviewed By:
05-07-08	KS

Sheet Number:
S/C 201

KEN SAIKI
DESIGN INC.
LANDSCAPE
ARCHITECTS
303 S. PATERSON
SUITE 201
MADISON, WI 53703
phone: 608.251.3500
fax: 608.251.4333
www.ksd-la.com

Hilldale Redevelopment Site Layout Plan (East)

Scale 1"=20'



Future
Green Space
With ADA
Connection

Proposed
Retail Shell
18,500sf

Unit Q
1st Floor
6,840 sf

Proposed Hotel

Proposed Retail Shell
10,500 sf

Existing
Parking

Sentry

Building M

University Ave.



HILLDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI

HILDALE LAND COMPANY LLC

Sheet Title:

SITE LAYOUT PLAN
EAST

Revisions:

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Project Number:	Drawn By:
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MS

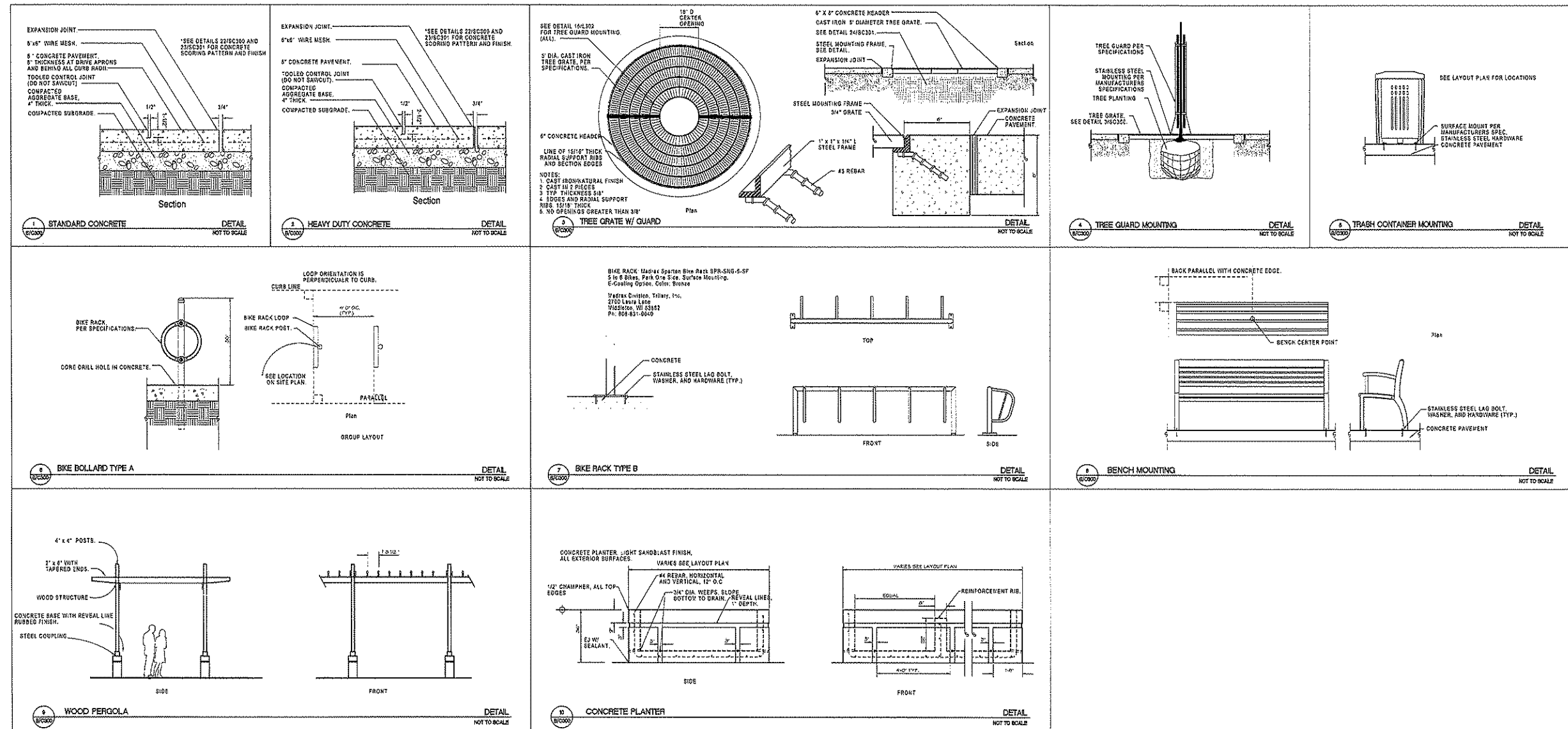
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QS-07-08 KS

Sheet Number:

S/C 202

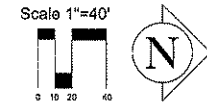
Hilldale Redevelopment Site Details



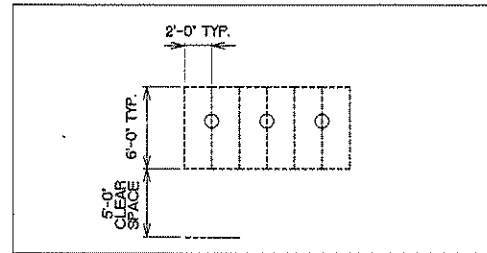
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No.	Date	Description

Project Number:	Drawn By:
05-07-08	MS
Date Issued:	Reviewed By:
05-07-08	KS

Hilldale Redevelopment SIP Site Plan Bike Parking Locations



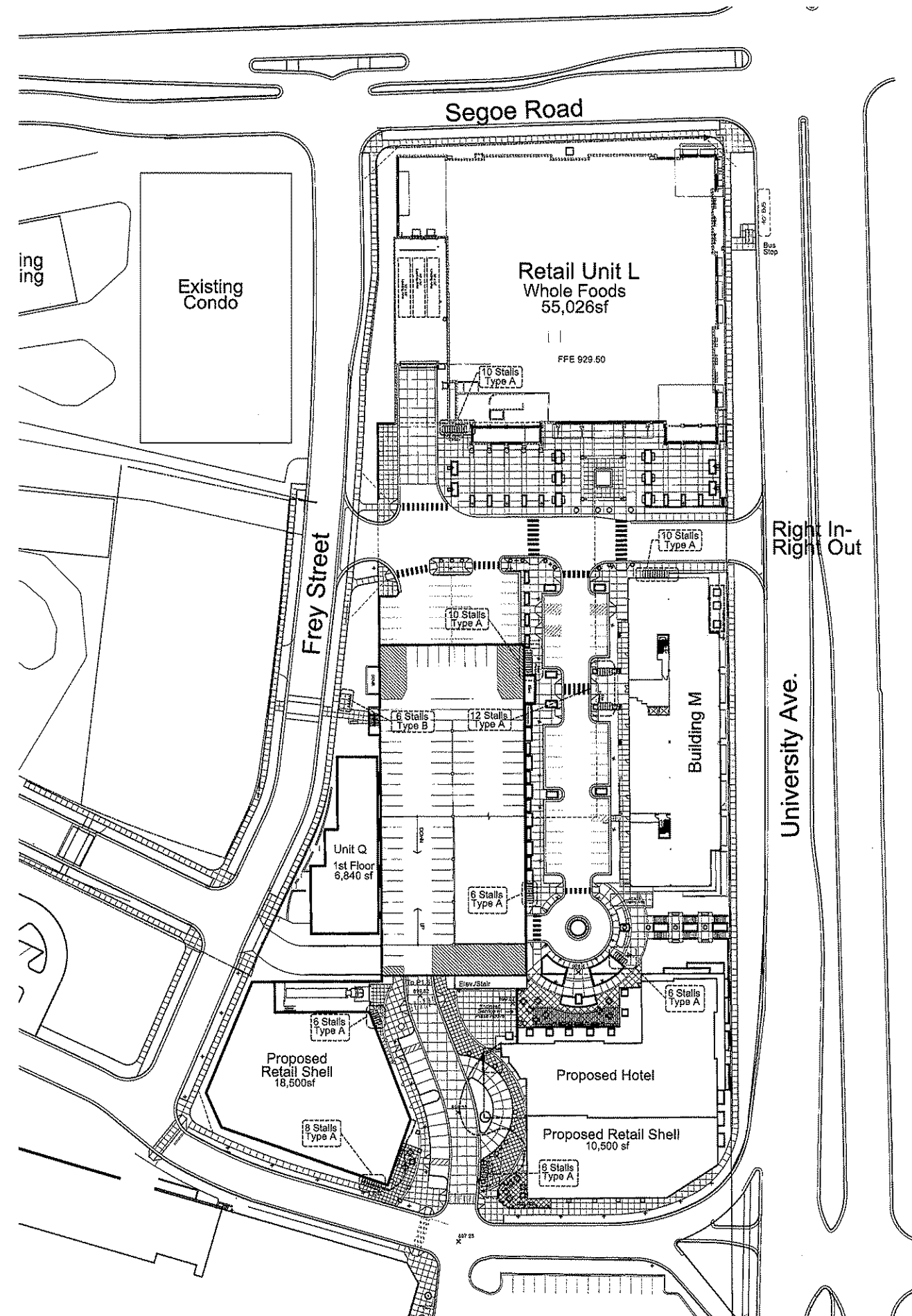
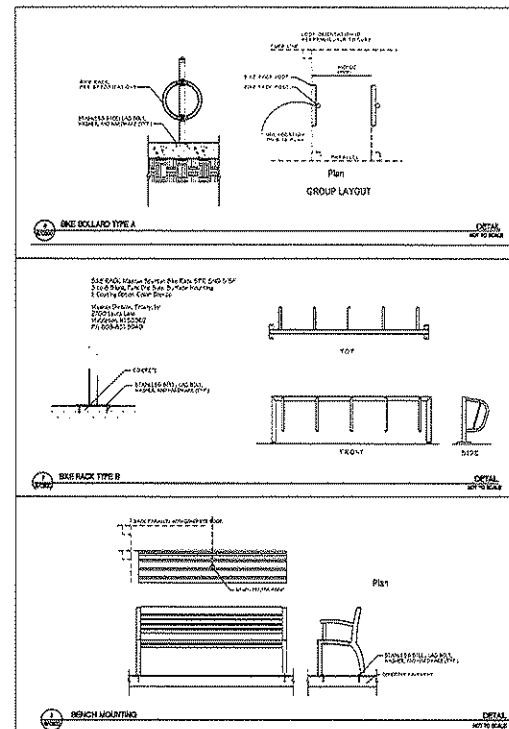
Typical Bike Stall Layout



Bike Stall Requirements

Commercial	
City of Madison Requirements: 1 bike stall per 10 auto stalls for the first 50 bike stalls. Then .5 bike stalls per 10 auto stalls.	
50 bike stalls (1 per 10)	500 auto
10 bike stalls (.5 per 10)	200 auto
60 bike stalls total for	700 auto stalls

Bike Details



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HILLDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
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HILLDALE LAND COMPANY LLC

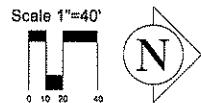
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**BIKE PARKING
REQUIREMENTS**

Revisions:		
No.	Date	Description

Project Number:	Drawn By:
	M/S
Date issued:	Reviewed By:
05-07-08	KS

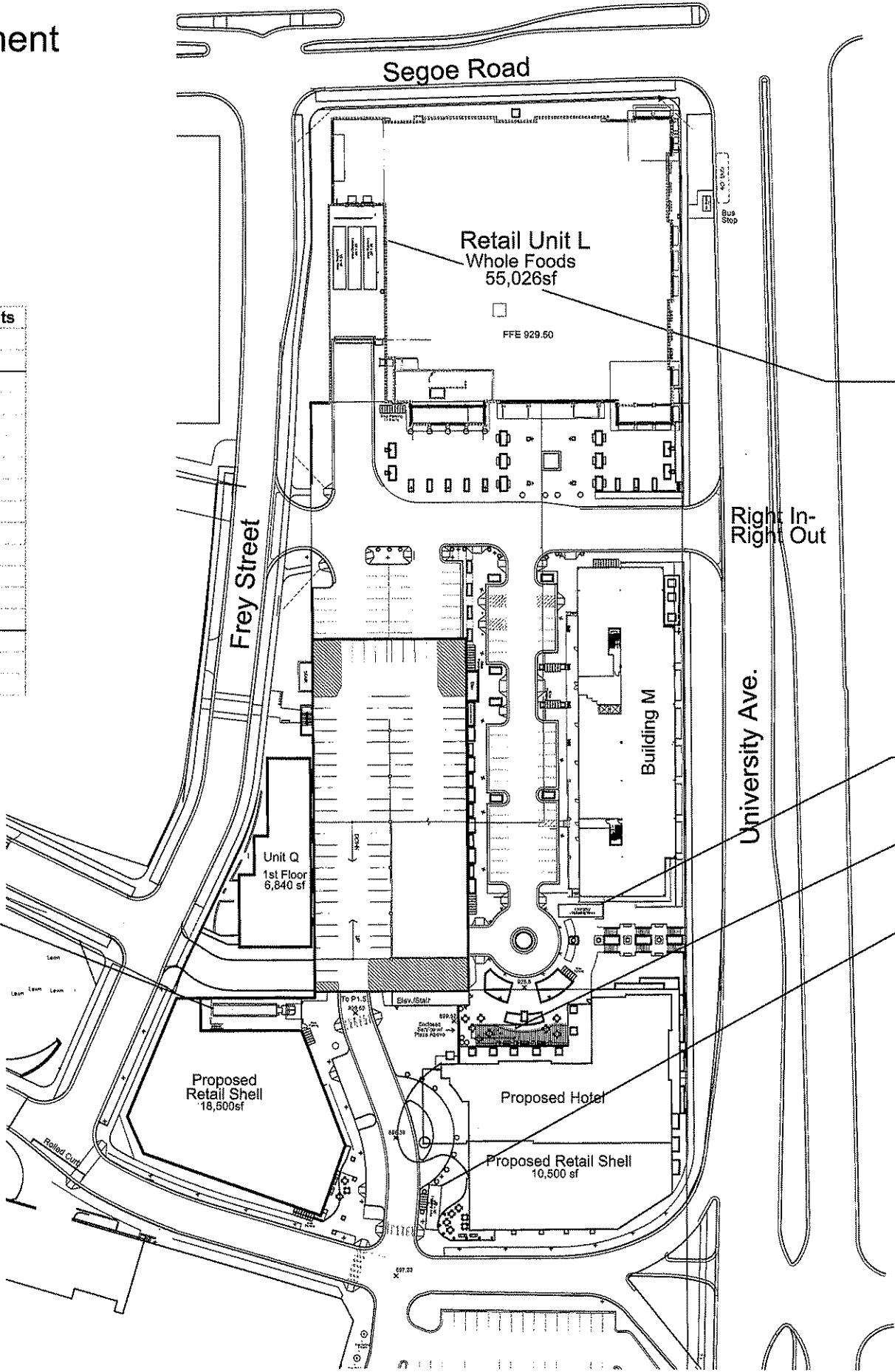
Sheet Number:
S/C 303

Hilldale Redevelopment SIP Site Plan Loading Areas



City of Madison Loading Area Requirements	
Loading Areas	Building
(3) 10' x 50'	Building L Grocery
(1) 10' x 35'	Building M
(1) 10' x 35'	Proposed Hotel
(1) 10' x 35'	Proposed North Retail
(1) 10' x 35'	Proposed South Retail
(4) 10'x 35'	Total Requirements
(3) 10' x 50'	

(1)10' x 50' Loading Area



(3)10' x 50' Loading Areas

(1)10' x 35' Loading Area

(1)10' x 35' Loading Area
Below Upper Plaza

(1)10' x 35' Loading Area

KEN SAKI
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HILLDALE SHOPPING CENTER
702 N. MIDVALE BOULEVARD
MADISON, WI

HILLDALE LAND COMPANY LLC

Sheet Title:
LOADING AREA
DIAGRAM

Revisions:		
No.	Date	Description

Project Number:	Drawn By:
	MS
Date Issued:	Reviewed By:
05-07-08	KS

Sheet Number:
S/C 304

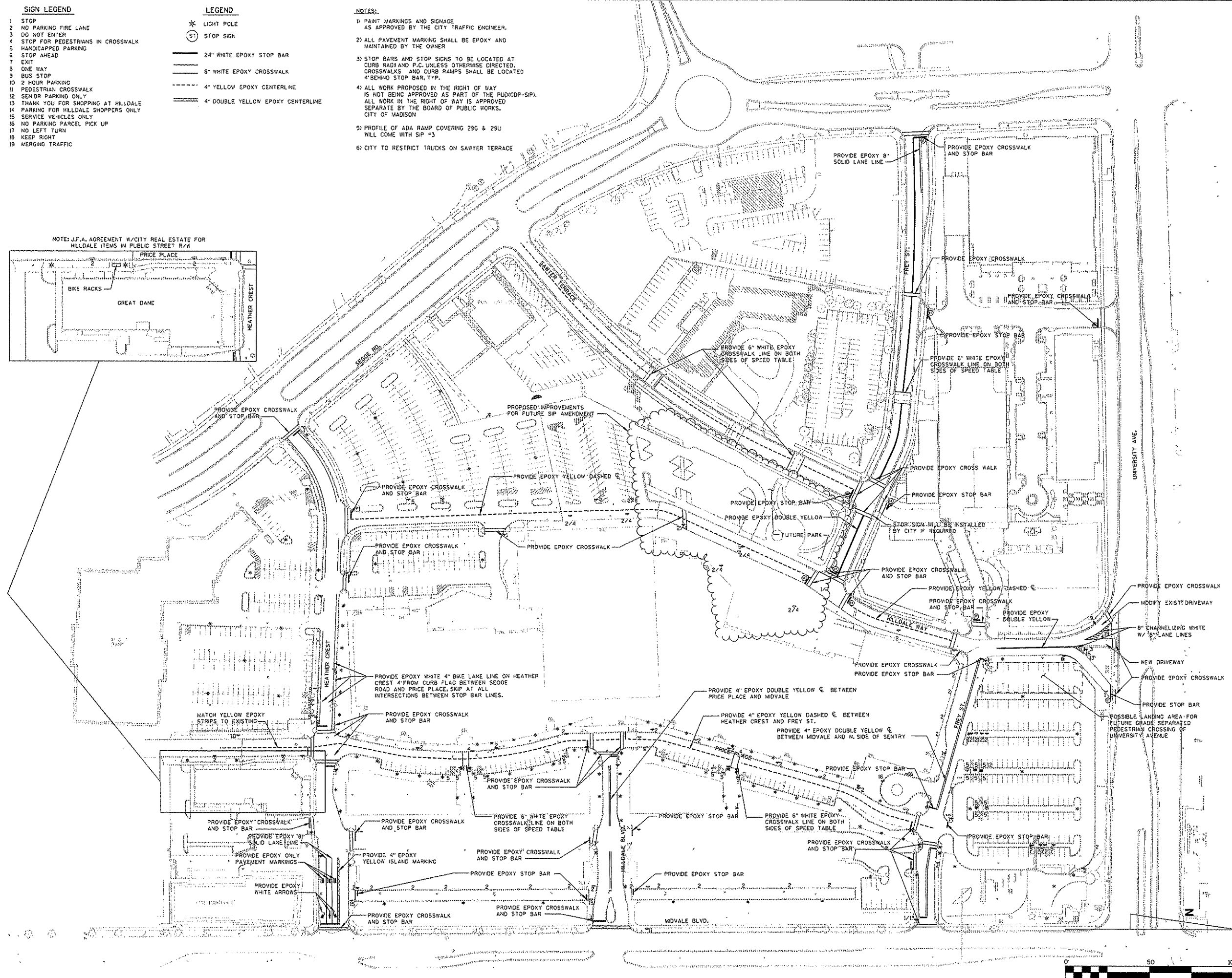
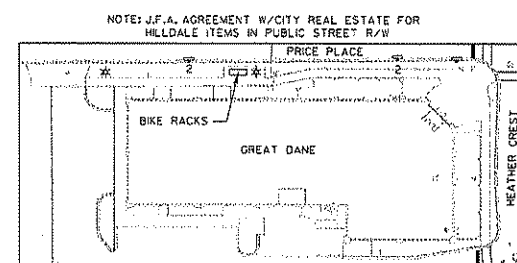
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1  STOP
2  NO PARKING FIRE LANE
3  DO NOT ENTER
4  STOP FOR PEDESTRIANS IN CROSSWALK
5  HANDICAPPED PARKING
6  STOP AHEAD
7  EXIT
8  ONE WAY
9  BUS STOP
10 2 HOUR PARKING
11 PEDESTRIAN CROSSWALK
12 SENIOR PARKING ONLY
13 THANK YOU FOR SHOPPING AT HILLDALE
14 PARKING FOR HILLDALE SHOPPERS ONLY
15 SERVICE VEHICLES ONLY
16 NO PARKING PARCEL PICK UP
17 NO LEFT TURN
18 KEEP RIGHT
19 MERGING TRAFFIC

```

	LIGHT POLE
	STOP SIGN
	24" WHITE EPOXY STOP BAR
	6" WHITE EPOXY CROSSWALK
	4" YELLOW EPOXY CENTERLINE
	4" DOUBLE YELLOW EPOXY CENTERLINE

- 1) PAINT MARKINGS AND SIGNAGE
AS APPROVED BY THE CITY TRAFFIC ENGINEER.
- 2) ALL PAVEMENT MARKING SHALL BE EPOXY AND
MAINTAINED BY THE OWNER
- 3) STOP BARS AND STOP SIGNS TO BE LOCATED AT
CURB RADI AND P.C. UNLESS OTHERWISE DIRECTED.
CROSSWALKS AND CURB RAMPS SHALL BE LOCATED
4' BEHIND STOP BAR, TYP.
- 4) ALL WORK PROPOSED IN THE RIGHT OF WAY
IS NOT BEING APPROVED AS PART OF THE PUD(GDP-SIP).
ALL WORK IN THE RIGHT OF WAY IS APPROVED
SEPARATE BY THE BOARD OF PUBLIC WORKS,
CITY OF MADISON
- 5) PROFILE OF ADA RAMP COVERING 29G & 29U
WILL COME WITH SIP #3
- 6) CITY TO RESTRICT TRUCKS ON SAWYER TERRACE



910 West Wingra Drive
Madison, WI 53715
608 251-4843
608 251-8655 FAX
www.strand.com

HILLDALE SHOPPING CENTER

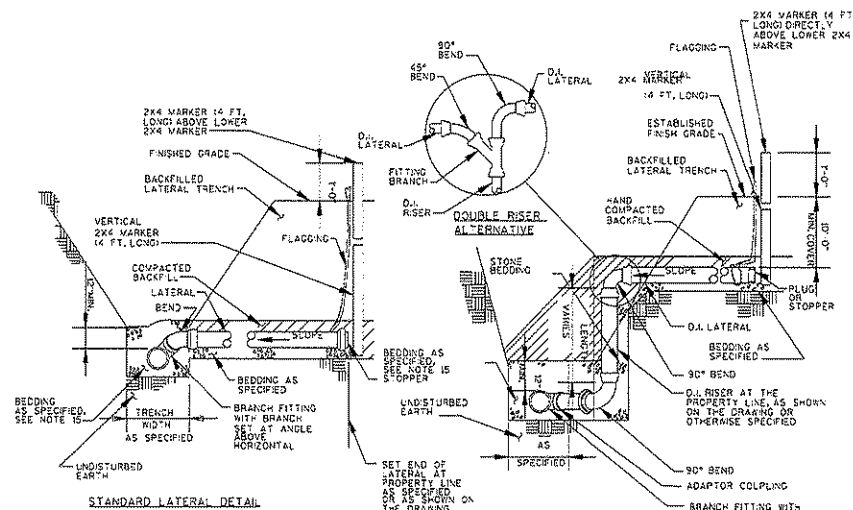
7702 N. MIDVALE BOULEVARD
MADISON, WI
HILLDALE LAND COMPANY LLC

OVERALL
PAVEMENT
MARKING

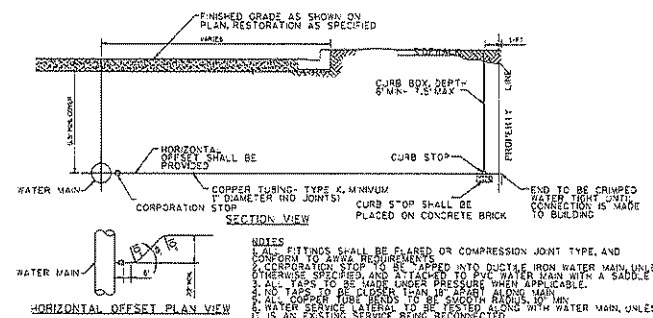
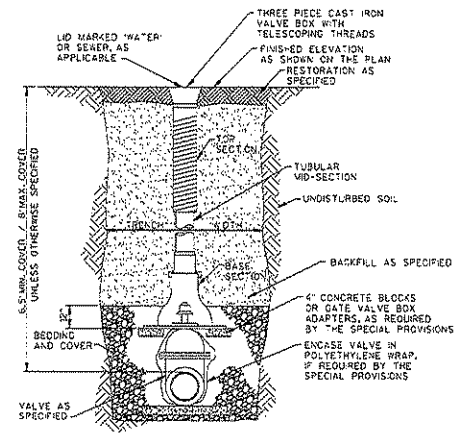
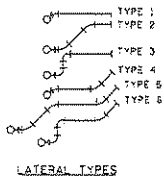
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Sheet Number
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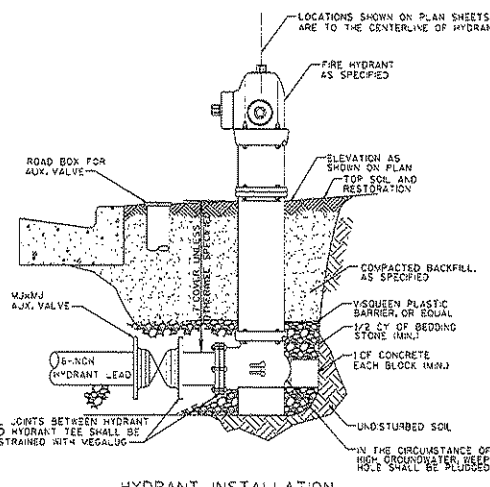


- NOTES:**
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF REGULATORY BODIES OF THE STATE AND APPLICABLE MUNICIPAL ORDINANCES.
 2. DETAILS RELATIVE TO ITEMS SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.
 3. VARIATIONS IN DIMENSIONS AND DESIGN MAY BE PERMISSIBLE, PROVIDING EQUIVALENT CAPACITY AND STRENGTH ARE ATTAINED.
 4. ALL NEW CONSTRUCTION SHALL BE PLACED ON UNDISTURBED EARTH OR STONE BEDDING.
 5. BEDDING CLASSES "B" AND "C" SHALL MEET OR EXCEED ASTM C12 REQUIREMENTS.
 6. ALL LATERALS SHALL BE LAID AT A STANDARD SLOPE OF 1/4-INCH PER FOOT UNLESS OTHERWISE NOTED ON THE DRAWINGS. OR SPECIFIED, NO CASE SHALL LATERAL SLOPE BE LESS THAN 1/8-INCH PER FOOT. MAXIMUM LATERAL SLOPE SHALL BE 1 TO 1.
 7. END PLUGS OR STOPPERS FOR THE ENDS OF LATERALS AND BRANCH FITTINGS SHALL BE PROVIDED.
 8. 2"x4"s SHALL BE PLACED AT ALL LATERALS ENDS SO THAT ONE PROTRUDES 12 INCHES ABOVE FINISHED GRADE AND ONE IS LOCATED IN THE GROUND AT THE END OF THE LATERAL. 2"x4"s SHALL BE PAINTED FLUORESCENT ORANGE, 2"x4"s SHALL EACH BE AT LEAST 4 FT. LONG.
 9. BAR STEEL REINFORCEMENT SHALL BE USED 1/2-INCH CLEAR MINIMUM.
 10. THE TOP OF ANY MANHOLE STRUCTURE SHALL BE LEFT SUFFICIENTLY OPEN TO PERMIT PROPER ADJUSTMENT OF COVER TO GRADE.
 11. INSTALL DOUBLE RISERS WHERE SHOWN ON THE DRAWINGS OR SPECIFIED.
 12. STANDARD LATERALS AND MODIFIED LATERALS SHALL BE CONSTRUCTED OF MATERIAL AS SPECIFIED.
 13. RISERS AND LATERALS FROM RISERS SHALL BE CONSTRUCTED OF DUCTILE IRON. FITTINGS FOR RISERS AND LATERALS FROM RISERS SHALL BE GRAY IRON OR DUCTILE IRON.
 14. FLAGGING SHALL BE 4-INCH WIDE STANDARD ORANGE VINYL TAPS. THE FLAGGING AROUND END OF ALL LATERALS AND EXTEND UNBROKEN TO FINISHED GRADE DIRECTLY ABOVE ENDS OF LATERALS.
 15. STONE BEDDING SHALL BE USED AROUND AND TO ONE FT. ABOVE TOP OF ALL SEWER MAINS AT LATERAL CONNECTIONS, PROVIDE BEDDING AS SPECIFIED ELSEWHERE.

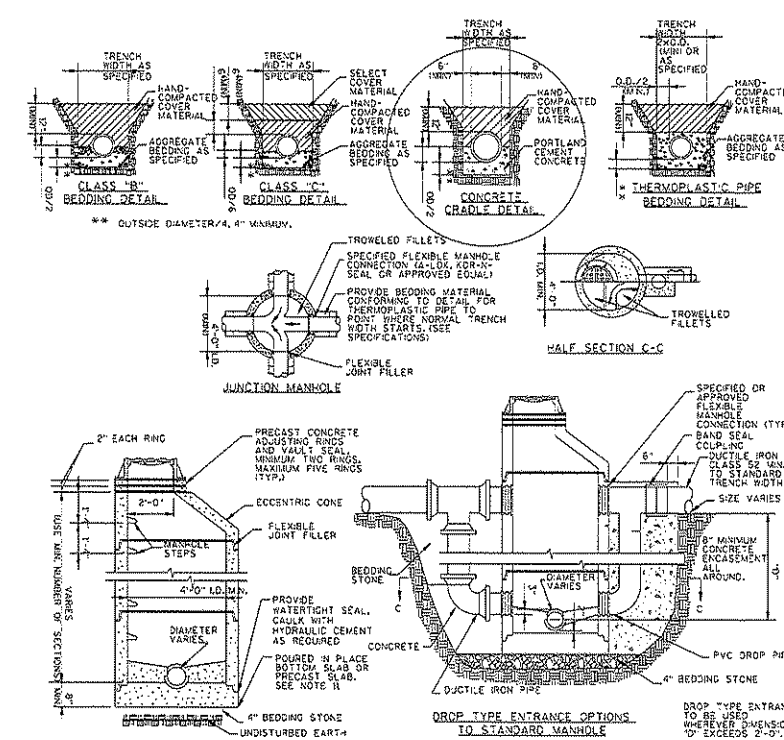


RESIDENTIAL WATER SERVICE

- NOTES:**
1. DETAILS RELATIVE TO ITEMS SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE SPECIFICATIONS.
 2. VARIATIONS IN DIMENSIONS AND DESIGN MAY BE PERMISSIBLE, PROVIDING EQUIVALENT CAPACITY AND STRENGTH ARE ATTAINED.
 3. WHEN ANY STRUCTURE IS CONSTRUCTED OF CONCRETE, CONCRETE BLOCK OR REINFORCED CONCRETE, THE MASONRY SHALL BE LEFT SUFFICIENTLY LOW TO PERMIT PROPER ADJUSTMENT OF COVER TO GRADE.
 4. REINFORCED PRECAST FLAT SLAB SHALL BE USED IN LIEU OF PRECAST ECCENTRIC CONE WHEN SHOWN ON THE DRAWINGS AND SHALL BE DESIGNED FOR H-20 TRUCK LOADS.
 5. PRECAST REINFORCED CONCRETE MANHOLE RISERS AND TOPS SHALL CONFORM TO ASTM C-478. JOINTS BETWEEN MANHOLE SECTIONS SHALL BE SEALED WITH RAM NEX. HANDLING HOLES SHALL BE FILLED WITH MORTAR, AND BOTH MADE WATER TIGHT.
 6. STEPS SHALL BE INSTALLED IN ALL MANHOLES.
 7. AT ALL BENDS IN SEWER, A SMOOTH RADIUS FLOW LINE SHALL BE PROVIDED IN MANHOLES. ALL CONCRETE FILLETS SHALL BE HAND TROWELED.
 8. INSIDE DIMENSIONS FOR MANHOLES SHALL BE MINIMUM 4' DIAMETER FOR SEWER LESS THAN 18" IN DIAMETER; USE MINIMUM 5' DIAMETER FOR SEWER 18" THRU 24" IN DIAMETER; USE MINIMUM 6' DIAMETER OR MINIMUM 6' SQUARE FOR SEWER OVER 24" IN DIAMETER.
 9. ARRANGEMENT AND NUMBER OF INLETS AND DISCHARGE PIPES SHALL CONFORM TO THE NEEDS OF THE PERTINENT LOCATION.
 10. PROVIDE MINIMUM 2'-0" COVER FOR ALL INLET LEAD PIPE.
 11. ALL INLETS SHALL BE DEPTHELED AS SHOWN.
 12. INLET DEPTH AND GRADE OF INLET LEAD PIPE VARY ACCORDING TO DEPTH OF TRUNK SEWER. MINIMUM INLET DEPTH BELOW TOP OF CURB SHALL BE 4'-0".
 13. ALL INLETS TO BE PROVIDED WITH KROHAR ENTERPRISES, INC. FLO-GARD PLUS CATCH BASIN FILTER INSERT.



HYDRANT INSTALLATION

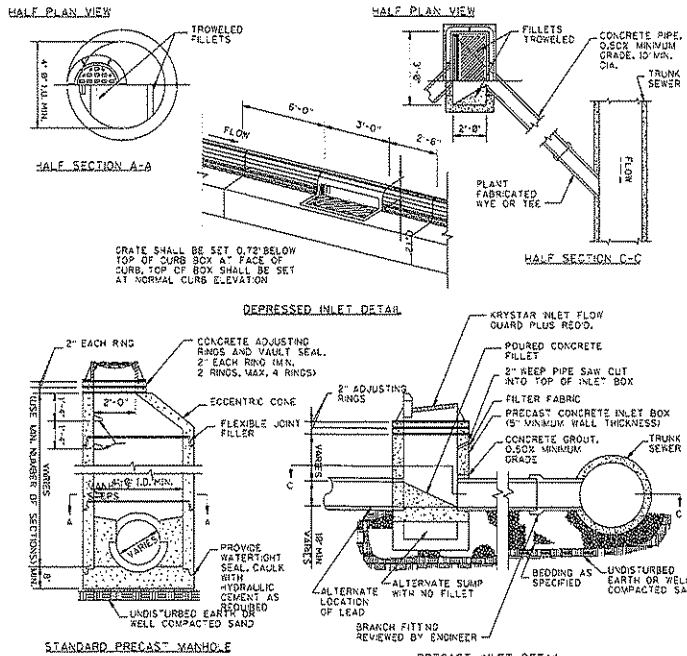


SANITARY SEWER APPURTENANCES

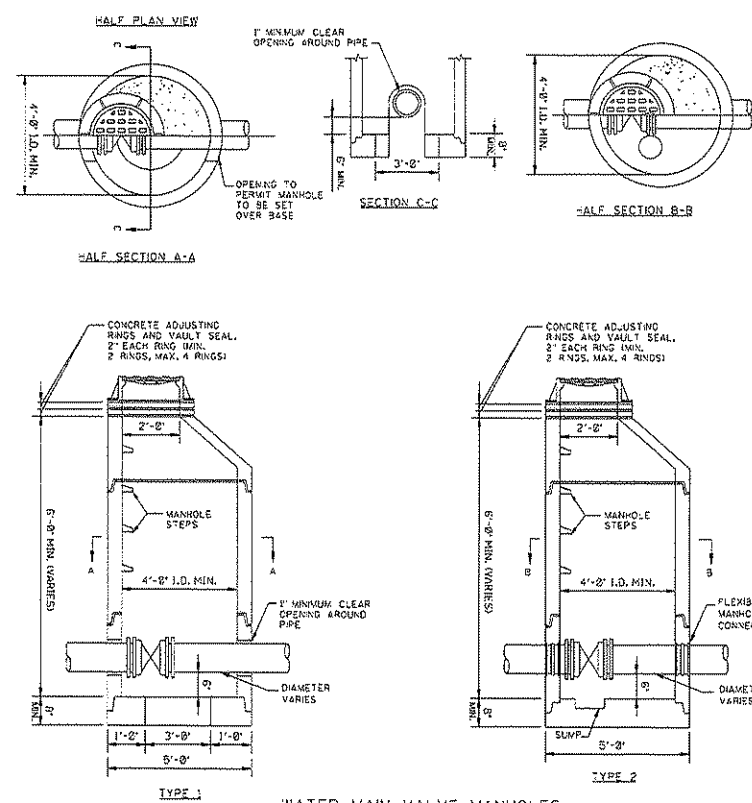
- NOTES:**
1. DETAILS RELATIVE TO ITEMS SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE SPECIFICATIONS AND THE APPLICABLE SPECIAL PROVISIONS.
 2. VARIATIONS IN DIMENSIONS AND DESIGN MAY BE PERMISSIBLE, PROVIDING EQUIVALENT CAPACITY AND STRENGTH ARE ATTAINED.
 3. ALL CONCRETE FILLETS SHALL BE HAND TROWELED WITH A 1/4"/FT. SLOPE.
 4. INSIDE DIMENSIONS FOR MANHOLES: USE MINIMUM 4' DIAMETER FOR SEWER LESS THAN 18" IN DIAMETER; USE MINIMUM 5' DIAMETER FOR SEWER 18" THRU 24" IN DIAMETER; USE MINIMUM 6' DIAMETER OR MINIMUM 6' SQUARE FOR SEWER OVER 24" IN DIAMETER.
 5. BEDDING CLASSES "B" AND "C" SHALL MEET OR EXCEED ASTM C12 REQUIREMENTS.
 6. DROP TYPE ENTRANCE TO STANDARD MANHOLE WILL BE PAID FOR SEPARATELY IF SO LISTED IN THE BID.
 7. SEE DRAWINGS FOR DROP TYPE ENTRANCES FOR SANITARY SEWERS LARGER THAN 18".
 8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF REGULATORY BODIES OF THE STATE AND APPLICABLE MUNICIPAL ORDINANCES.
 9. ALL NEW CONSTRUCTION SHALL BE PLACED ON UNDISTURBED EARTH OR STONE BEDDING.
 10. FLAT SLAB TOPS SHALL BE DESIGNED FOR H-20 TRUCK LOADING AND SHALL MEET REQUIREMENTS OF ASTM C-478.
 11. BASE SLABS SHALL BE REINFORCED AS FOLLOWS: REINFORCING SHALL BE PLACED IN EACH DIRECTION AT 2' CLEAR FROM TOP SURFACE OF SLAB. REINFORCING SHALL BE GRADE 60 USE OF CAST-IN-PLACE SLAB SHALL NOT RELIEVE CONTRACTOR OF REQUIREMENTS TO PROVIDE WATER TIGHT JOINTS.
 12. FLAT SLABS SHALL BE PROVIDED IN SHALLOW DEPTH STRUCTURES IN LIEU OF ECCENTRIC CONES.

INSIDE DIA. DEPTH AREA

INSIDE DIA.	DEPTH	AREA
4'	2'-0"	50.27
5'	2'-0"	78.54
6'	2'-0"	113.10
8'	2'-0"	201.08
10'	2'-0"	314.16
12'	2'-0"	452.16
14'	2'-0"	615.75
16'	2'-0"	804.24
18'	2'-0"	1017.75
20'	2'-0"	1256.64
22'	2'-0"	1530.88
24'	2'-0"	1831.60
26'	2'-0"	2159.04
28'	2'-0"	2513.28
30'	2'-0"	2893.26



STORM SEWER APPURTENANCES



WATER MAIN VALVE MANHOLES

- NOTES:**
1. TYPE 1 OR 2 MANHOLE SHALL BE INSTALLED AS SHOWN ON THE DRAWINGS. TYPE 2 MANHOLE SHALL BE MADE WATER TIGHT AND SHALL BE USED WHEN NORMAL GROUND WATER LINE IS ABOVE BOTTOM SLAB.
 2. VARIATION IN DIMENSIONS AND DESIGN MAY BE PERMISSIBLE, PROVIDING EQUIVALENT CAPACITY AND STRENGTH ARE ATTAINED.
 3. WHEN ANY STRUCTURE IS CONSTRUCTED OF CONCRETE, CONCRETE BLOCK, OR REINFORCED CONCRETE, THE TOP OF THE MASONRY SHALL BE LEFT SUFFICIENTLY LOW TO PERMIT PROPER ADJUSTMENT OF COVER TO GRADE BY THE USE OF MORTAR.
 4. CONCRETE BLOCK MANHOLES REVIEWED BY THE ENGINEER WILL BE PERMITTED AS AN ALTERNATE BACK PLASTER OUTSIDE OF ALL CONCRETE BLOCK, CONCRETE BLOCK MANHOLE WALLS SHALL BE 2 BLOCKS THICK BELOW DEPTHS OF 10 FEET.
 5. REINFORCED PRECAST FLAT SLAB SHALL BE USED IN LIEU OF PRECAST ECCENTRIC CONE AS SHOWN ON THE DRAWINGS AS NEEDED TO INSTALL EQUIPMENT OR VALVES.
 6. PRECAST REINFORCED CONCRETE MANHOLE RISERS AND TOPS SHALL CONFORM TO ASTM C-478. JOINTS BETWEEN SECTIONS SHALL BE SEALED WATER TIGHT WITH KENT SEAL, RAM NEX OR EQUAL.
 7. STEPS SHALL BE INSTALLED IN ALL MANHOLES. MANHOLE STEPS SHALL BE NEENAH TYPE R-1850, OR EQUAL, WITH TYPE B NON-ROCKING L.D.
 8. MANHOLE COVER SHALL BE NEENAH TYPE R-1850, OR EQUAL, WITH TYPE B NON-ROCKING L.D.
 9. TYPE 1 MANHOLE SHALL BE FILLED WITH CLEAN BEDDING UP TO THE BOTTOM OF THE PIPE.
 10. DETAILS RELATIVE TO ITEMS SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE SPECIFICATIONS.
 11. FLAT SLAB TOPS SHALL BE DESIGNED FOR H-20 TRUCK LOADING AND SHALL MEET REQUIREMENTS OF ASTM C-478.
 12. BASE SLABS SHALL BE REINFORCED AS FOLLOWS: REINFORCING SHALL BE PLACED IN EACH DIRECTION AT 2' CLEAR FROM TOP SURFACE OF SLAB. REINFORCING SHALL BE GRADE 60 USE OF CAST-IN-PLACE SLAB SHALL NOT RELIEVE CONTRACTOR OF REQUIREMENTS TO PROVIDE WATER TIGHT JOINTS.

STAND ASSOCIATES, INC. ENGINEERS

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www.stand.com

HILDALE SHOPPING CENTER

702 N. MIDVALE BOULEVARD
MADISON, WI
HILDALE LAND COMPANY LLC

STREET AND UTILITY DETAILS

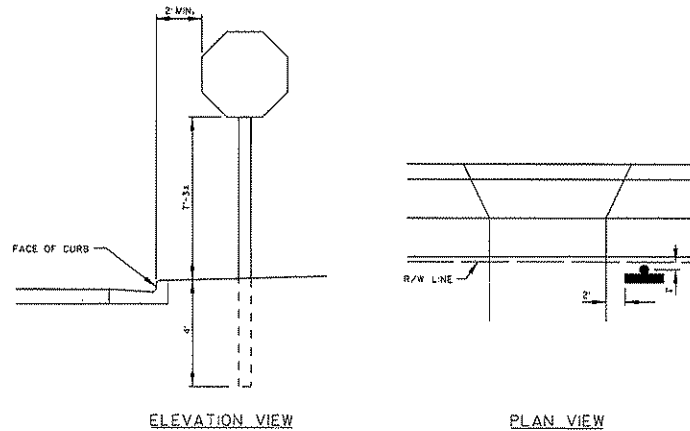
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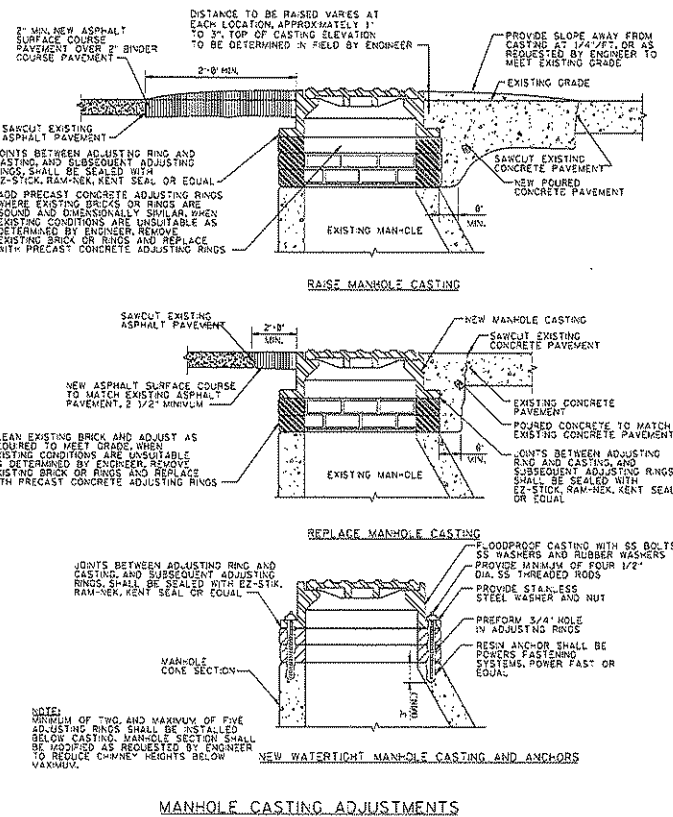
No.	Date	Description	By

Project Number: 5/7/08
Drawn By: K
Date Issued: K
Reviewed By: K

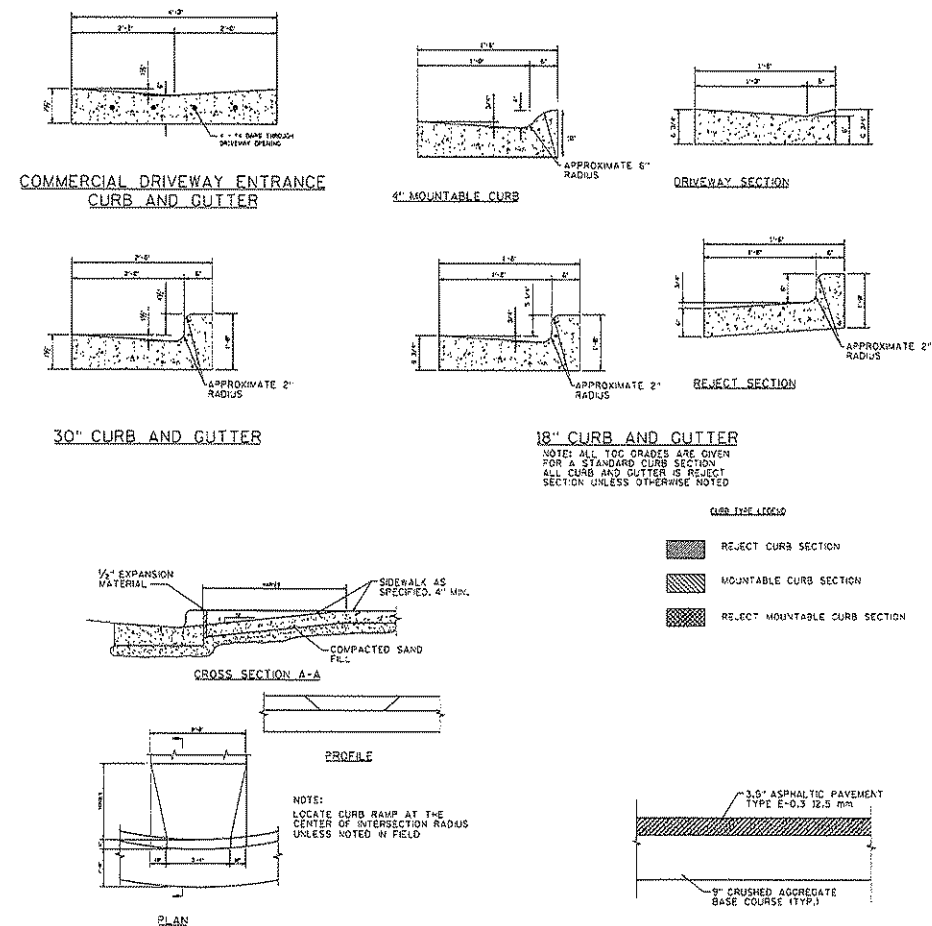
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TYPICAL STOP SIGN PLACEMENT

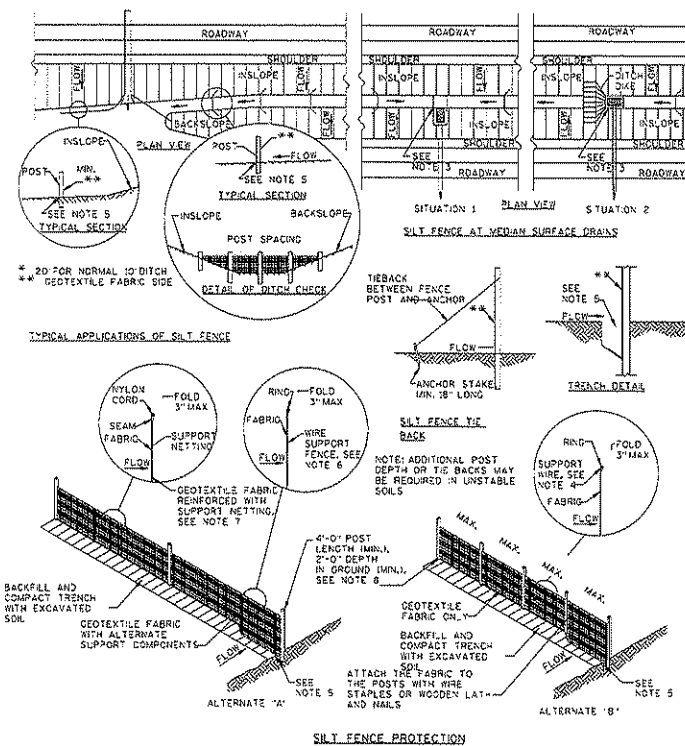


MANHOLE CASTING ADJUSTMENTS

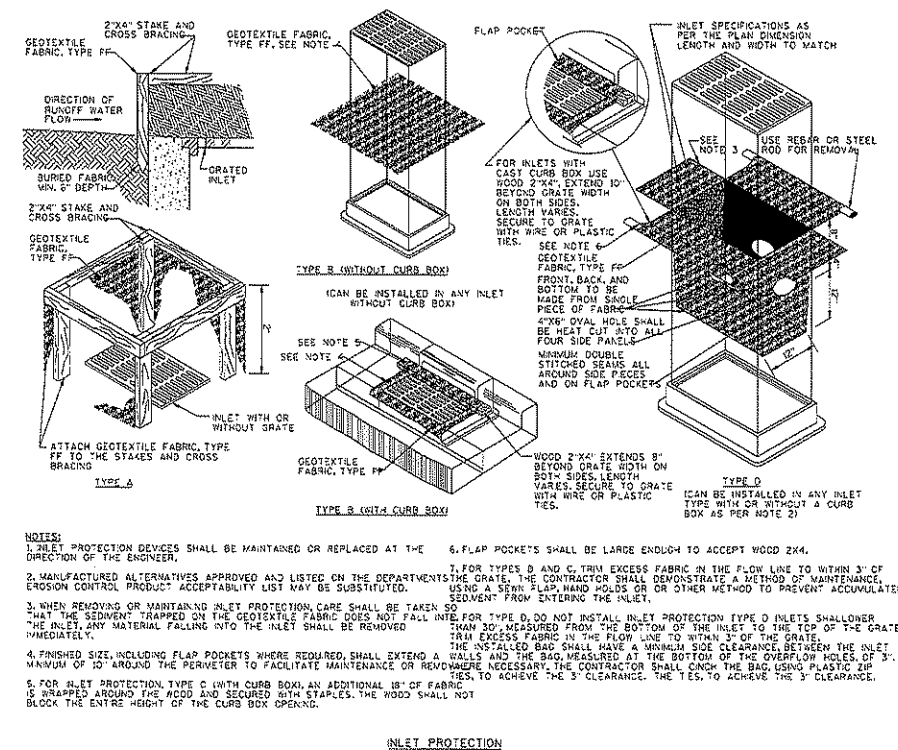


CURB RAMP DETAIL

TYPICAL PAVEMENT STRUCTURE



SILT FENCE PROTECTION



INLET PROTECTION



910 West Wings Drive
Madison, WI 53715
608 251-4843
608 251-6655 FAX
www.strand.com

HILLDALE SHOPPING CENTER

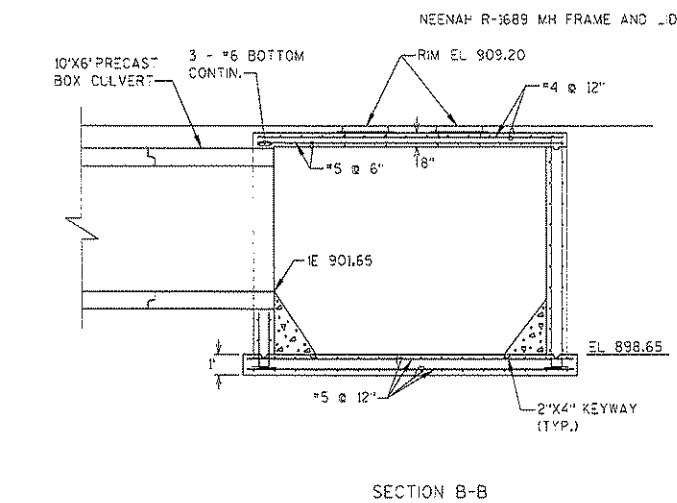
702 N. MIDVALE BOULEVARD
MADISON, WI
HILLDALE LAND COMPANY LLC

STREET AND
UTILITY DETAILS

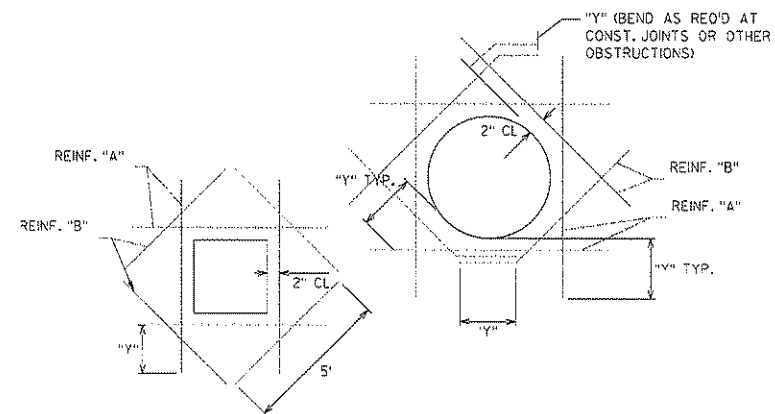
Revisions	No.	Date	Description	By

Project Number	Drawn By
x	x
Date Issued	Reviewed By
x 5/7/08	x

Sheet Number
SC 401



1. PROVIDE ADDITIONAL REINFORCEMENT
IN WALLS AROUND 24" RCP PENETRATION
AND IN TOP SLAB AT MANHOLE OPENING
PER DETAIL.



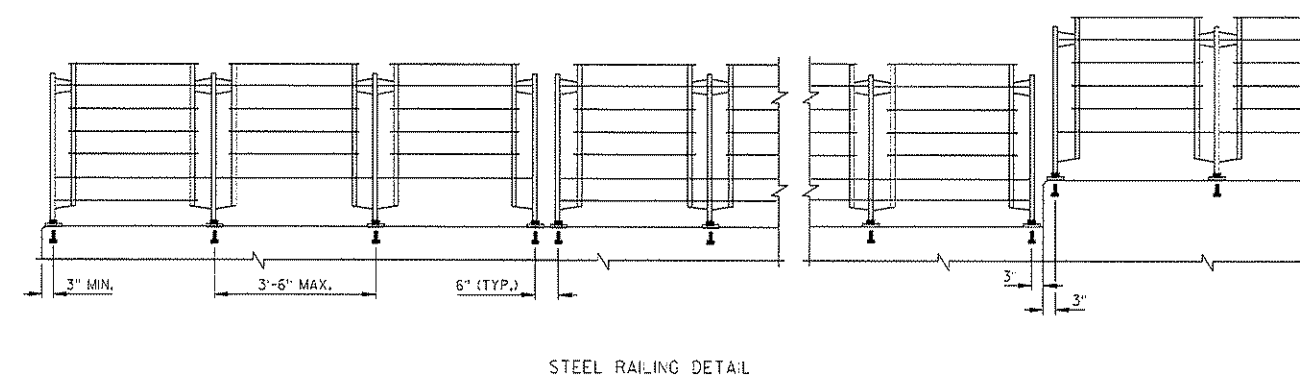
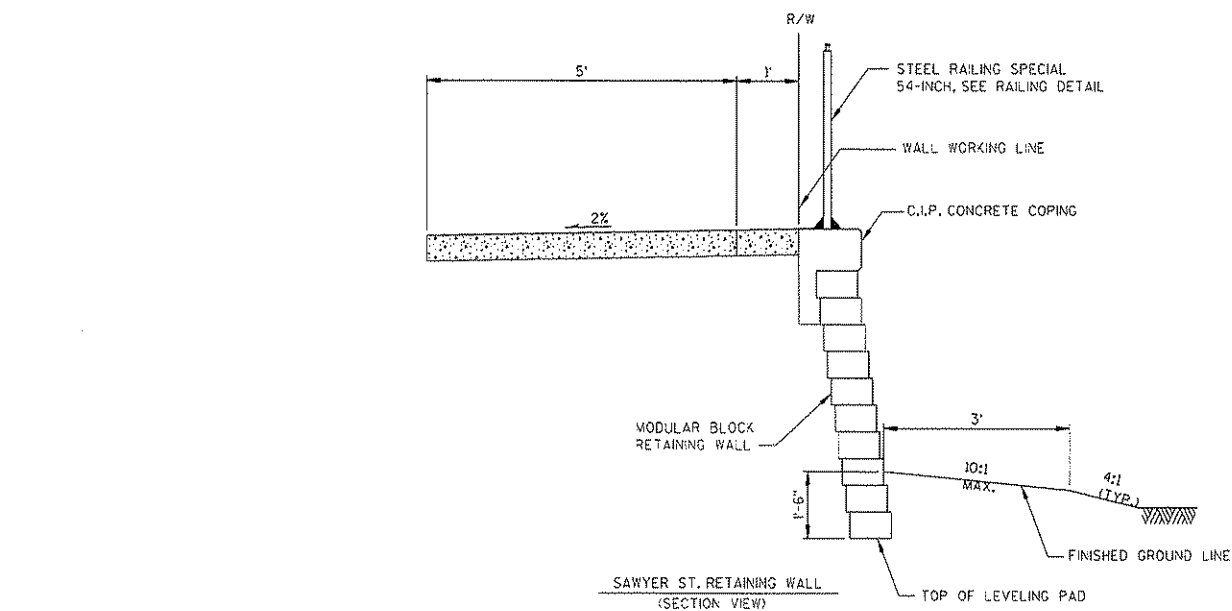
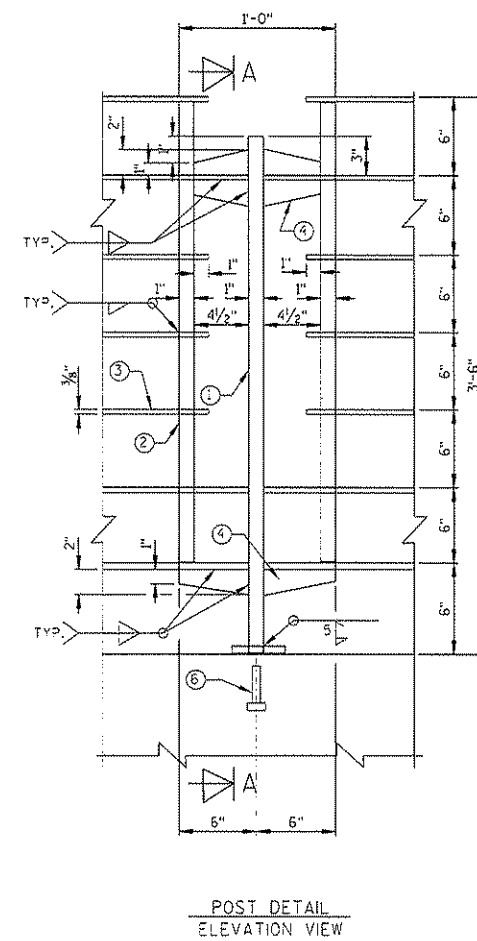
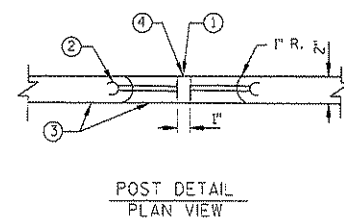
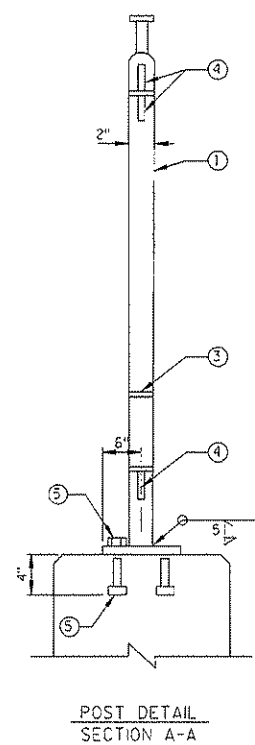
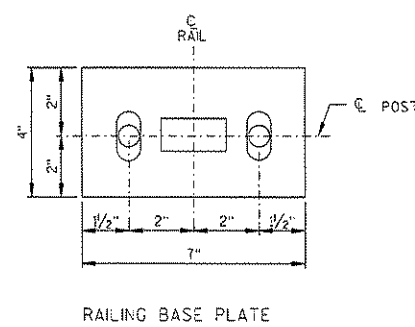
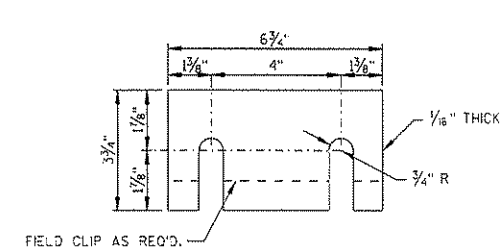
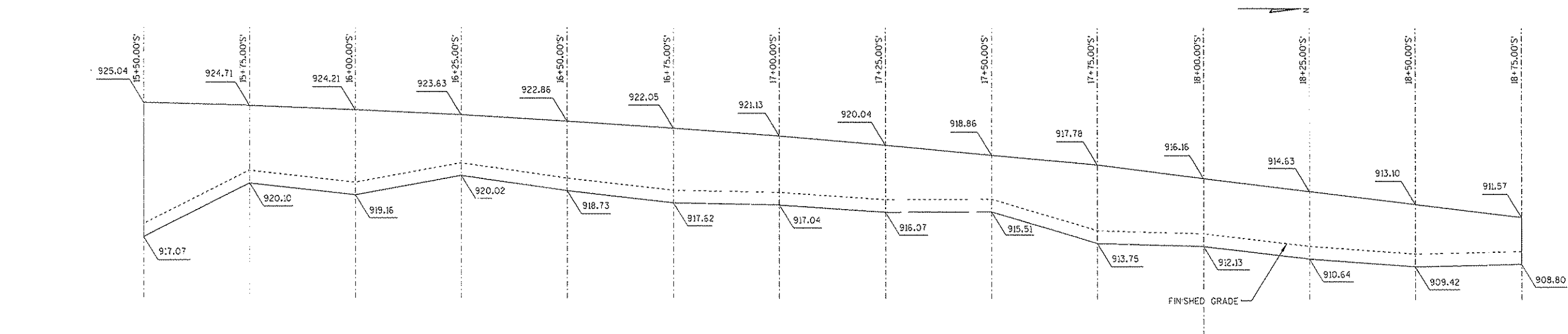
1. MOVE REINF. MAX. OF 2" TO CLEAR OPENING, CUT REMAINING BAR THROUGH OPENING. WHERE REINF. MUST BE CUT, ADD REINF. "A" AT LEAST EQUAL IN AREA TO THAT WHICH WAS CUT AND EXTEND BEYOND OPENING DISTANCE "Y".
2. DIAGONAL BARS "B" TO BE PLACED: A. AT $\frac{1}{4}$ OF WALL WHERE ONE LAYER OF REINF. IS PROVIDED. B. AT EACH FACE OF WALL WHERE TWO LAYERS OF REINF. ARE PROVIDED. C. AT TOP & BOTTOM OF ALL SLABS.
3. UNLESS OTHERWISE NOTED, SIZE OF REINF. "B" SHALL BE THE SIZE OF THE LARGEST REINF. BAR CUT.
4. Y = CLASS 3 - 4P
5. THIS DETAIL IS TO BE USED WHEN NO OTHER DETAIL IS SPECIFIED.
6. MINIMUM REINF. "A" & "B" AROUND ANY AND ALL OPENINGS SHALL BE #4.

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STREET AND UTILITY DETAILS

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ALL ABANDONED DRIVEWAYS TO BE REMOVED AND REPLACED WITH CURB AND GUTTER



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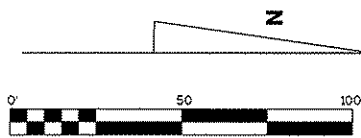
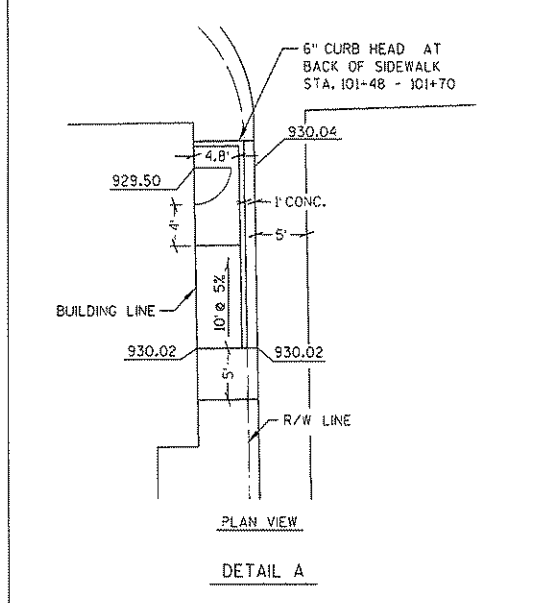
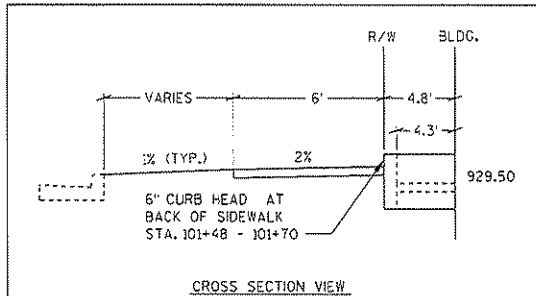
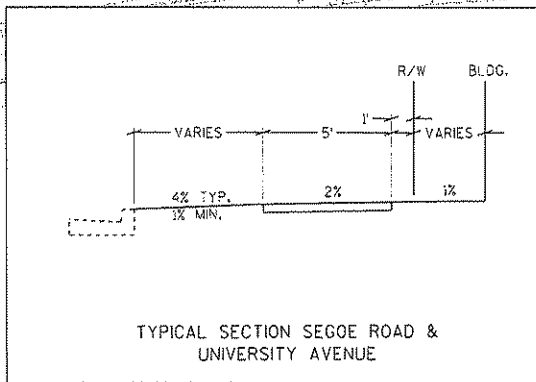
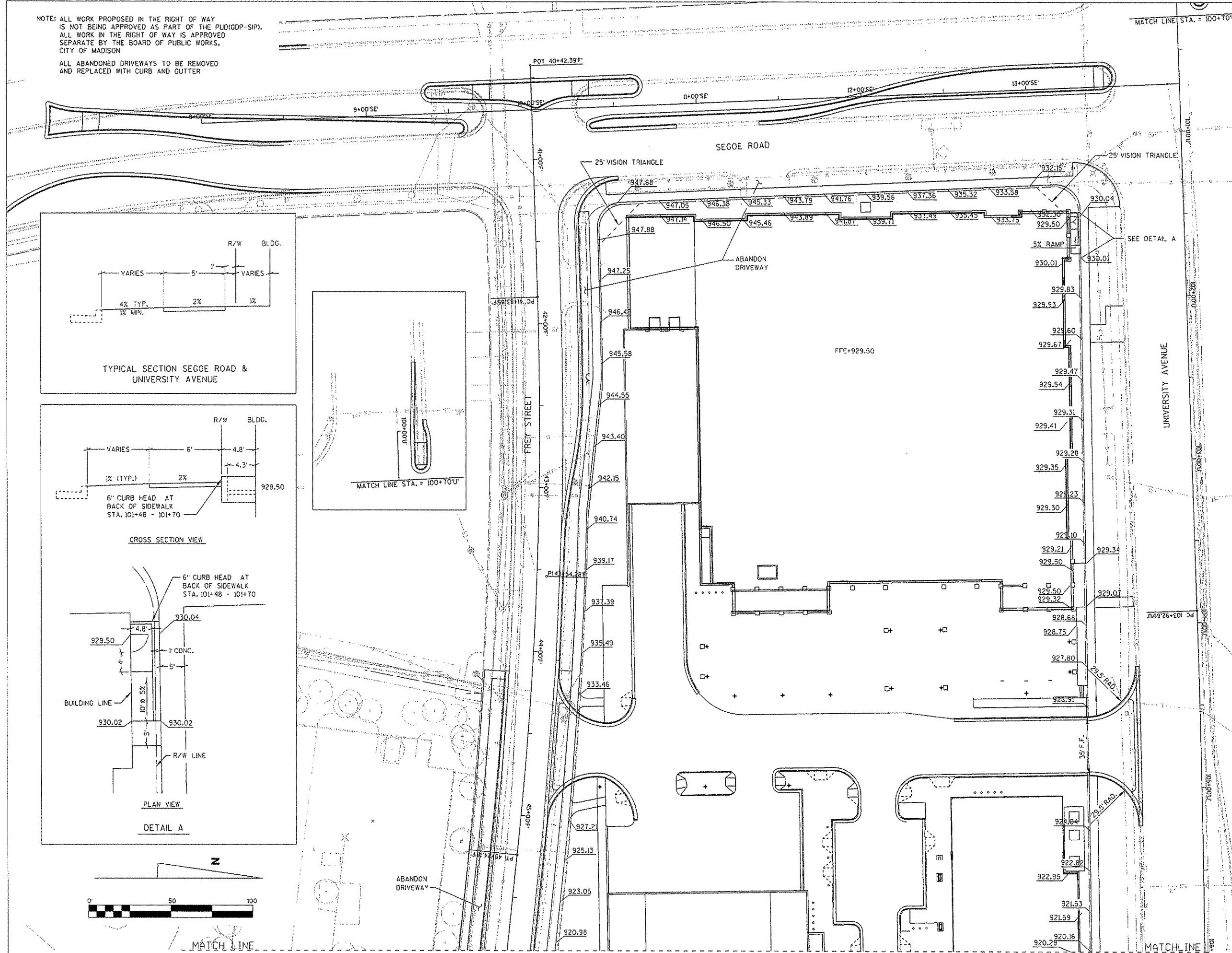
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SHEET TITLE
SITE GRADING WEST

Revisions	No.	Date	Description	By

Project Number	Drawn By
X	X
Date Issued	Reviewed By
X 5/7/08	X

SHEET NUMBER
S/C 404





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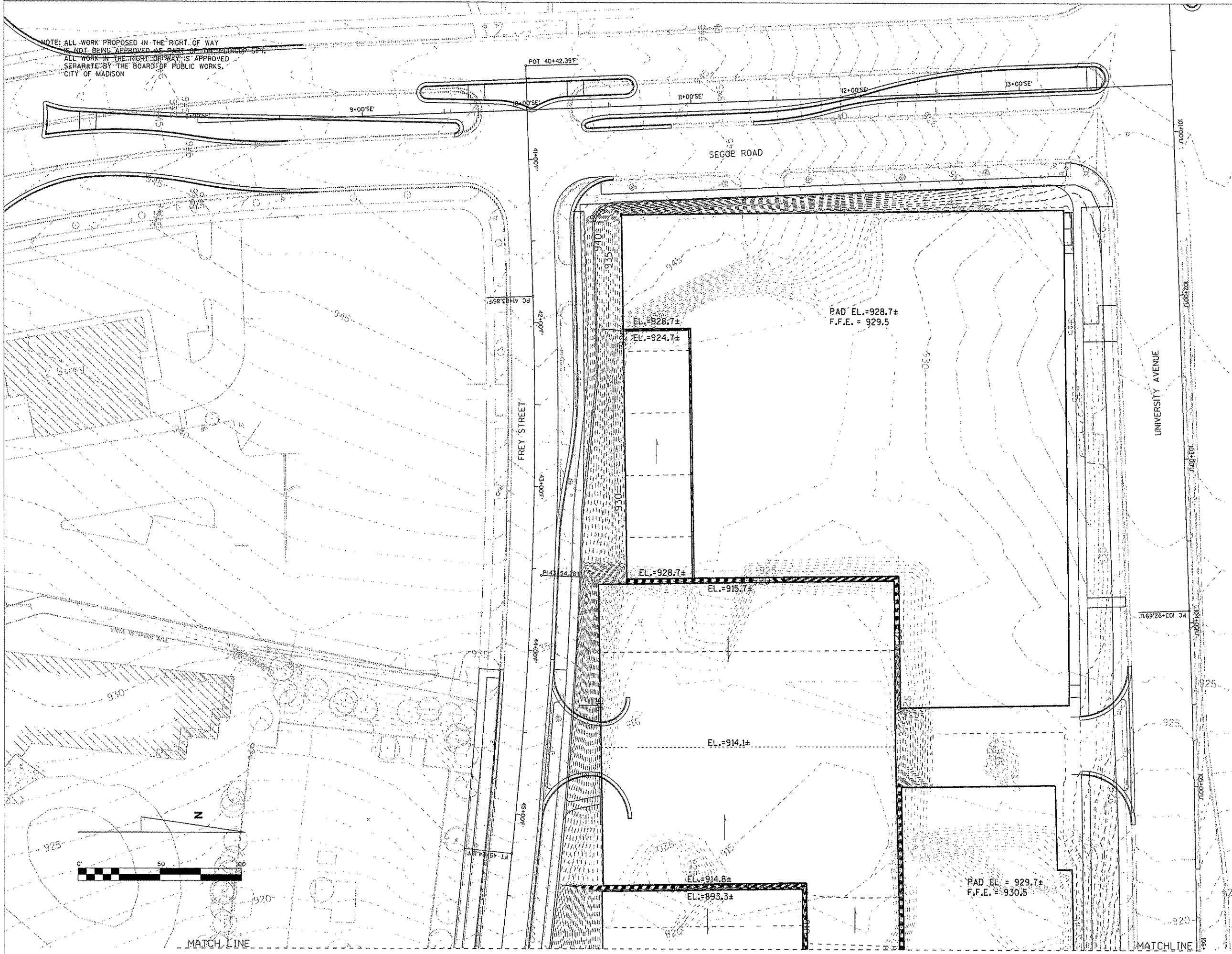
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MASS SITE GRADING WEST

Revisions	No.	Date	Description	By

Project Number:	Drawn By:
X	X
Date Issued:	Reviewed By:
X 5/7/08	X

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Sheet Title: **MASS SITE GRADING EAST**

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Project Number	Drawn By
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Date Issued	Reviewed By
X 5/7/08	X

Sheet Number: **S/C 407**

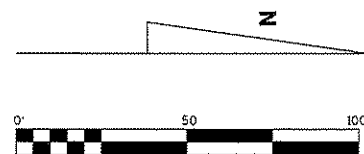
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ENGINEERS ESTIMATE OF CUT/FILL QUANTITIES PROVIDED FOR INFORMATION ONLY. BIDDER SHALL CALCULATE, VERIFY, AND RELY UPON THEIR OWN QUANTITIES.

AREA NORTH OF FREY STREET
CUT = 50,500 C.Y.
FILL = 31,700 C.Y.

THESE NUMBERS ARE BASED ON EXISTING CONTOURS VS. PROPOSED ROUGH GRADING CONTOURS SHOWN. PLEASE NOTE THAT THE AREAS BETWEEN THE MATCH LINES AND PROPOSED BUILDINGS, WALLS, STREET WILL HAVE TO BE "RE-FILLED" UPON COMPLETION OF THE BELOW GRADE STRUCTURE.

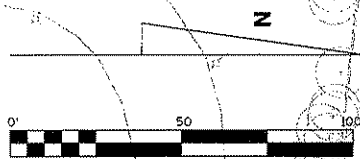
THE ROUGH GRADING CONTOURS ARE TO THE APPROXIMATE SUBGRADE ELEVATIONS NOT THE FINISHED GRADE.



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SOIL EROSION CONTROL NOTES:

1. SILT FENCE, STONE TRACKING PADS, AND TEMPORARY SEDIMENT BASINS SHALL BE INSTALLED PRIOR TO LAND DISTURBANCE.
2. THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED AS REQUESTED BY ENGINEER OR GOVERNING AGENCY.
3. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS FOLLOWING STABILIZATION OF DRAINAGE AREAS. TEMPORARY SEDIMENT BASINS SHALL BE RESTORED UPON GRASS ESTABLISHMENT OVER THE SITE.
4. ALL PROPOSED EROSION CONTROL MEASURES AND STRUCTURES MUST BE INSPECTED AT LEAST WEEKLY AND WHENEVER 0.5 INCHES OF RAIN IS PRODUCED WITHIN 24 HOURS. NECESSARY MAINTENANCE SHALL FOLLOW THE INSPECTIONS WITHIN 24 HOURS.
5. FOR THE FIRST SIX WEEKS AFTER INITIAL STABILIZATION OF A DISTURBED AREA, THE CONTRACTOR SHALL MAKE PROVISIONS FOR WATERING WHENEVER MORE THAN 7 DAYS OF DRY WEATHER ELAPSE.
6. CONTRACTOR SHALL PROVIDE WDOT TYPE D "CATCH ALL" INLET PROTECTION OR EQUIVALENT AT ALL CURB INLETS AND CATCH BASINS. INLET PROTECTION SHALL BE INSTALLED PRIOR TO THE STORM SEWER SYSTEM RECEIVING RUNOFF. OTHER THAN FOR PERFORMING MAINTENANCE, INLET PROTECTION DEVICES SHALL NOT BE REMOVED UNTIL FINAL STABILIZATION IS COMPLETE.
7. THE CONTRACTOR SHALL COLLECT TRACKED MATERIAL FROM PUBLIC STREETS AT THE END OF EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE VILLAGE.
8. TEMPORARY STONE TRACKING PADS SHALL BE INSTALLED ACCORDING TO WDNR STANDARD 1057. TEMPORARY STONE TRACKING PAD SHALL BE A MINIMUM OF 50' LONG X 12" THICK CONSISTING OF 3 TO 6 INCH CLEAR OR WASHED STONE. SHALL BE FULL WIDTH OF THE EGRESS POINT.
9. STABILIZE (E.G., SEED & MULCH, COMPOST, EROSION MAT, POLYMER) ALL DISTURBED AREAS OUTSIDE OF STREET RIGHT-OF-WAY BEFORE BREAKING GROUND IN THE NEXT ZONE. STABILIZATION SHALL OCCUR WITHIN 7 DAYS OF ACHIEVING FINAL GRADE. MULCH AS PART OF A STABILIZATION MEASURE SHALL BE APPLIED TO PRODUCE A CONTINUOUS COVER OF MULCH AND SHALL BE ANCHORED AT A RATE OF 2 TONS PER ACRE. IN ALL CASES, THE MULCH MUST BE ANCHORED INTO THE SOIL BY DISKING.



MATCH LINE

POT 40+42.39F'

SEGOE ROAD

SILT FENCE (TYP.)

PROVIDE AND MAINTAIN SILT FENCE DURING DEMOLITION AND INITIAL EXCAVATION OPERATIONS (COMPLY WITH DNR STANDARD 1056)

STONE TRACKING PAD (TYP.) (COMPLY WITH DNR STANDARD 1057)

STONE TRACKING PAD (TYP.) (COMPLY WITH DNR STANDARD 1057)

UNIVERSITY AVENUE

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Sheet Title:

EROSION CONTROL
WEST

Revision	No.	Date	Description	By

Project Number:	Drawn By:
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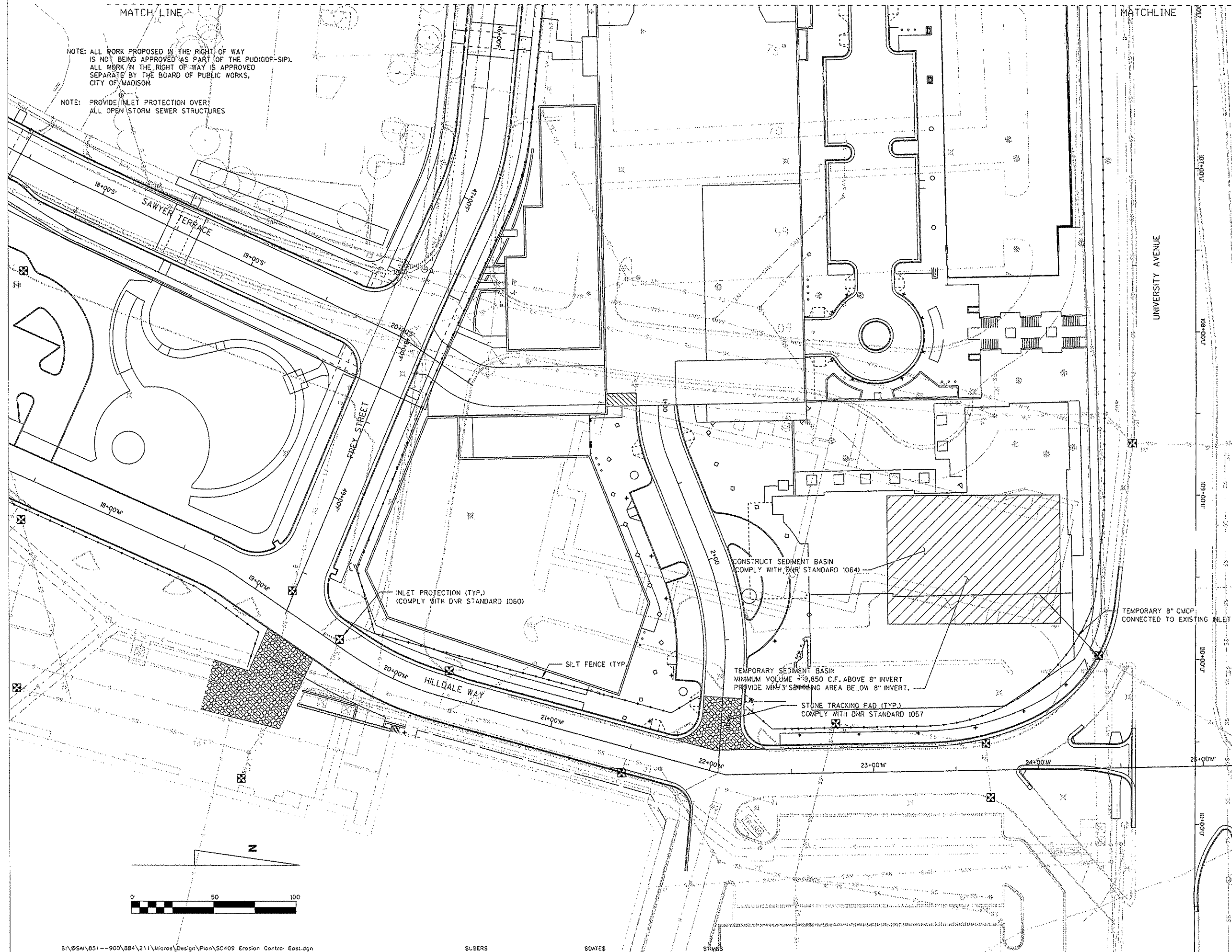
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Sheet Title
**EROSION CONTROL
EAST**

Revisions	No.	Date	Description	By

Project Numbers	Drawn By
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Date Issued	Reviewed By
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Sheet Number
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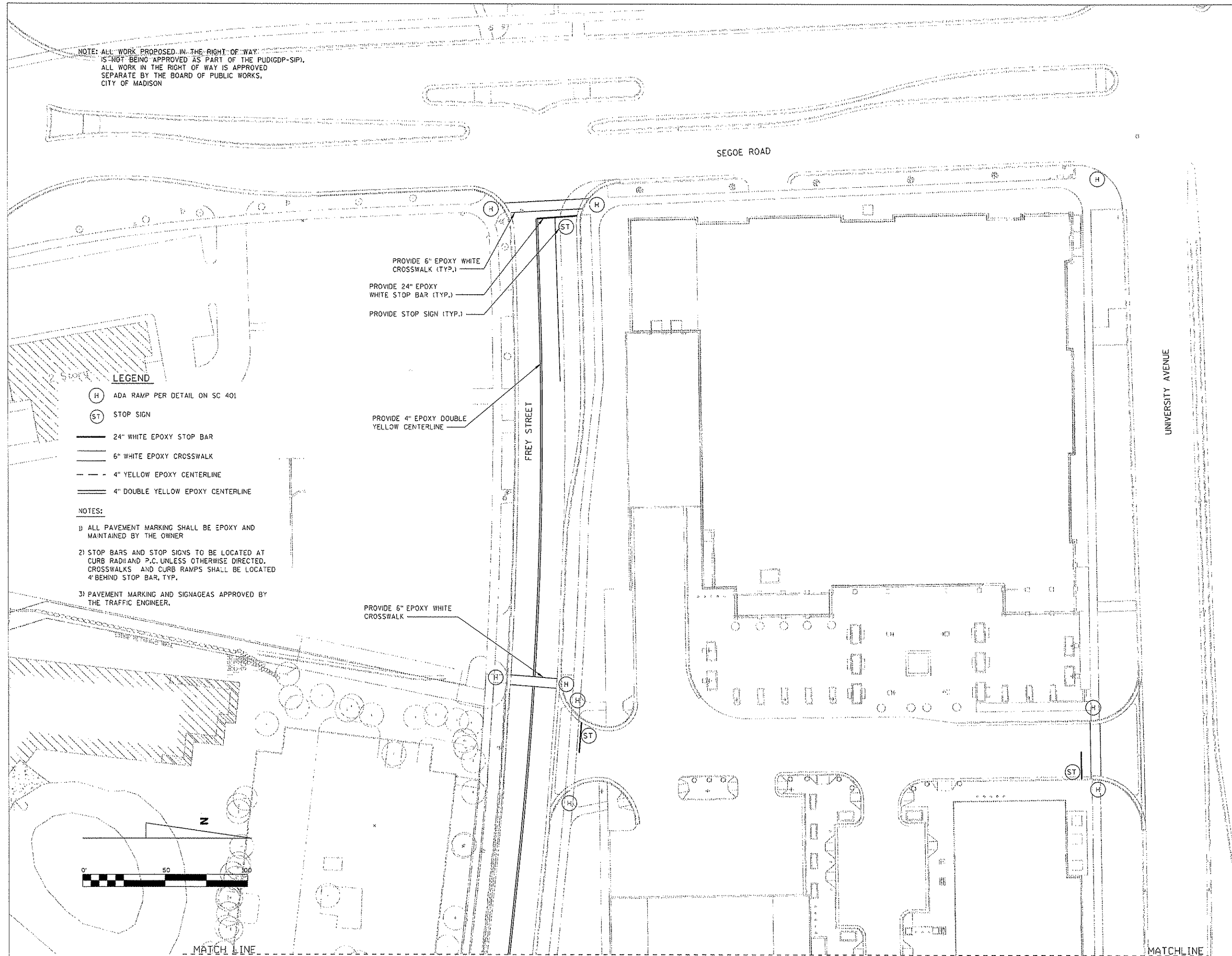
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PAVEMENT MARKING & SIGNAGE WEST

Rev	Date	Description	By

Project Number:	Drawn By:
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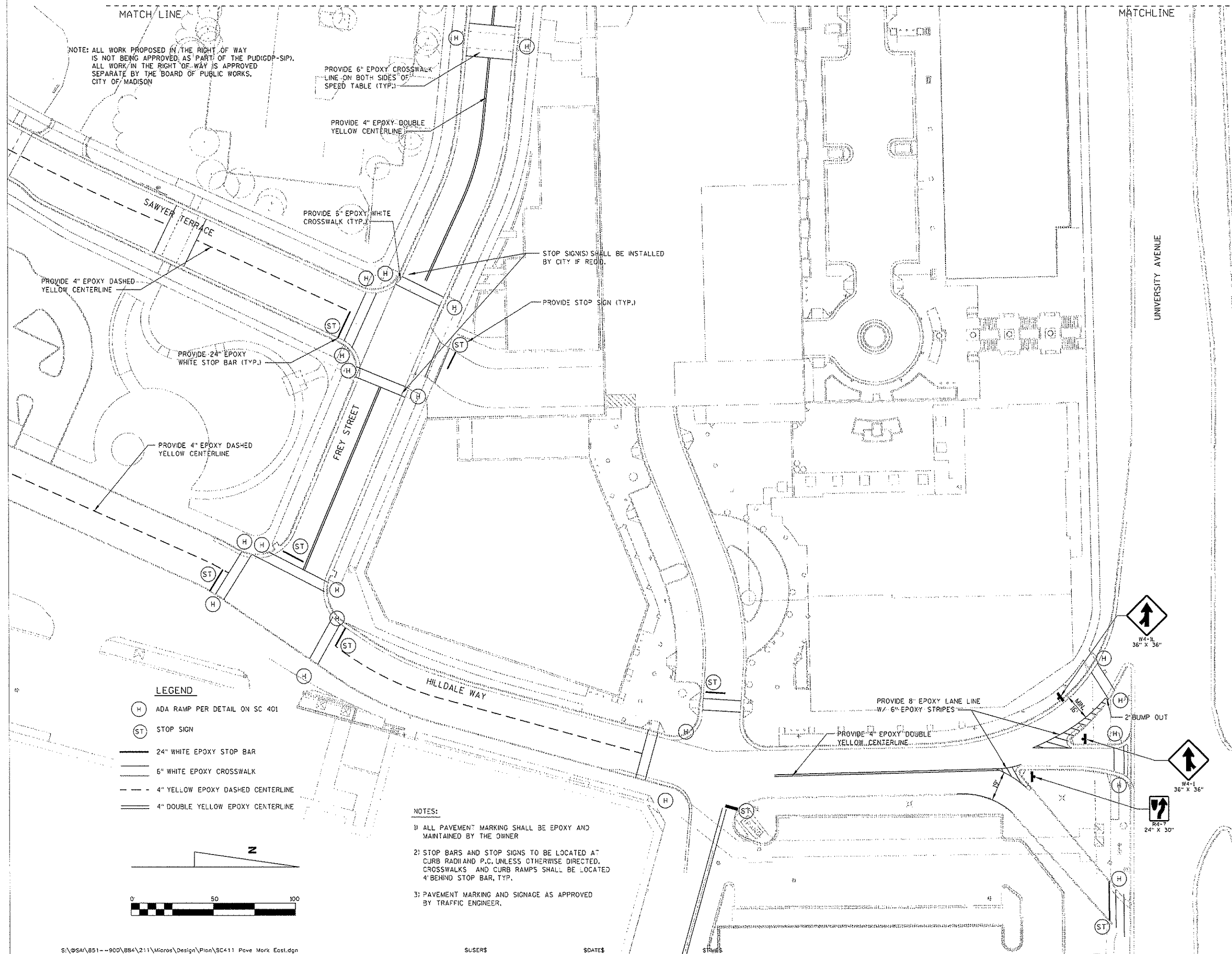
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PAVEMENT MARKING & SIGNAGE EAST

Revisions	By	Date	Description

Project Number	Drawn By
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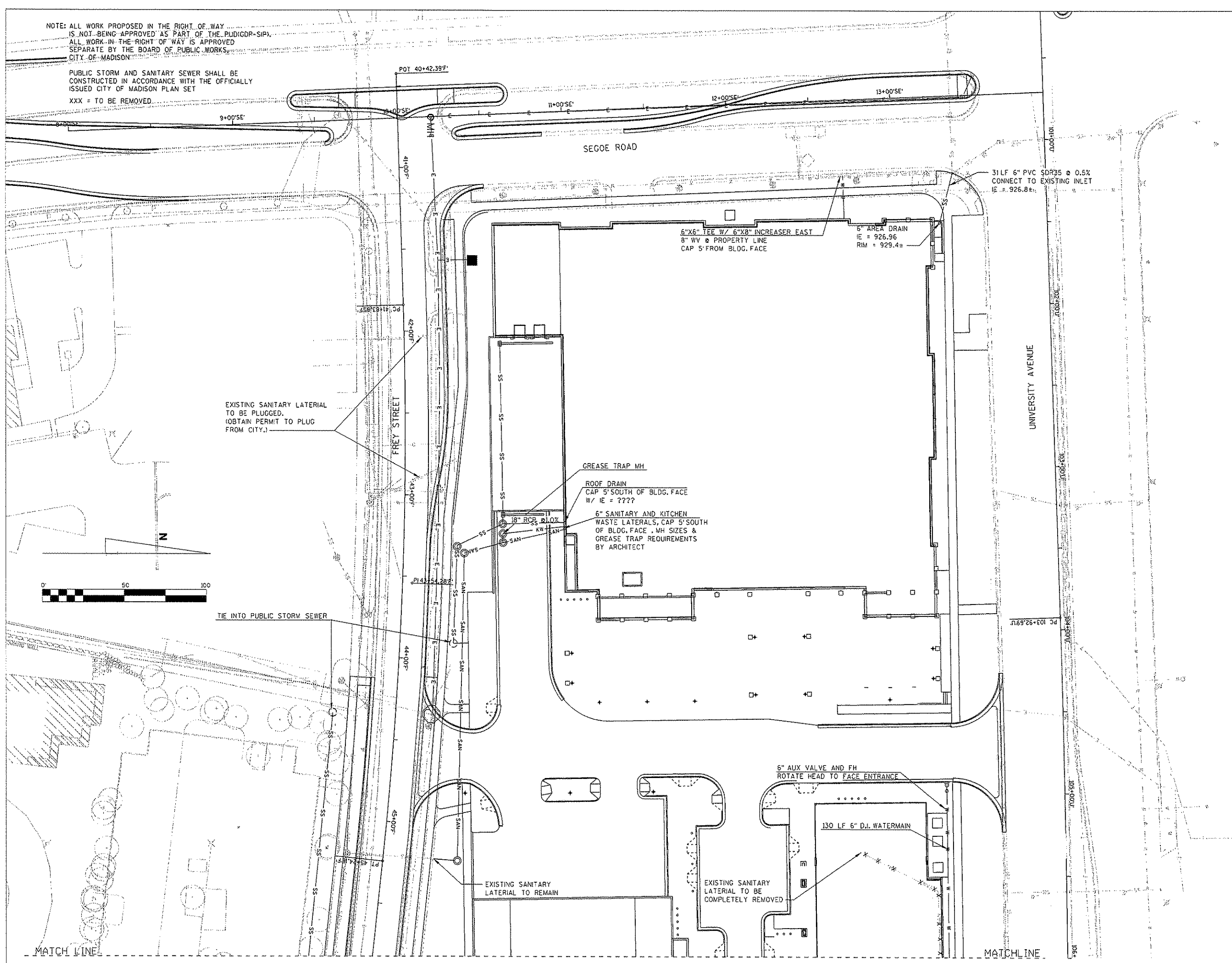
Sheet Title:

UTILITY WEST

Revisions	No.	Date	Description	By

Project Number	Drawn By
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XXX = TO BE REMOVED

CONNECT TO EXISTING 6" WATERMAIN
ABANDON TO EAST

75 LF 6" D.I. WATERMAIN

6"x4" TEE
4" WATER VALVE @ PROPERTY LINE
CAP 5' FROM BLDG. FACE

6"x6" TEE
25 LF 6" LEAD
6" AUX WATER VALVE & FH EAST
ROTATE FH HEAD TO FACE FREY STREET

TIE INTO PUBLIC
STORM SEWER

SAWYER TERRACE

CONNECT TO EXISTING

15 LF 6" D.I. WATERMAIN

BEND REQ'D.
STA. 47+64.31/76.17
ABANDON TO NORTH

TIE INTO PUBLIC
SAN. SEWER

TIE INTO PUBLIC
SAN. SEWER

STUB 10"
SAN. LATERAL

HILLDALE WAY

CONNECT TO
EXISTING 12" TEE

SEE SHEETS SC450 & SC451
FOR STORM SEWER DETAILS

EXISTING UTILITIES IN SAWYER ST.
R/W NORTH OF FREY TO BE ABANDONED
AND REROUTED DOWN FREY TO HILLDALE WAY.
TO UNIVERSITY AVENUE.
SEE STREET AND UTILITY PLANS FOR DETAILS

SS INLET
STA.
RIM =
IE ??' E

SS INLET
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RIM =
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SANITARY LATERAL TO BE
COMPLETELY REMOVED

ROOF DRAIN
CAP 5' EAST OF
NEW BLDG. FACE
W/ IE = 896.83±

23 LF 15" RCP @ 0.5%

28 LF 15" RCP @ 0.5%

STA. 49+27
6" SAN. LATERAL
CAP 5' BEHIND SIDEWALK

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IE ??' SW
IE ??' N

SS INLET
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ROOF DRAIN
CAP 5' NORTH OF
NEW BLDG. FACE
W/ IE = 896.83±

12"x6" TEE
6" WATER VALVE @ PROPERTY LINE
CAP 5' FROM BLDG. FACE

8" SANITARY LATERAL
CAP 5' NORTH OF NEW BLDG. FACE
W/ IE = BY ARCHITECT

SS INLET
STA.
RIM =
IE ??' E

ROOF DRAIN
CAP 5' SOUTH OF
NEW BLDG. FACE
W/ IE = 896.83±

SS MH
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MATCHLINE

10"x12" TEE
CONNECT TO
EXISTING WATERMAIN

INSPECTION MH
RIM = 938.0
IE 8' E 911.0
IE 6' S 911.0

124 LF 10" D.I. WATERMAIN

UNIVERSITY AVENUE

222 LF 8" SAN
@ 6.4%

CONNECT TO EXIST
SAN MH
IE = 896.83±

SS INLET
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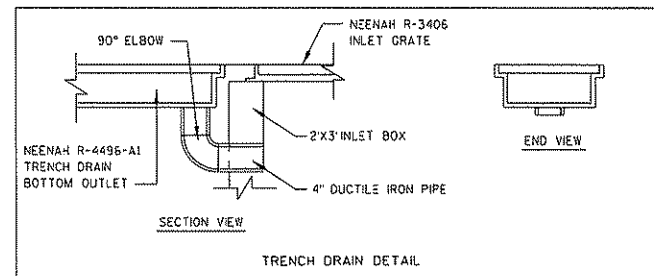
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UTILITY EAST

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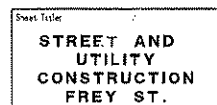


"PARTIAL" SIGNAL TO BE CONSTRUCTED AT
FREY/SEGOE INTERSECTION. CITY TRAFFIC
ENGINEERING TO PROVIDE DESIGN

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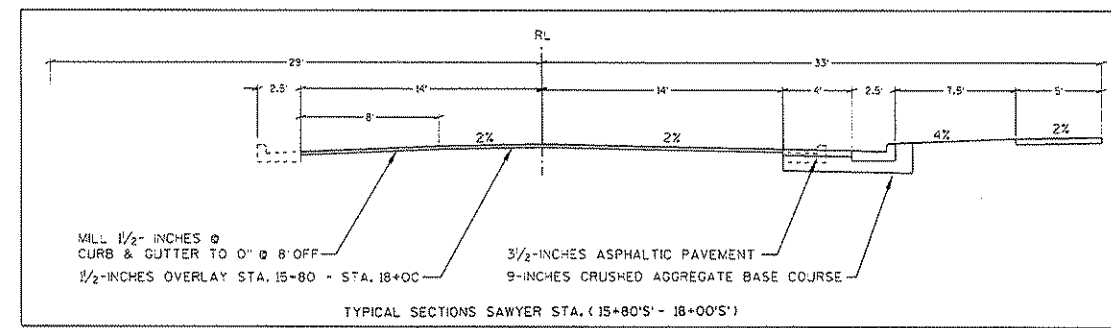
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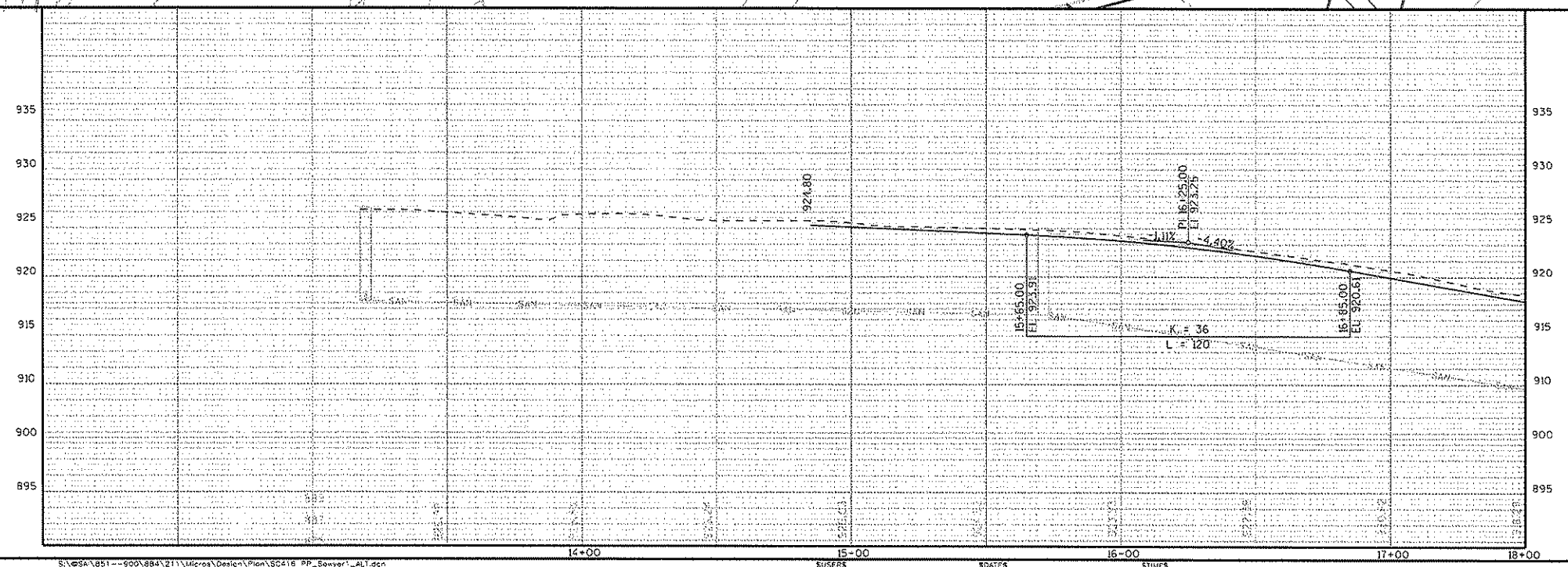
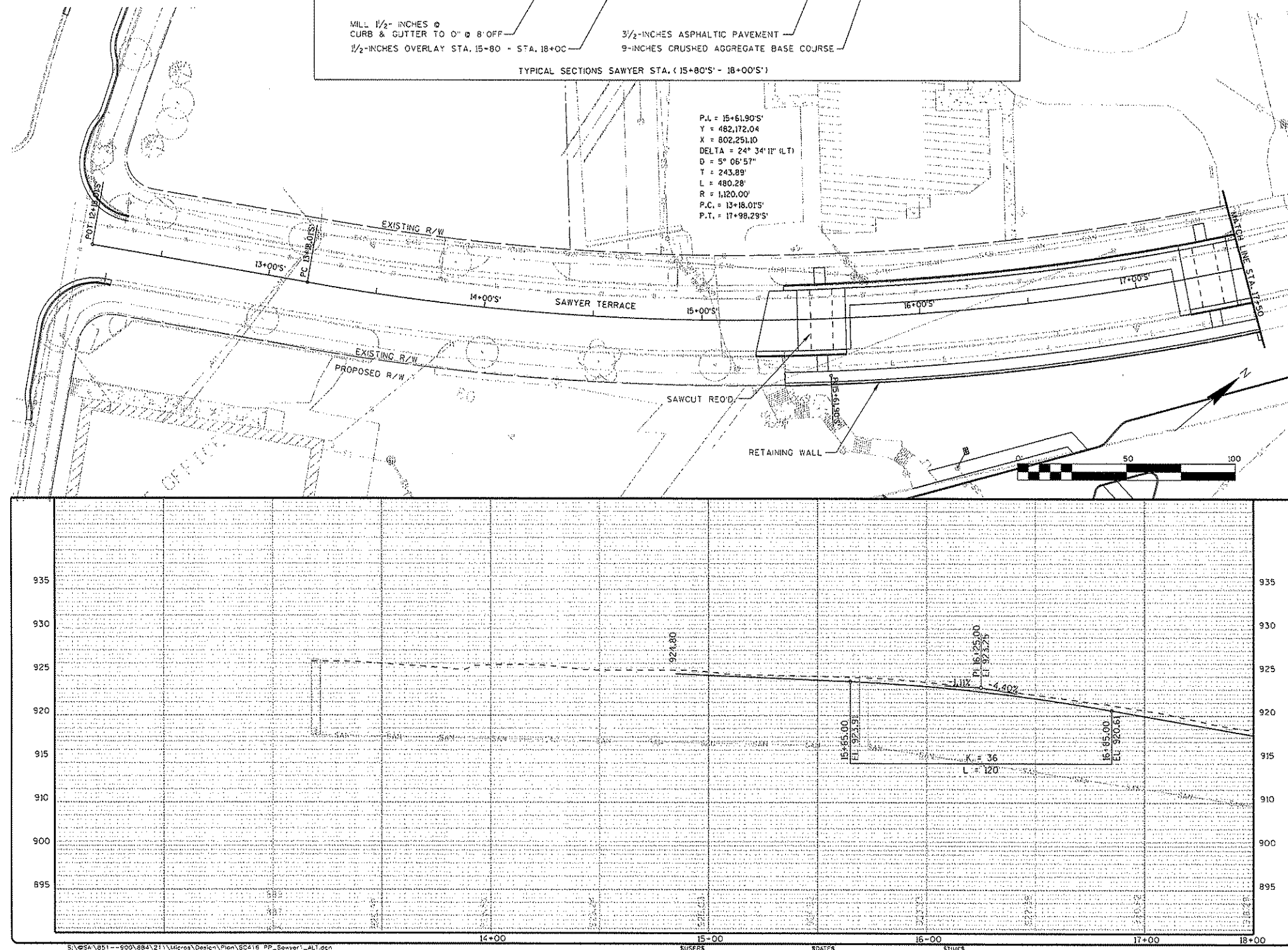
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Y = 482,172.04
X = 802,251.10
DELTA = 24° 34' 11" (LT)
D = 5° 06' 57"
T = 243.89'
L = 480.28'
R = 1,120.00'
P.C. = 13+18.01'S
P.T. = 17+98.29'S



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STREET AND
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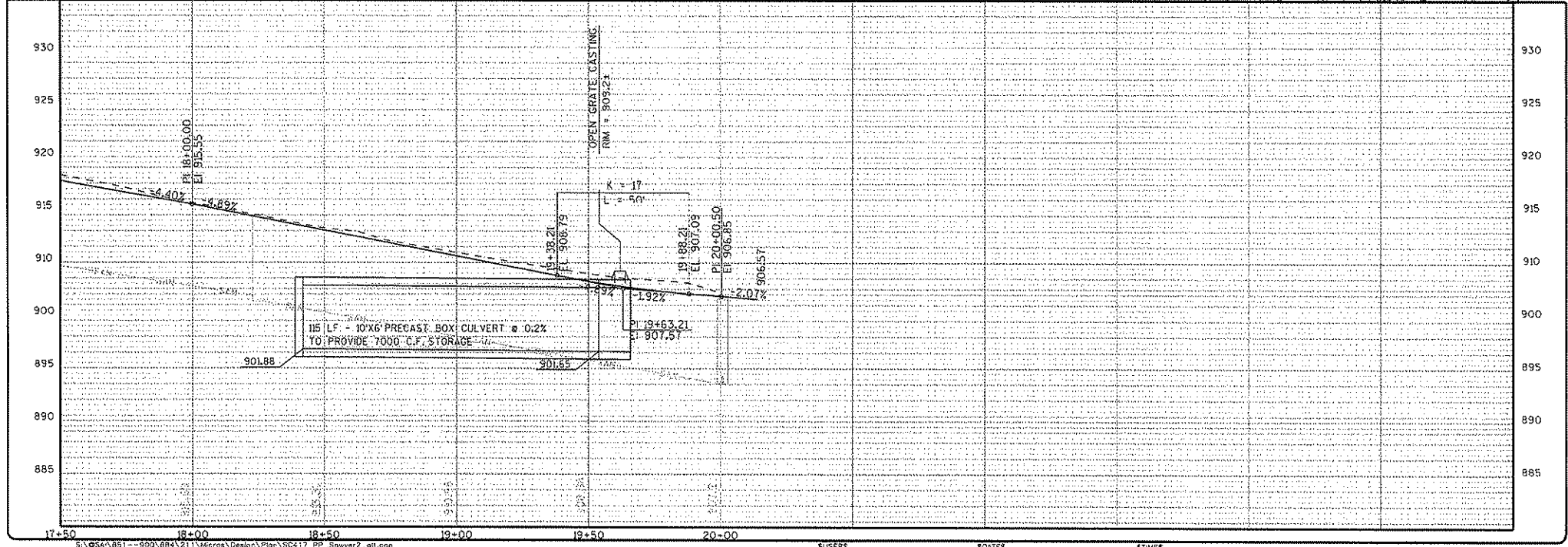
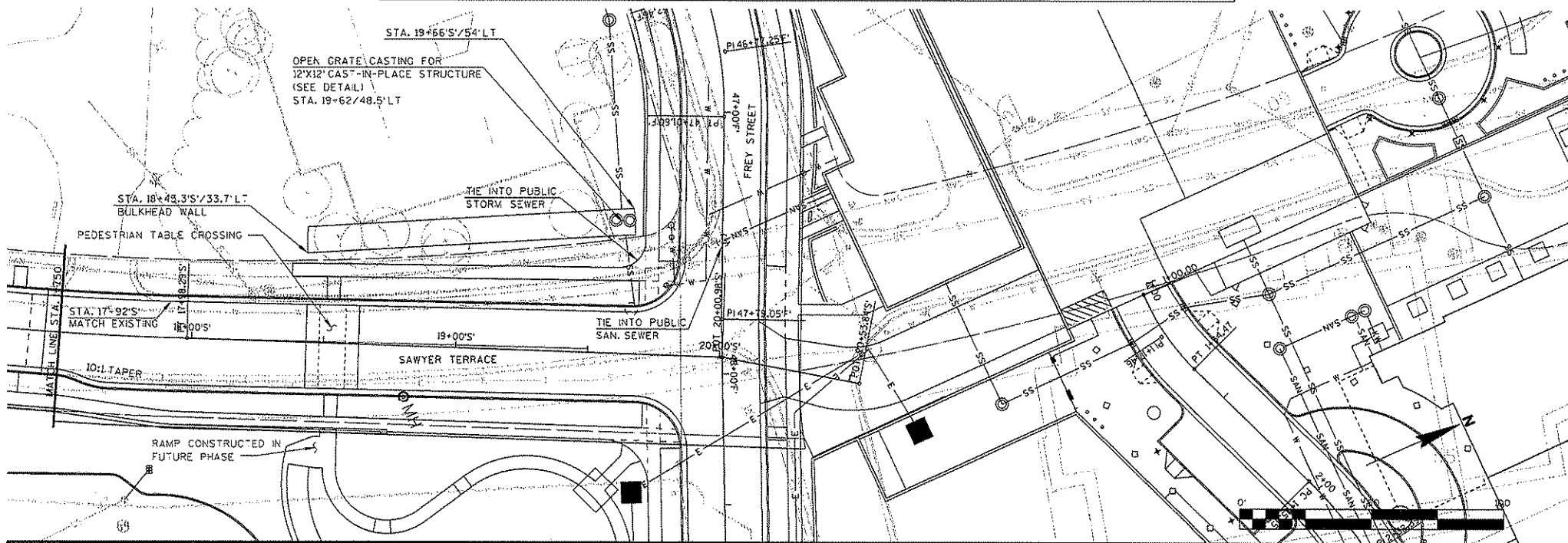
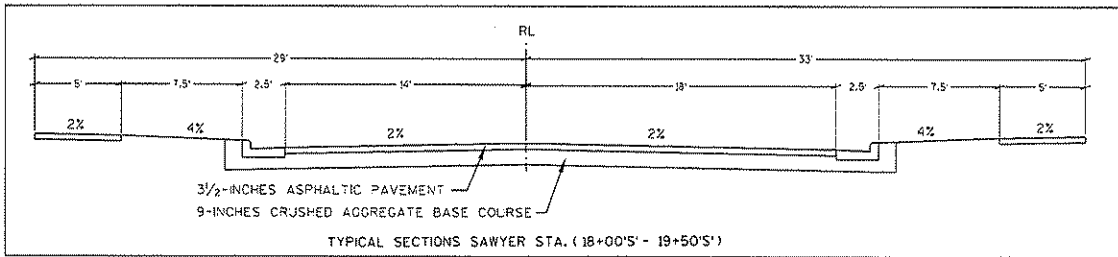
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Sheet Title
STREET AND UTILITY CONSTRUCTION SAWYER TERRACE

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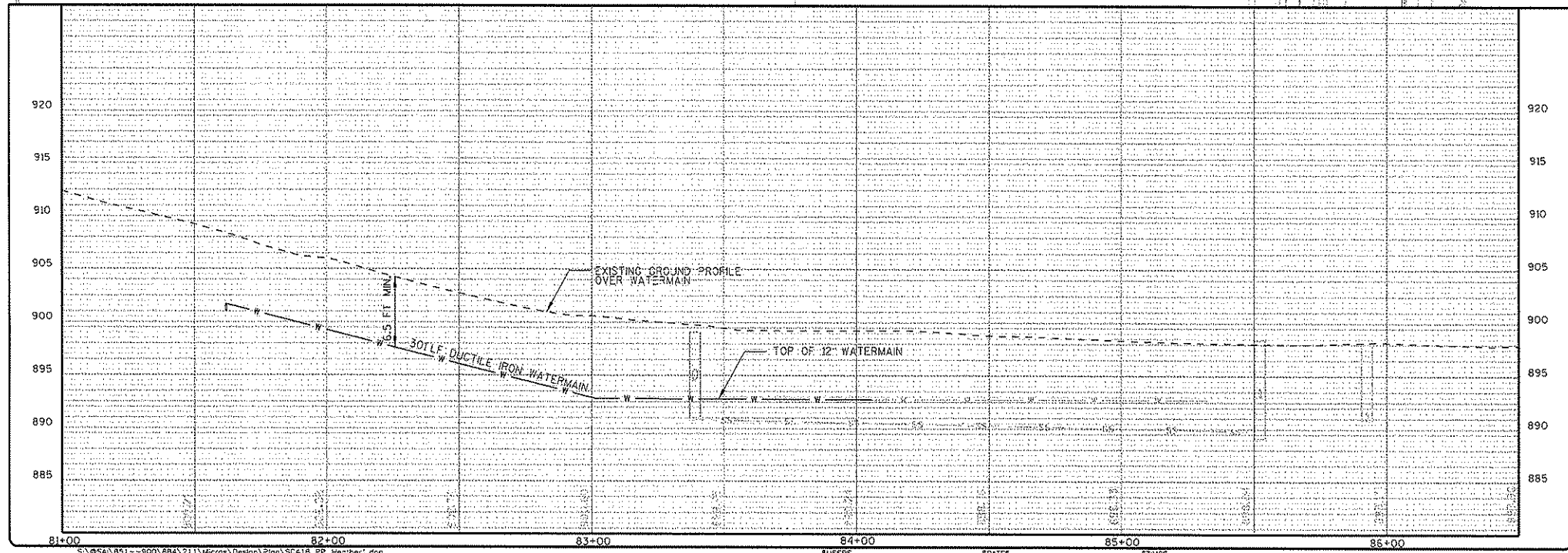
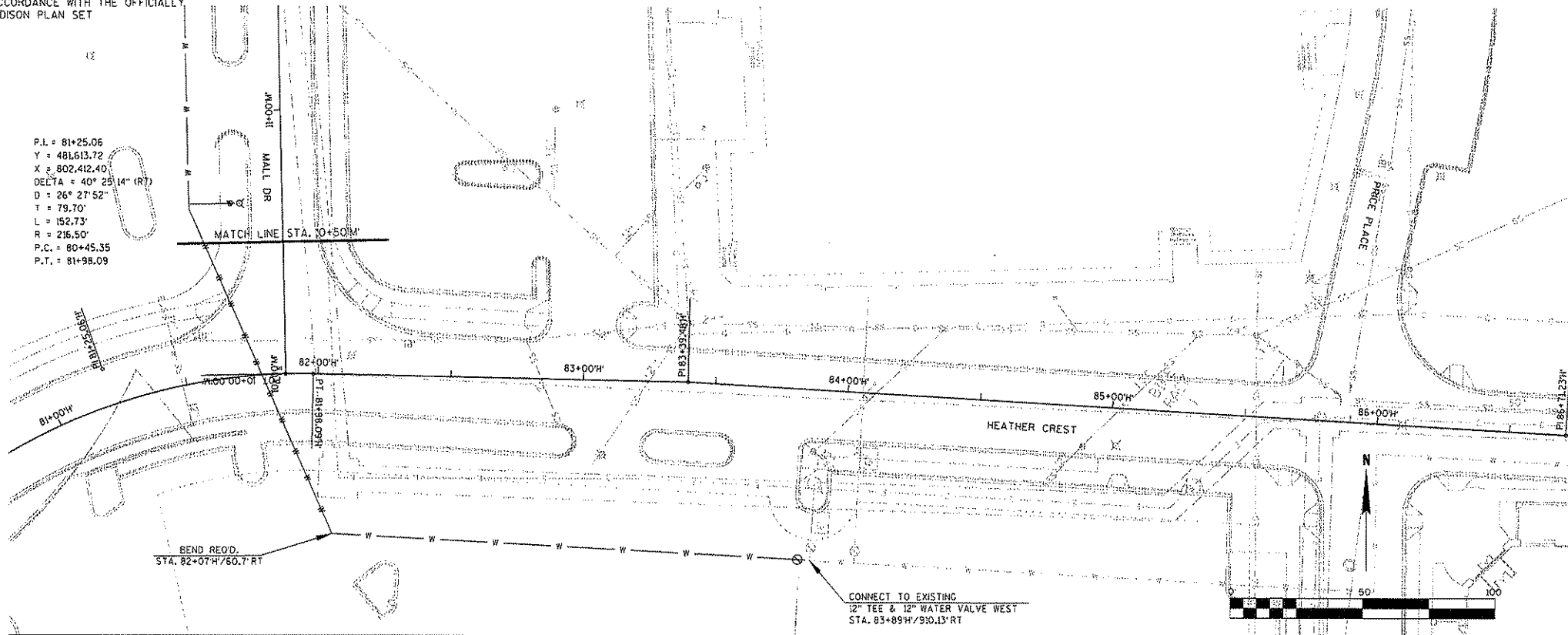
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P.I. = 81+25.06
Y = 481613.72
X = 802412.40
DELTA = 40° 25' 14" (RT)
D = 26° 27' 52"
T = 79.70'
L = 152.73'
R = 216.50'
P.C. = 80+45.35
P.T. = 81+95.09



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Sheet Title
**STREET AND
UTILITY
CONSTRUCTION
HEATHER CREST**

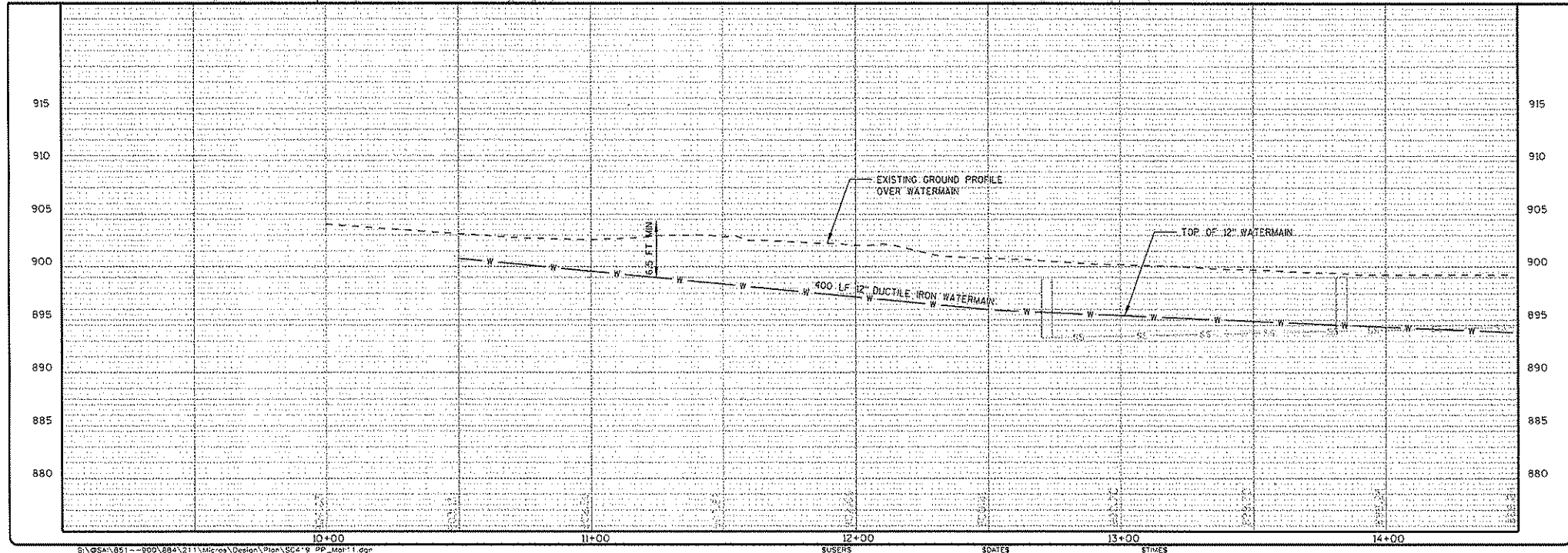
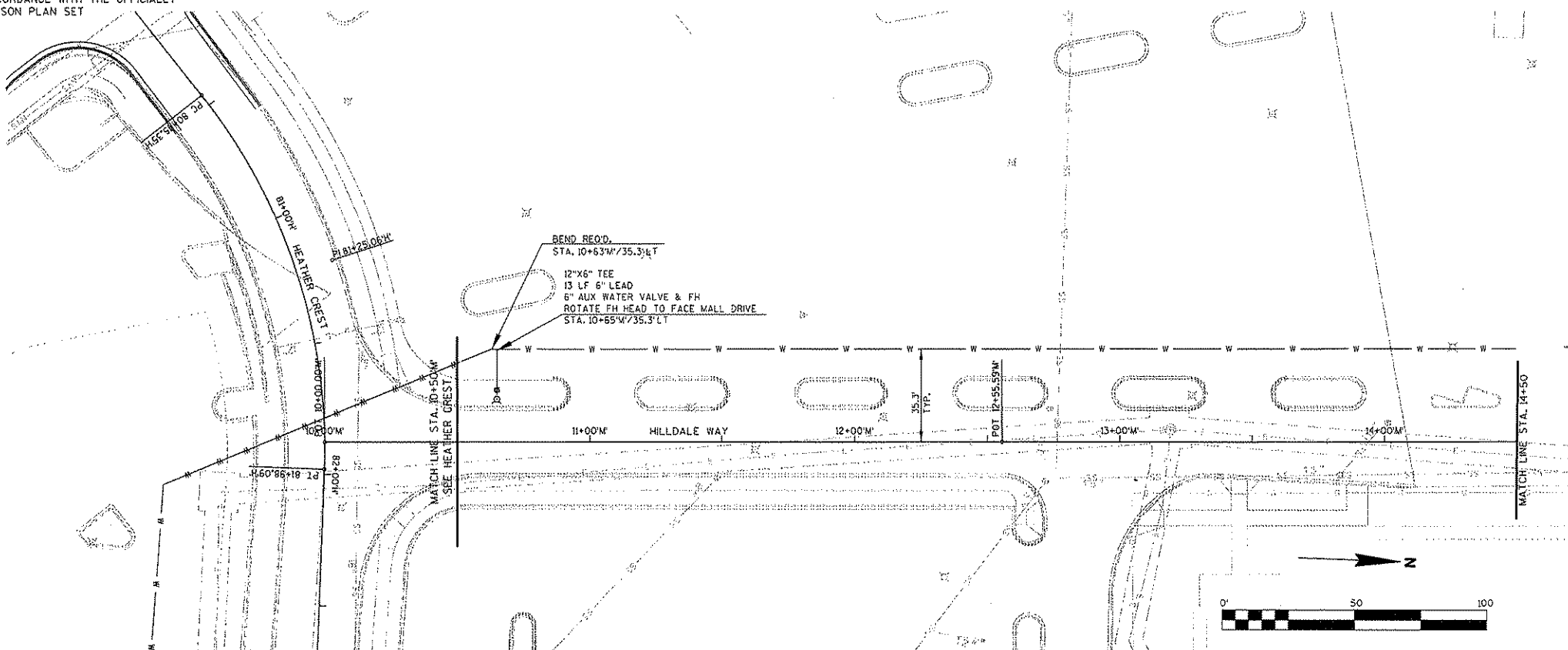
Revised	By	Date	Revised	By	Date

Project Number	Drawn By
Date Issued	Reviewed By
5/7/08	

Sheet Number
S/C 418

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STREET AND
UTILITY
CONSTRUCTION
HILLDALE WAY

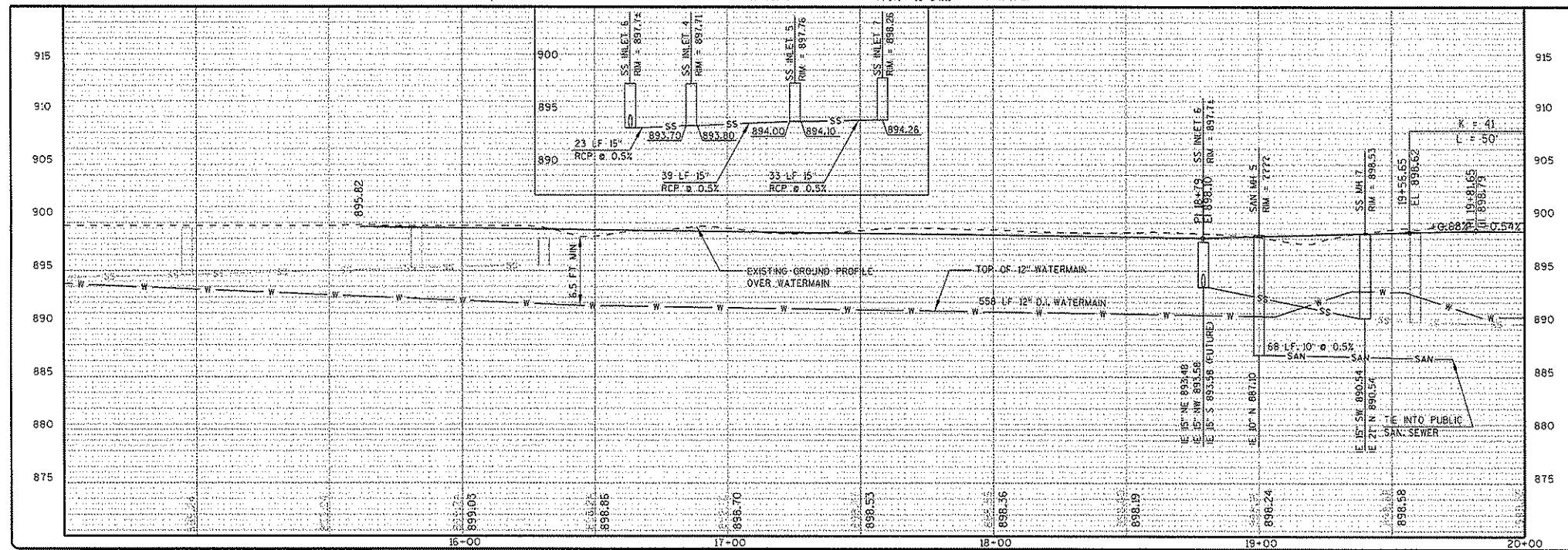
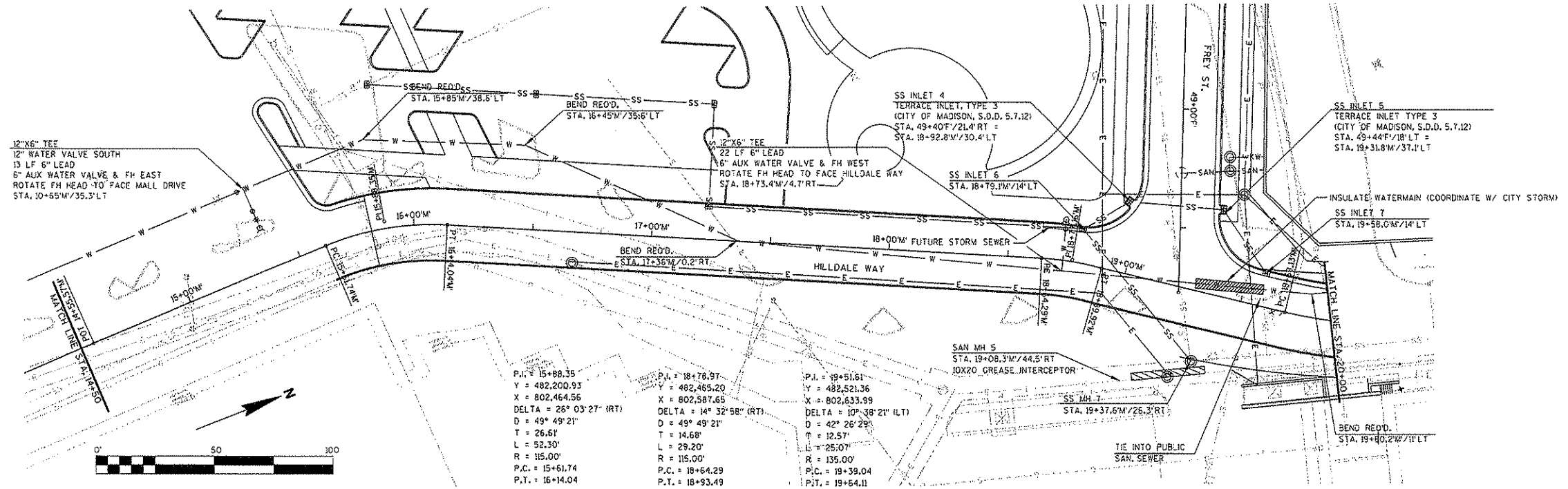
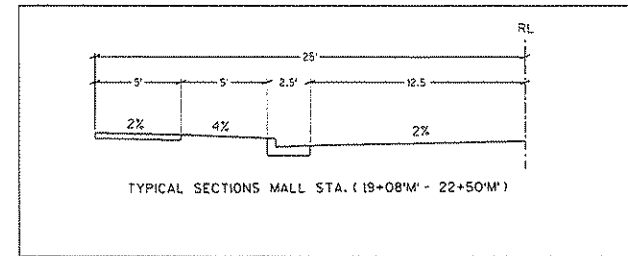
Revised	By	Date	Description	By

Project Number	Drawn By
Date Issued	Reviewed By
5/7/08	

Sheet Number:
S/C 419

NOTE: ALL WORK PROPOSED IN THE RIGHT OF WAY
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CONSTRUCTED IN ACCORDANCE WITH THE OFFICIALLY
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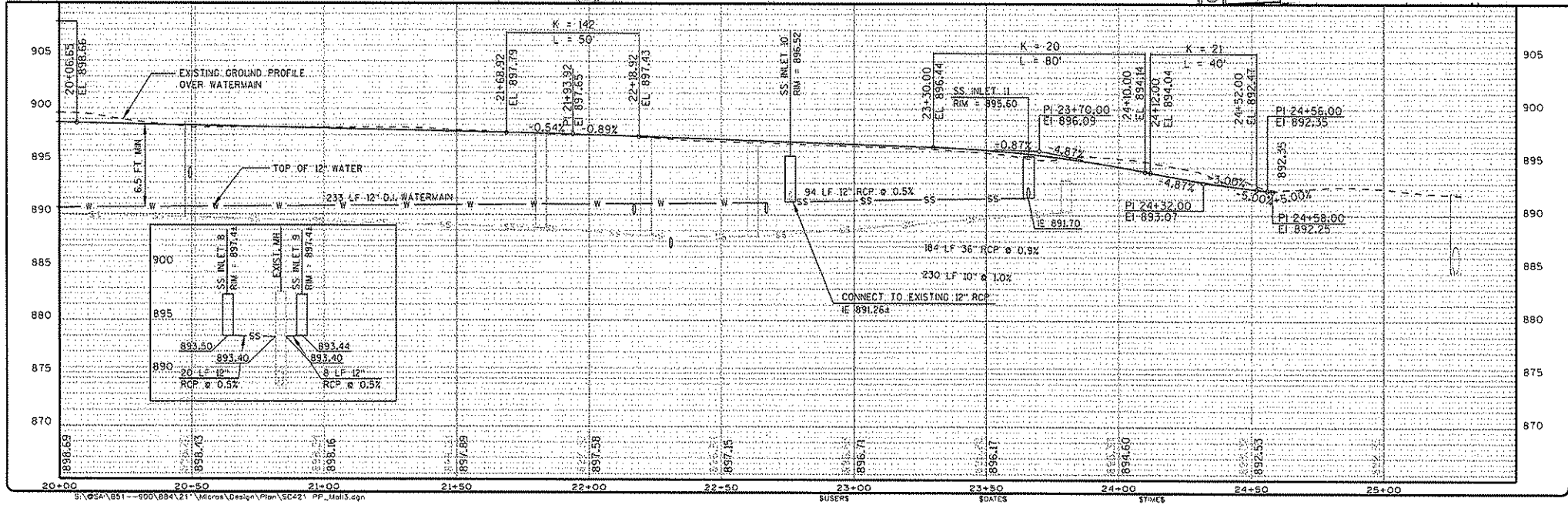
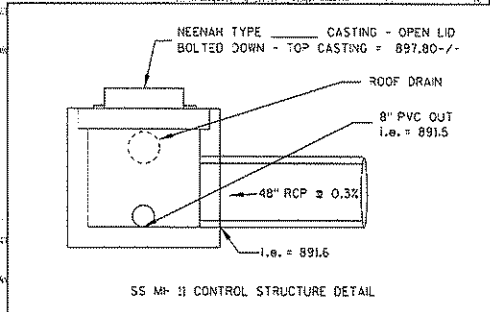
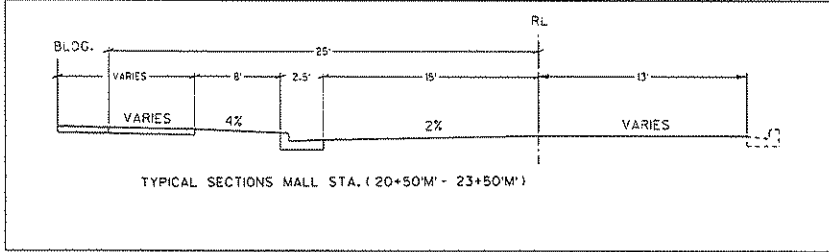
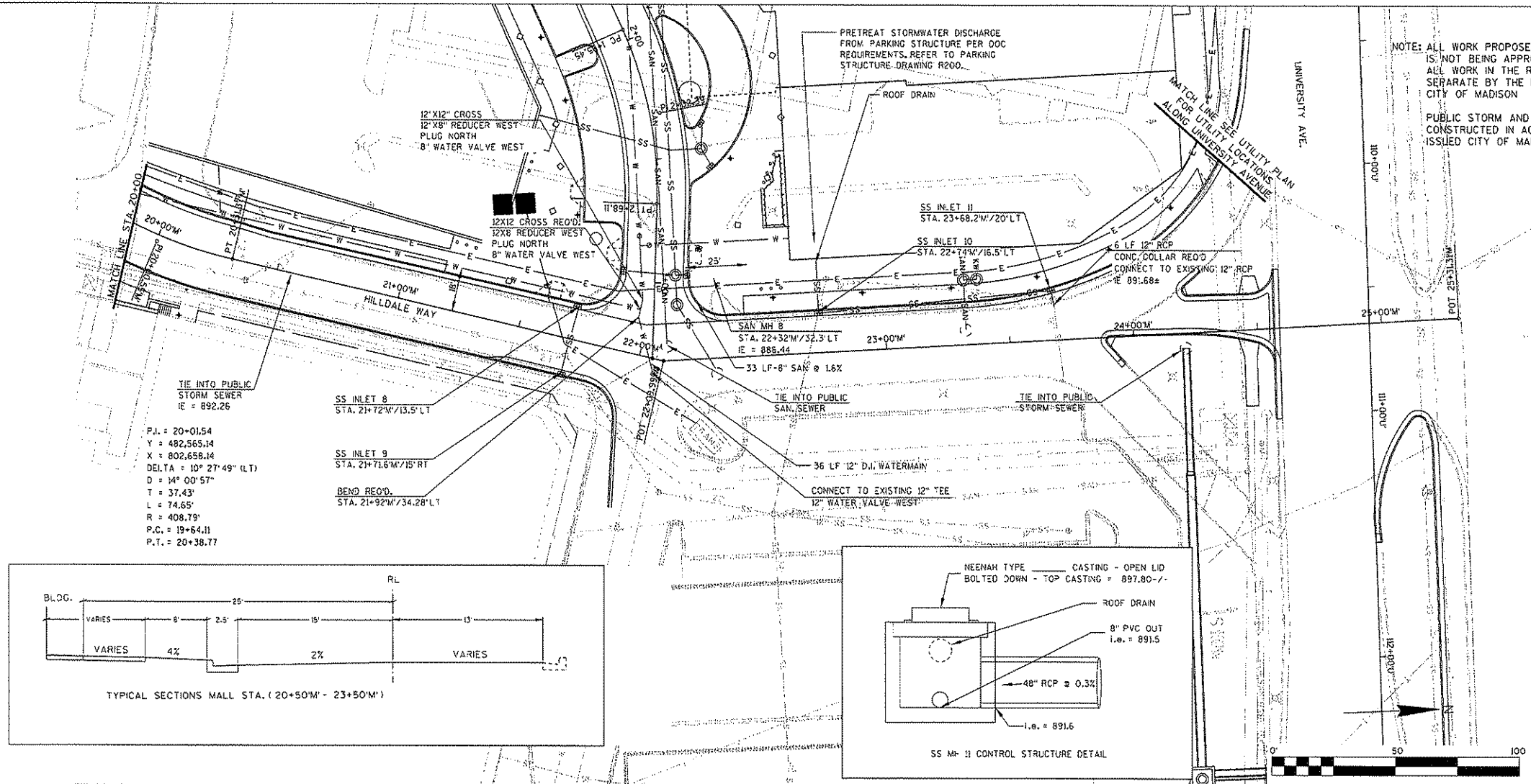
HILLDALE LAND COMPANY LLC

Sheet Title
**STREET AND
UTILITY
CONSTRUCTION
HILLDALE WAY**

Revisions			By
No.	Date	Description	

Prepared Numbers		Drawn By	
Date Issued		Received By	
5/7/08			

Sheet Number
S/C 420



NOTE: ALL WORK PROPOSED IN THE RIGHT OF WAY IS NOT BEING APPROVED AS PART OF THE PUD(CDP-SIP). ALL WORK IN THE RIGHT OF WAY IS APPROVED SEPARATE BY THE BOARD OF PUBLIC WORKS, CITY OF MADISON

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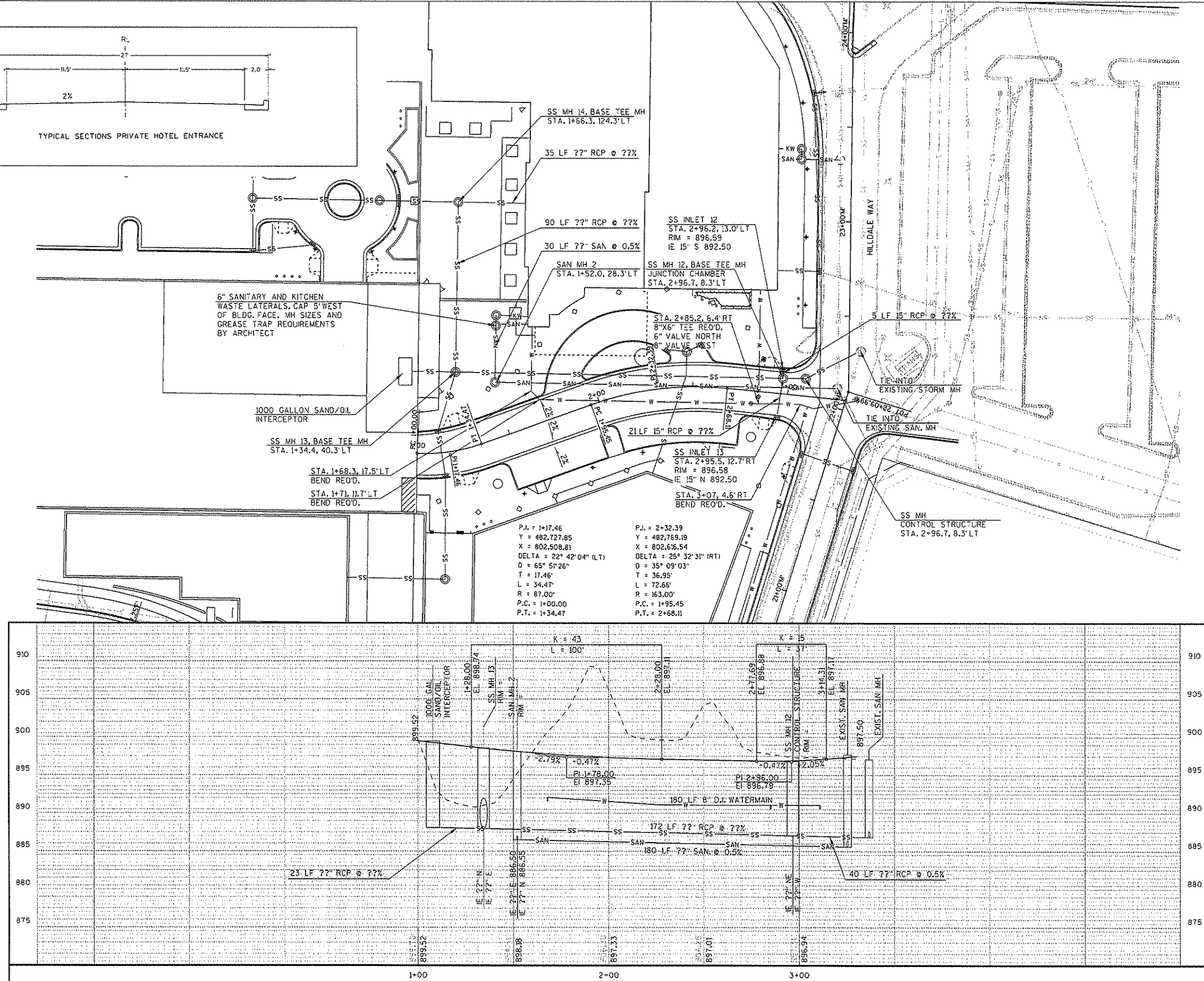
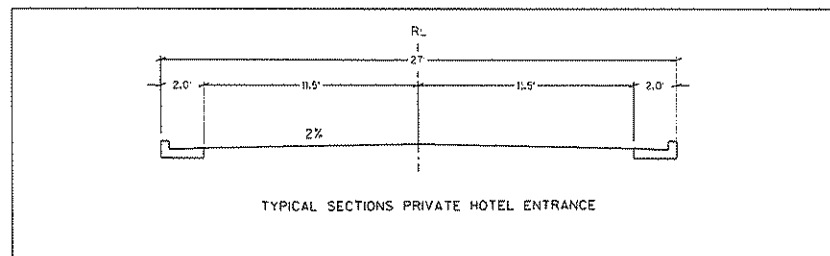
Sheet Title: **STREET AND UTILITY CONSTRUCTION HILLDALE WAY**

Revised	By	Date	Description	By

Project Number: **5/7/08** Drawn By: **X**

Date Issued: **5/7/08** Revised By: **X**

Sheet Number: **S/C 421**



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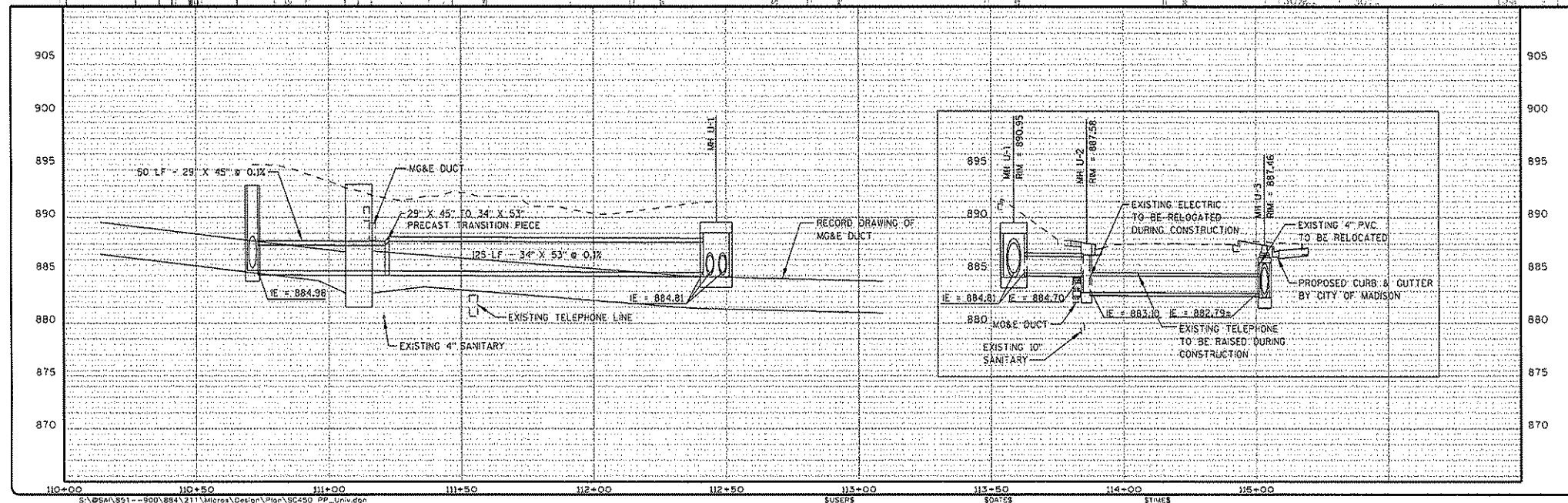
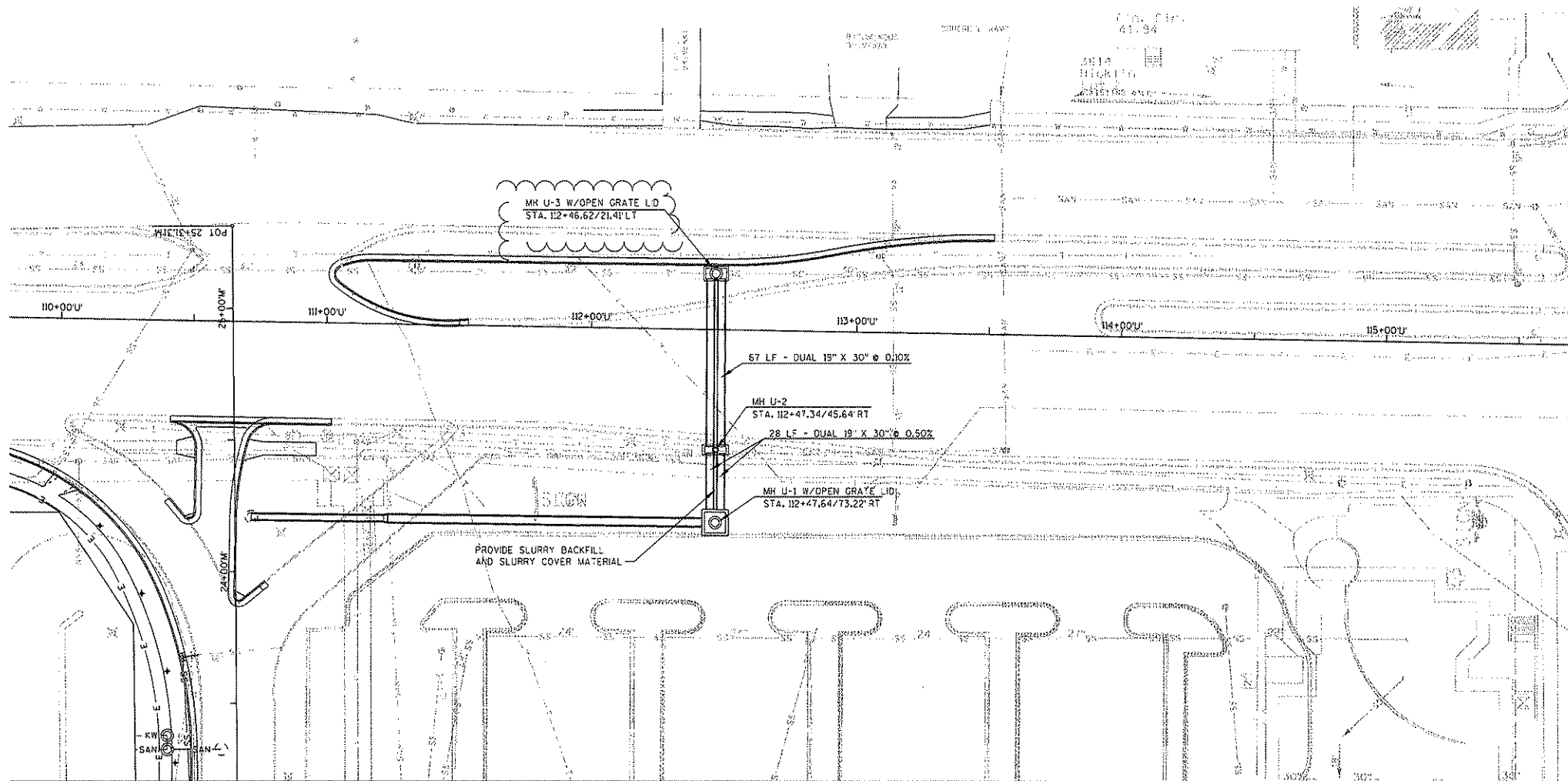
HILLDALE LAND COMPANY LLC

STREET AND
UTILITY
CONSTRUCTION
HOTEL ENTRANCE

Revised	By	Date	Revised	By	Date

Project Number	Drawn By
Date Issued	Reviewed By
5/7/08	

Sheet Number
S/C 422



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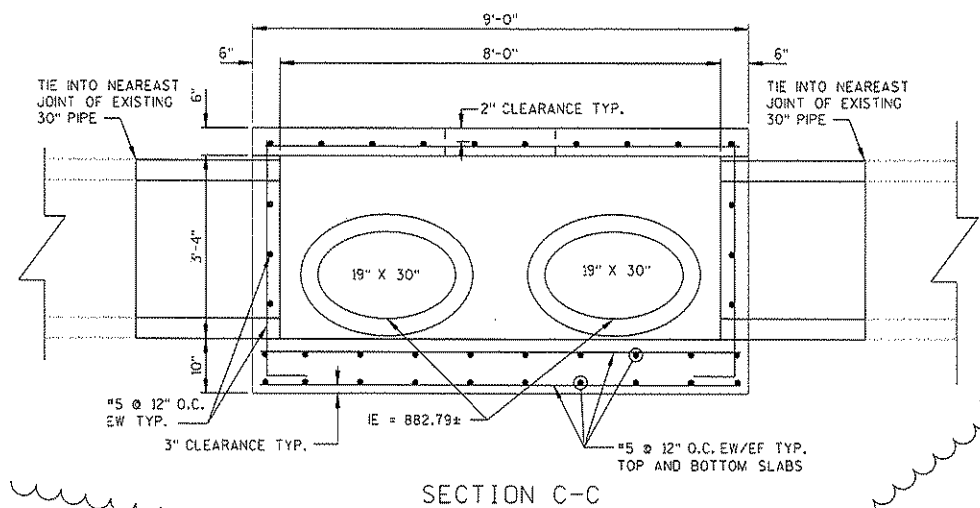
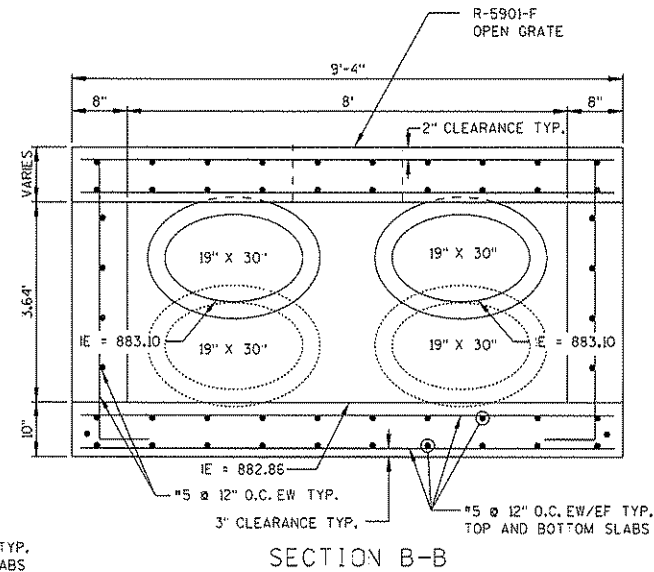
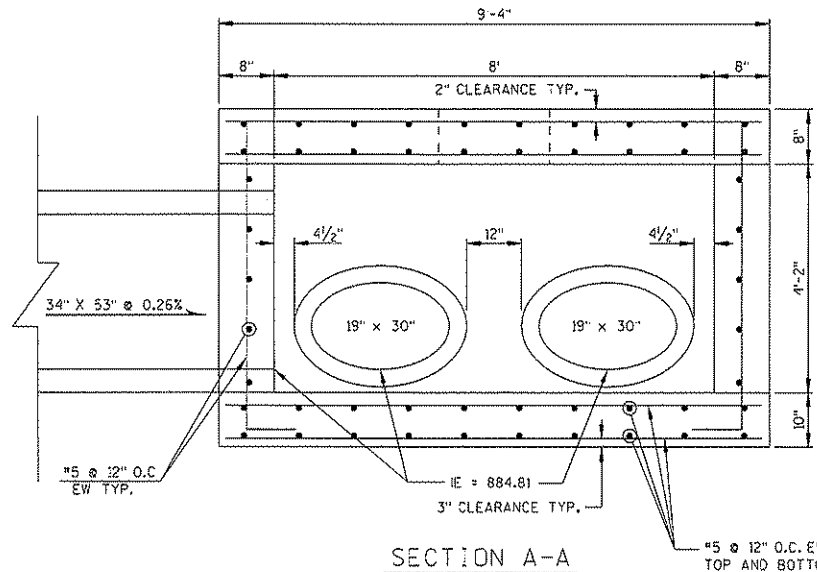
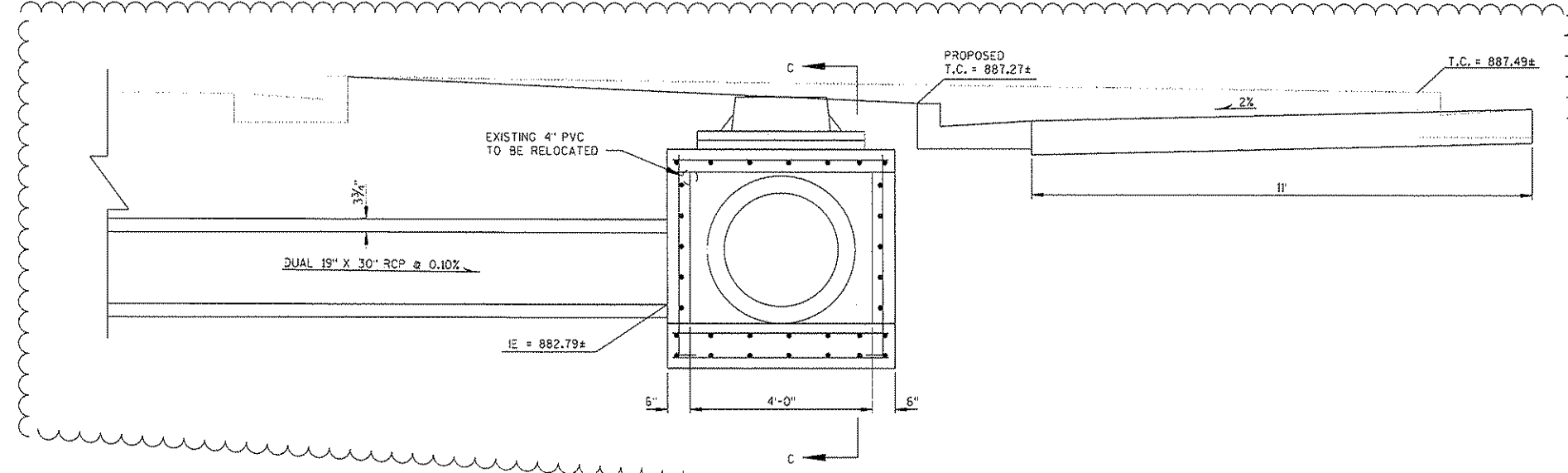
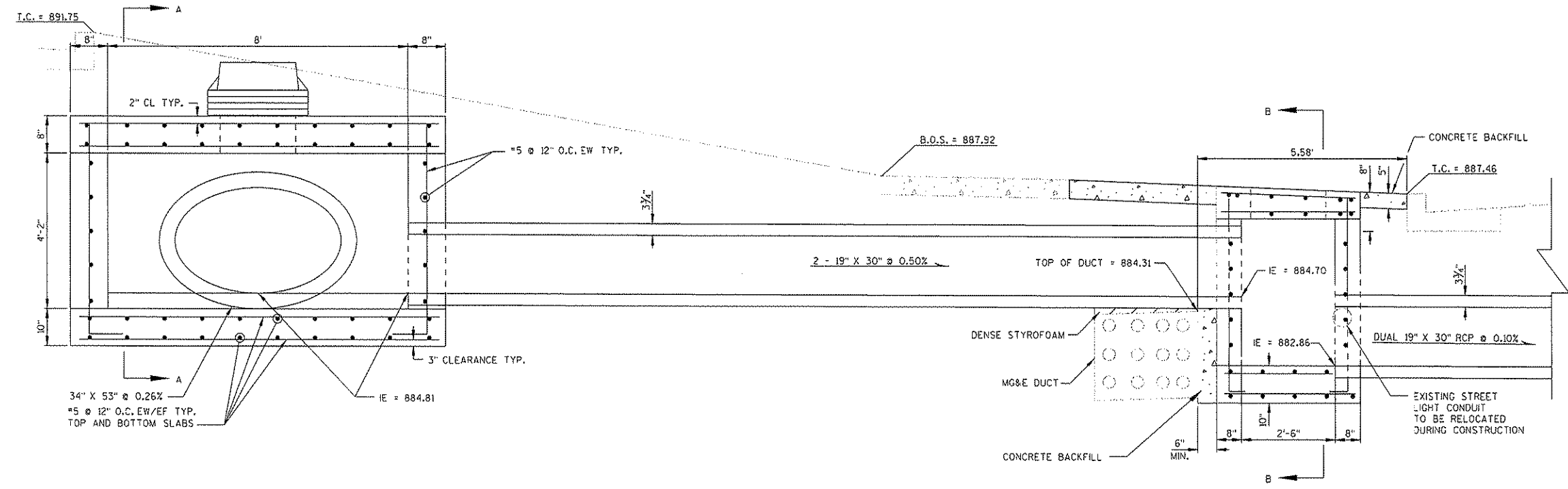
Street Title
**STREET AND
UTILITY
CONSTRUCTION
HILDALE WAY**

Revisions		
No.	Date	Description
1	4/20/08	REVISED

Prepared By	Drawn By
Date Issued	Reviewed By
5/7/08	

Sheet Number
S/C 450

HILDALE SHOPPING CENTER
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Sheet Title: **STORM SEWER UTILITY DETAILS**

Rev	Desc	By	Check
1	4/2/88	WHS	WHS

Project Number: **451** Drawn By: **WHS**

Date Issued: **5/7/08** Reviewed By: **WHS**

Sheet Number: **S/C 451**

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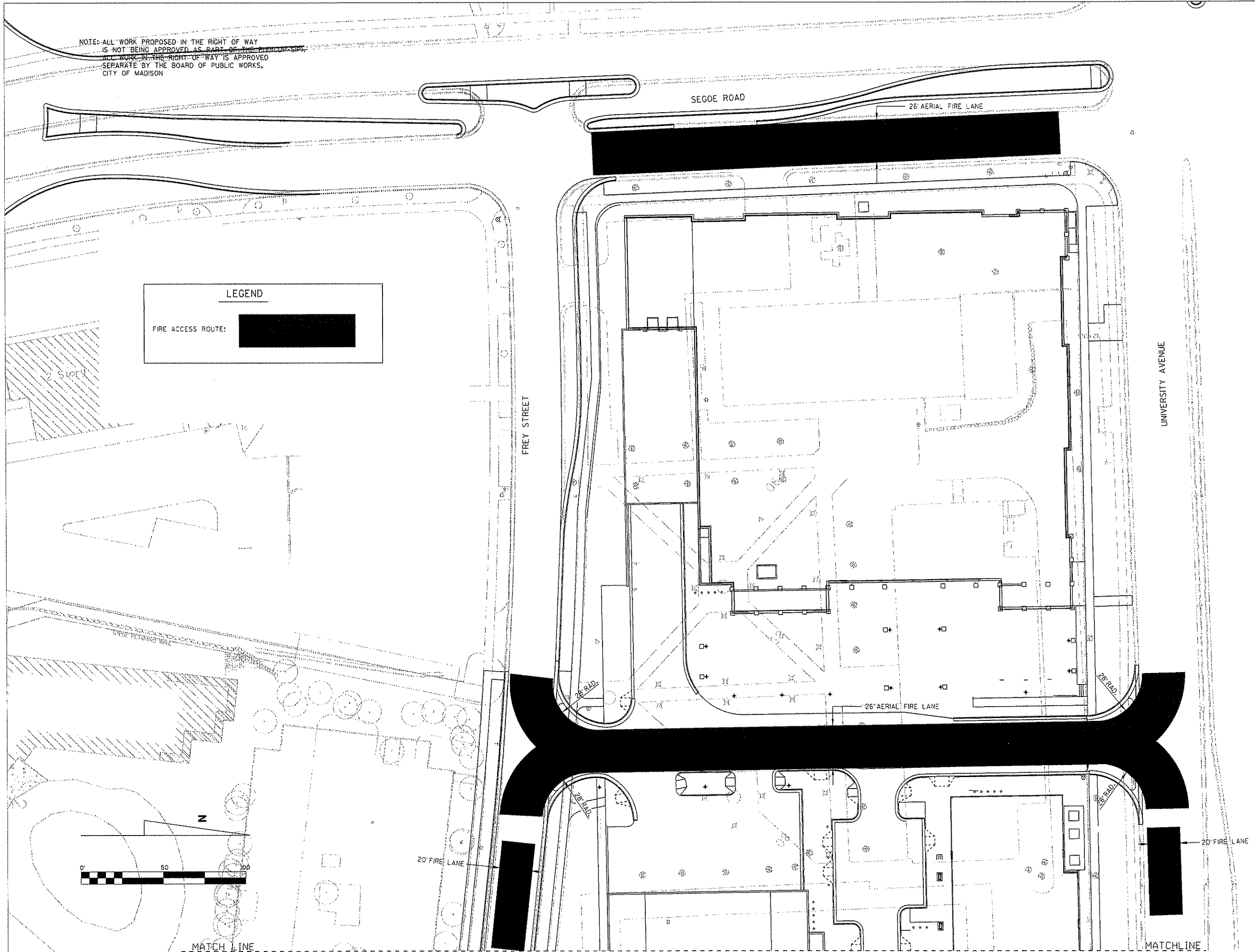
HILDALE SHOPPING CENTER
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Sheet Title
**FIRE ACCESS
WEST**

Revisions:		
No.	Date	Description

Project Numbers:		Drawn By:	
X		X	
Date Issued:		Reviewed By:	
X 5/7/08		X	

Sheet Number:
S/C 500





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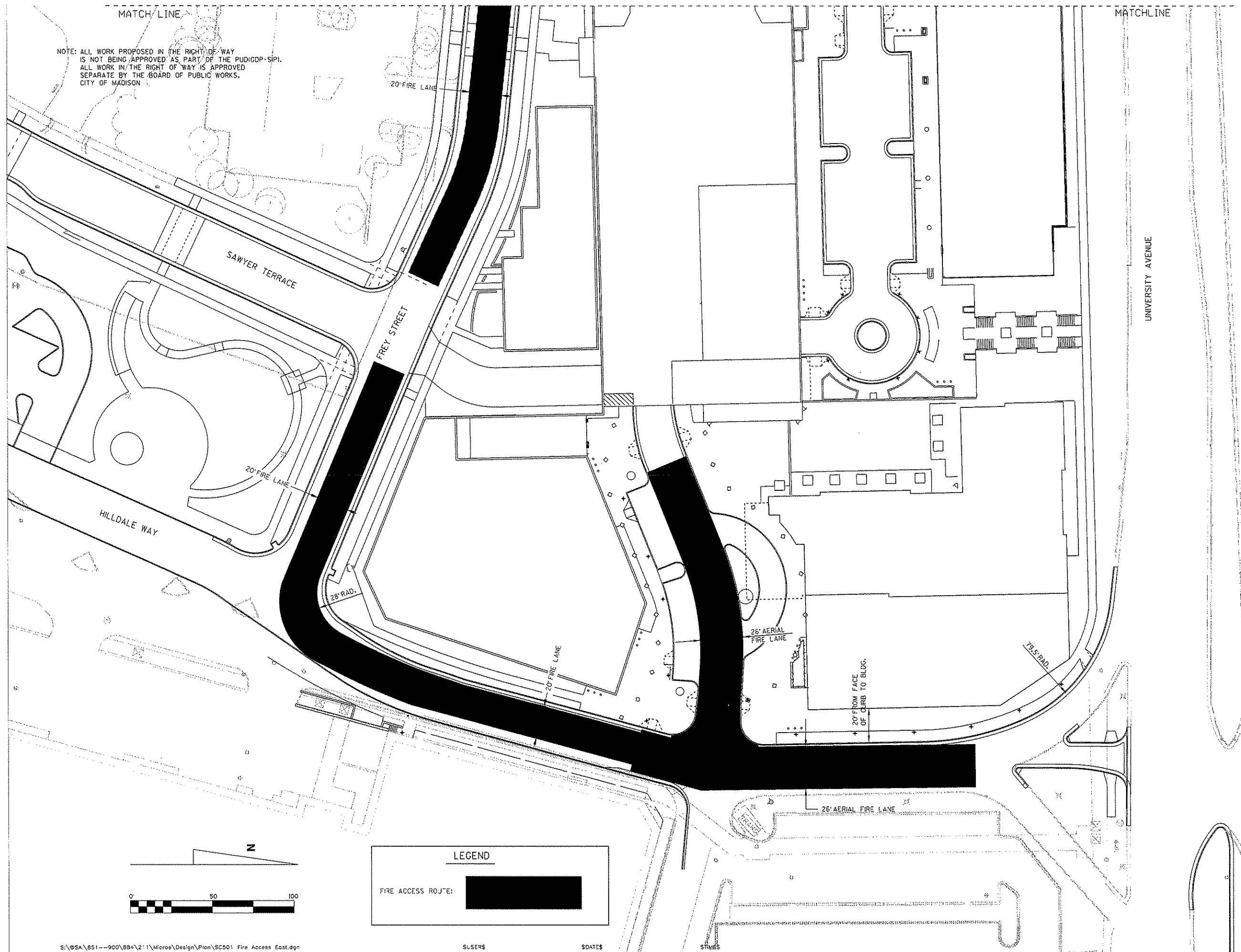
702 N. MIDVALE BOULEVARD
MADISON, WI
HILDALE BUILDING COMPANY LLC

Sheet Title
**FIRE ACCESS
EAST**

Revised	No.	Date	Description	By

Project Number	Drawn By
Date Issued	Reviewed By
5/7/08	

Sheet Number
S/C 501



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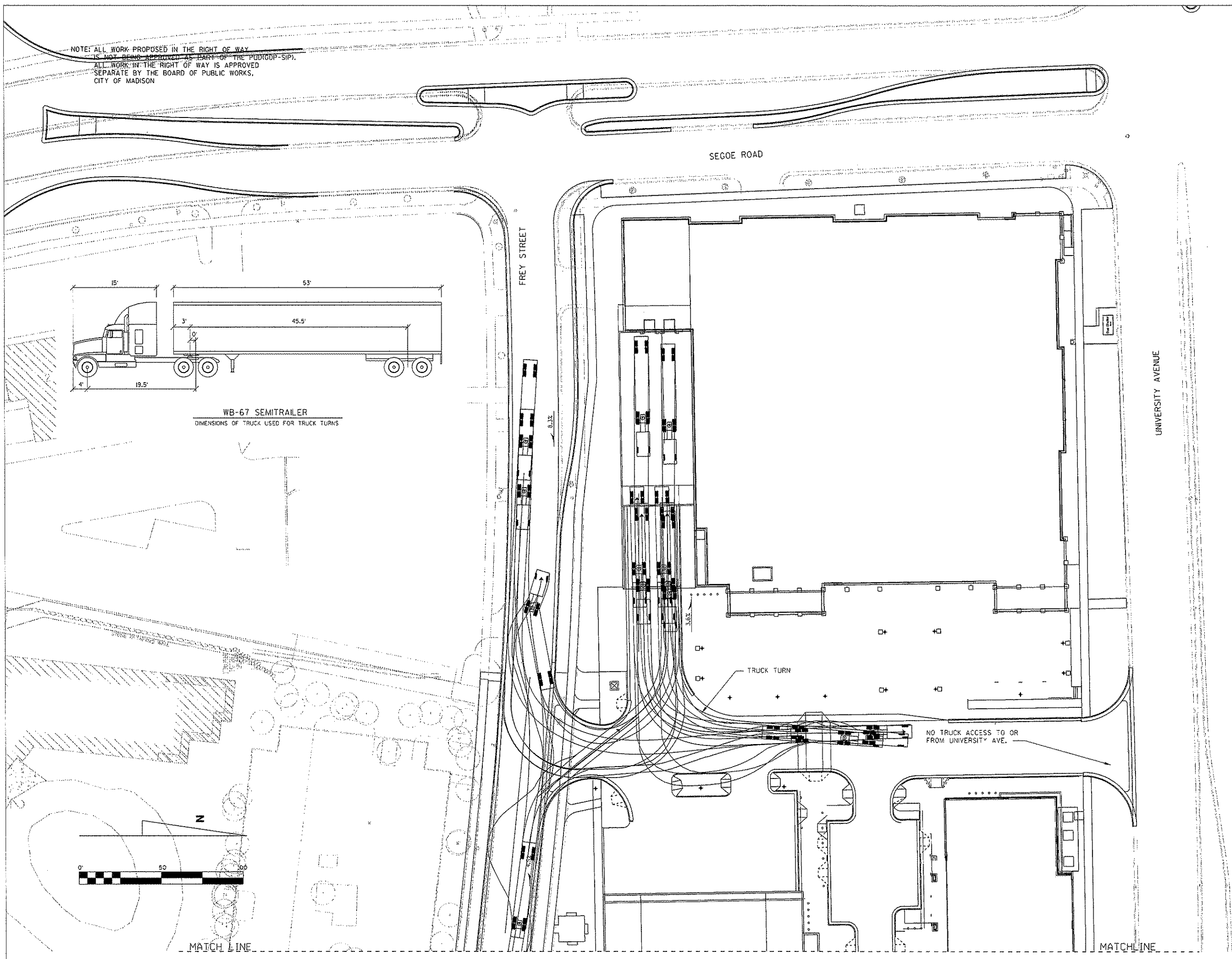
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TRUCK ACCESS WEST

Revised:	By	Date	Revised:	By	Date

Project Number:	Drawn By:
X	X
Date Issued:	Reviewed By:
X 5/7/08	X

Sheet Number:
S/C 502





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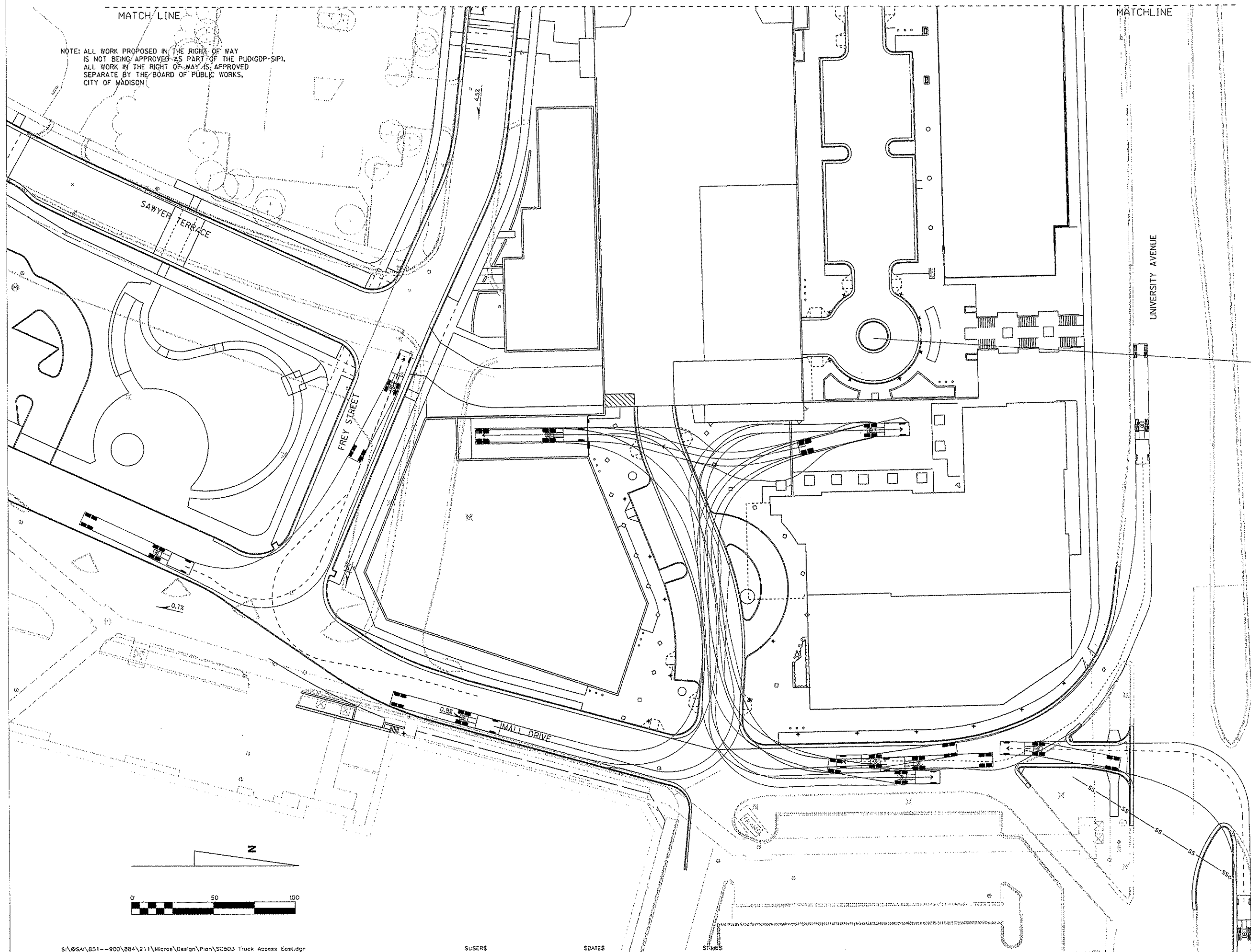
702 N. MIDVALE BOULEVARD
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Sheet Title:
**TRUCK ACCESS
EAST**

Revised	No.	Date	Description	By

Project Number:	Drawn By:
X	X
Date Issued:	Reviewed By:
X 5/7/08	X

Sheet Number:
S/C 503



Segoe Road

Segoe Road

Retail Unit L
Whole Foods

Architectural site plan for Retail Unit L, Whole Foods. The plan shows a large rectangular building footprint with a central courtyard. The building is surrounded by a lawn and a perimeter of trees. The courtyard is paved and contains several circular planters, benches, and a custom precast planter. The plan includes numerous callouts for materials, plants, and furniture.

Key features and callouts include:

- Building Footprint:** A large rectangular structure with a central courtyard.
- Central Courtyard:** Paved area with circular planters, benches, and a custom precast planter.
- Perimeter Landscaping:** Lawn and trees surrounding the building.
- Callouts:** Numerous circular callouts with numbers (e.g., 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100) and text labels (e.g., "Precast Planter, 5 typ. CDP 3053", "Custom Precast Planter, See Details.", "Bench, 12 typ. Mogin ML8700 AW", "Precast Planter, 4 typ. CDP 3053", "ANNUALS BY OWNER (TYP.)", "STONE MULCH", "LAWN", "TREES", "PLANTS", "FURNITURE").

Match Line

HILLDALE SHOPPING CENTER
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MADISON, WI

HILLDALE LAND COMPANY LLC

Sheet Number:
S/L 100

Match Line

Hilldale Redevelopment
Planting Plan (East)

Scale 1"=20'

N

Unit Q
1st Floor
6,840 sf

Proposed Retail Shell
18,500sf

Proposed Hotel

Proposed Retail Shell
10,500 sf

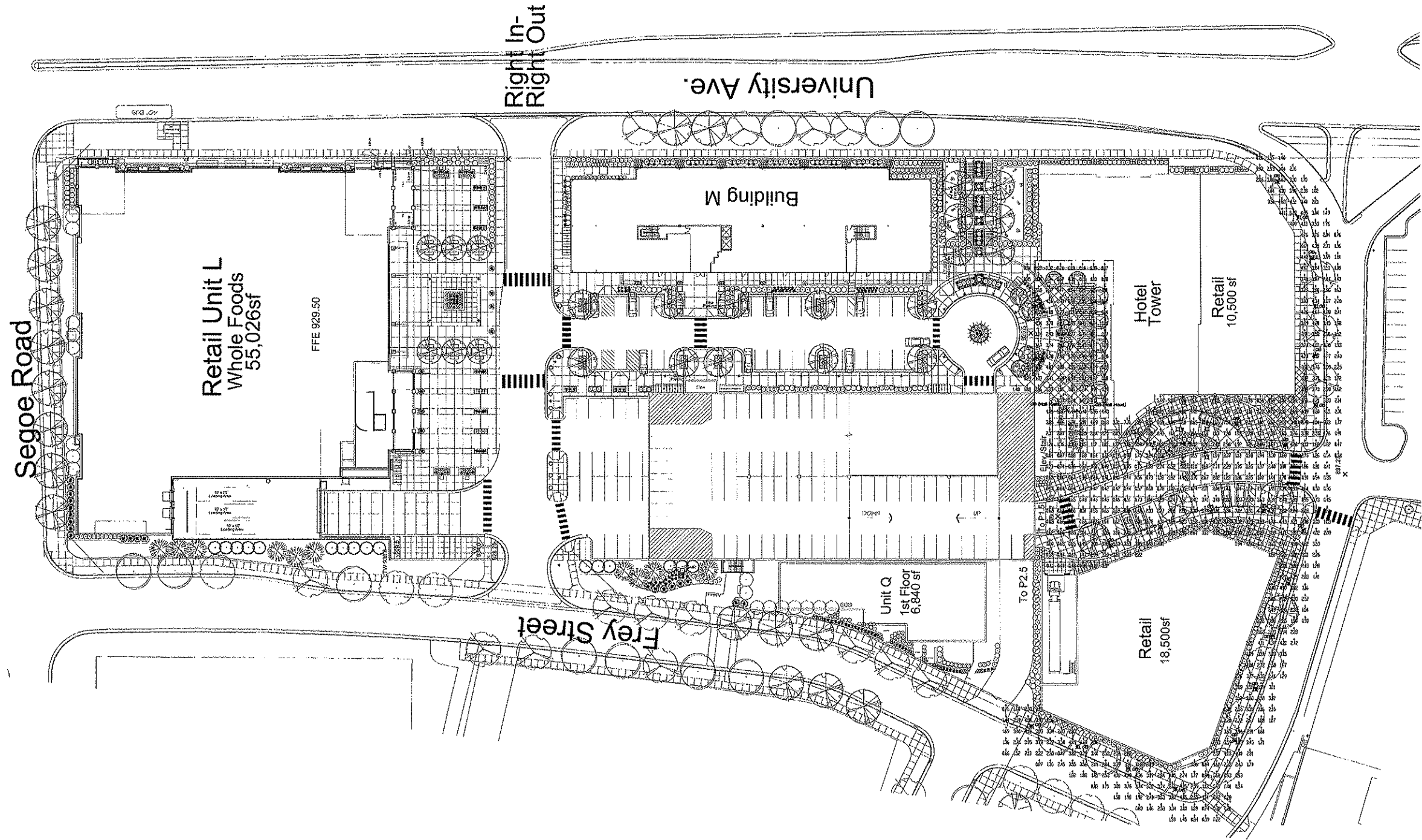
Sentry

Existing Parking

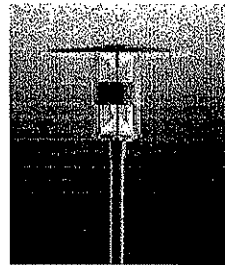
University Ave.

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MADISON, WI
HILLDALE LAND COMPANY LLC

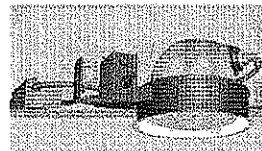
Sheet Number:
S/L 101



1 SITE PHOTOMETRICS
SCALE: 0' 10' 20' 30'



2 FIXTURE TYPE OB
SCALE: NONE



3 FIXTURE TYPE E
SCALE: NONE

FIXTURE SCHEDULE				
TYPE	SYMBOL	DESCRIPTION	LAMP	LUMENS
E	IX	SMART VERSION F8007	10 100W MH	8500
OB	IX	100W PARISON DAIT-PAK-15PMWSA-43-14" POLE	10 10W MH	19500

CALCULATION SUMMARY						
	AVE	MAX	MIN	HANDED	AVG/200 FT	HANDED/200 FT
PARKING LOT	2.2 fc	4.31 fc	0.44 fc	10.75	2.0	26

HILLDALE SHOPPING CENTER

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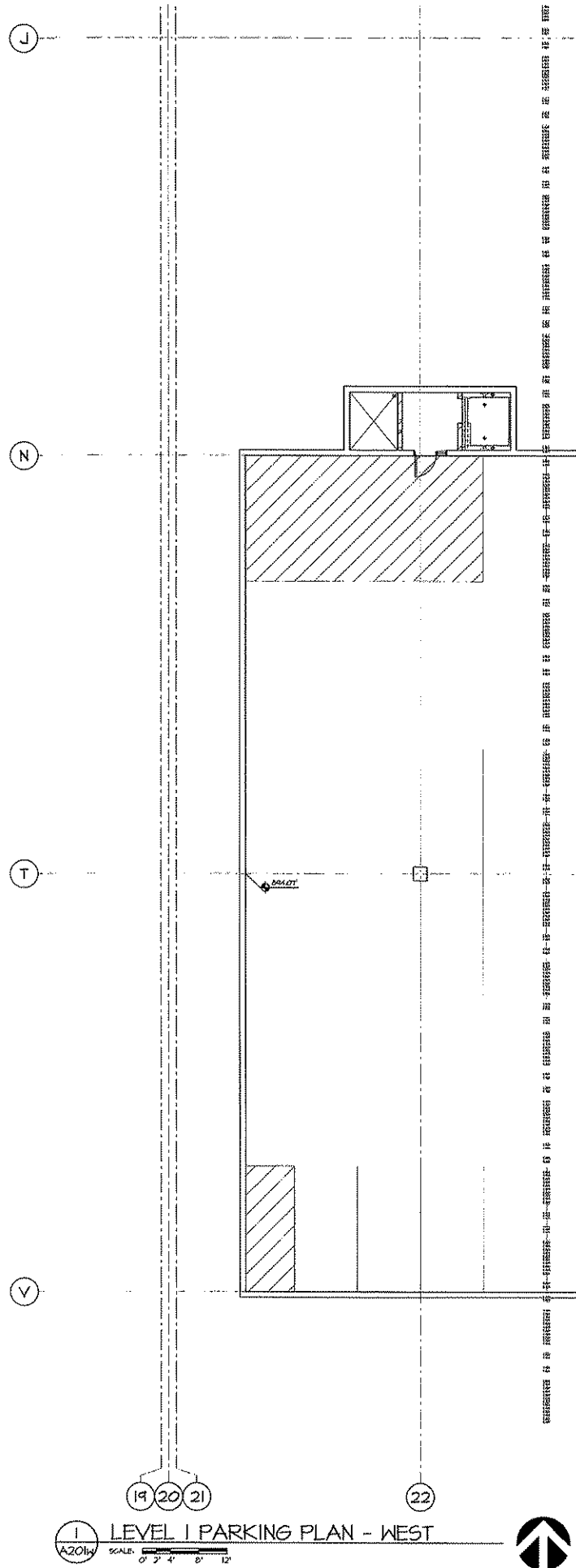
Sheet Title:
SITE PHOTOMETRICS

Revisions:		
No.	Date	Description

Project Number: 060297
Date Issued: 04/30/08
Drawn By: DTM
Reviewed By: AES

Sheet Number:
EL100

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HILDALE PARKING STRUCTURE
UNIVERSITY AVENUE
MADISON, WI

HILDALE BUILDING COMPANY LLC

Sheet Title:

**BUILDING R
LEVEL 1 PARKING
PLAN - WEST**

Revisions:			
No.	Date	Description	By:

Project Number:

060297

Date Issued:

05/07/08

Drawn By:

MMO

Designed By:

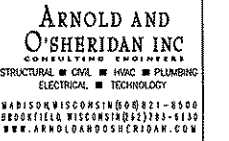
JJH

Sheet Number:

A201w

NOTE:
MAINTAIN MINIMUM
CLEARANCE OF
8'-6" TYPICAL

PROGRESS DOCUMENTS
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HILLDALE PARKING STRUCTURE
UNIVERSITY AVENUE

UNIVERSITY AVENUE
MADISON, WI

MADISON, WI

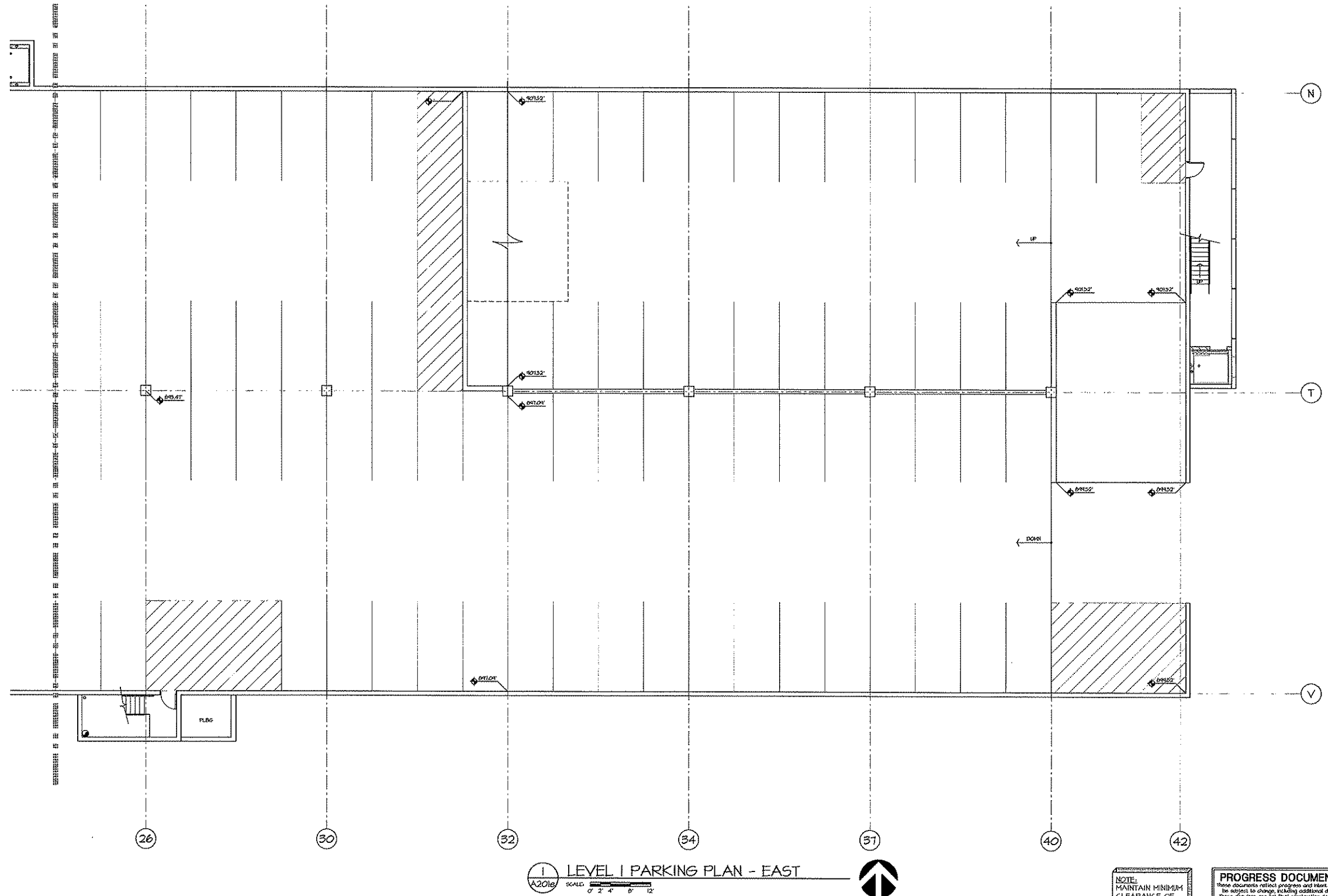
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BUILDING R
LEVEL 1 PARKING
PLAN - EAST

[illegible]

Project Number:	Drawn By:
060297	MMQ
Date Issued:	Designed By:
05/07/08	JJH

Sheet Number:
A201e



NOTE:
MAINTAIN MINIMUM
CLEARANCE OF
8'-6" TYPICAL

PROGRESS DOCUMENTS
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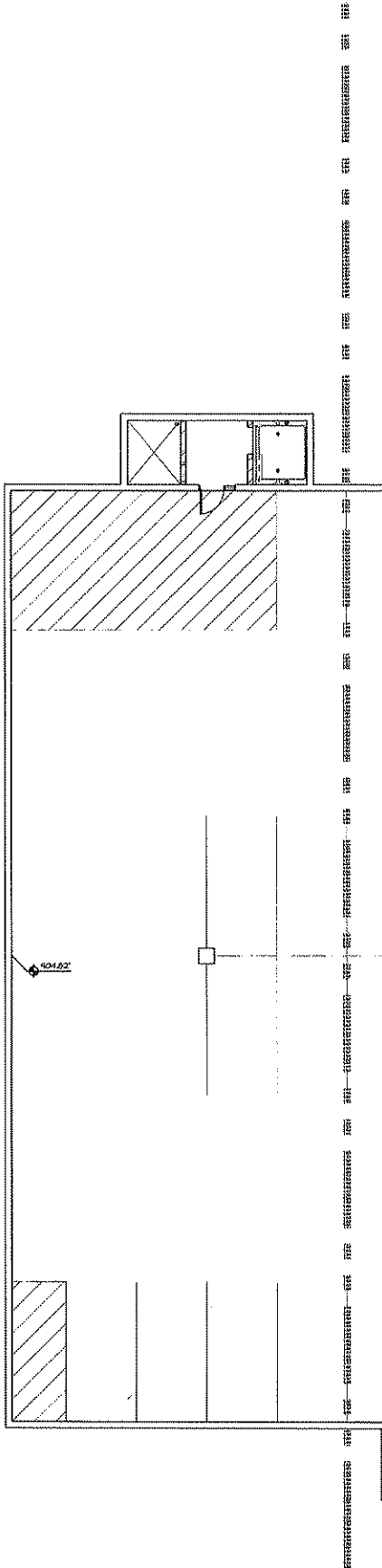
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1

A202w

LEVEL 2 PARKING PLAN - WEST

SCALE: 0' 2' 4' 8' 12'



NOTE:
MAINTAIN MINIMUM
CLEARANCE OF
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Sheet Title:

BUILDING R
LEVEL 2 PARKING
PLAN - WEST

Revisions:		
No.	Date	Description

Project Number: 060297
Date Issued: 05/07/08

Drawn By: MMQ
Designed By: JJH

Sheet Number:

A202w



HILLDALE PARKING STRUCTURE
UNIVERSITY AVENUE
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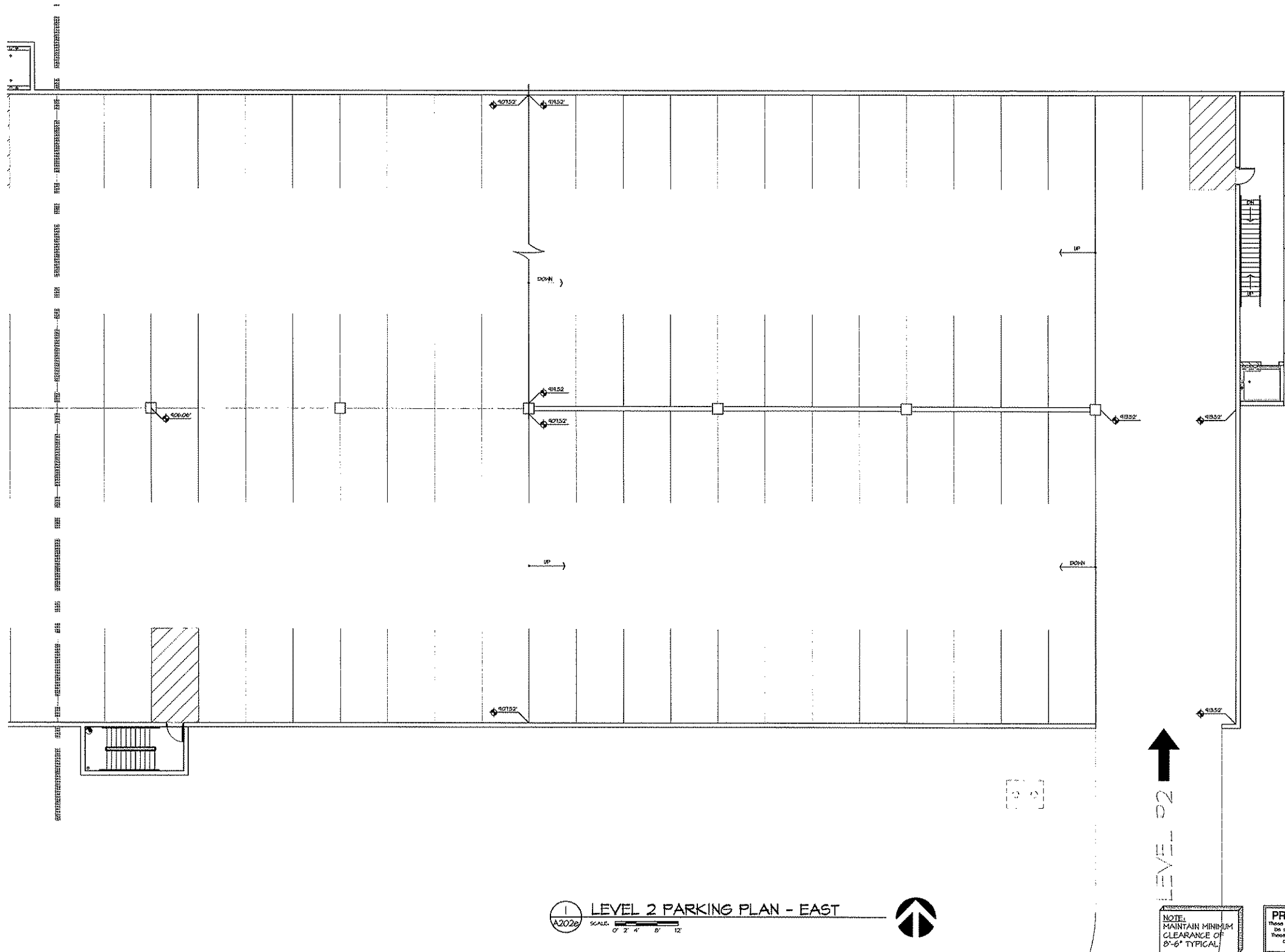
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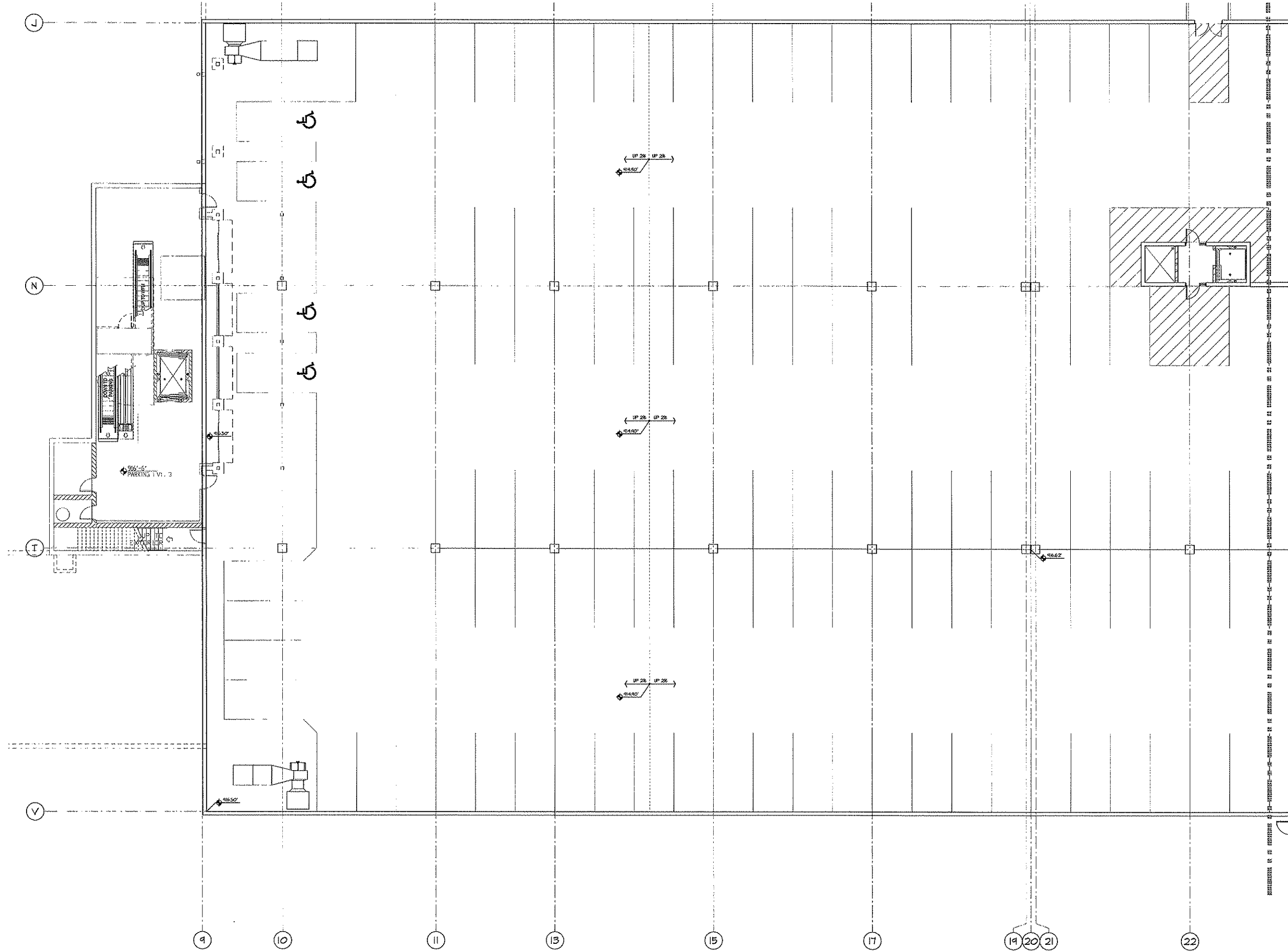
Sheet Title:
BUILDING R
LEVEL 2 PARKING
PLAN - EAST

Revisions:			
No.	Date:	Description:	By:
1	10/10/2010	Initial design of the system	John Doe
2	10/15/2010	Added user authentication module	Jane Smith
3	10/20/2010	Fixed bugs in the database connection	John Doe
4	10/25/2010	Added new features for reporting	Jane Smith
5	10/30/2010	Final review and testing	John Doe

Project Number:	Drawn By:
060297	MMO
Date Issued:	Designed By:
05/07/08	JJH

Sheet Number:
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MADISON, WI

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Sheet Title:

**BUILDING R
LEVEL 3 PARKING
PLAN - WEST**

Revisions:		
No.	Date	Description

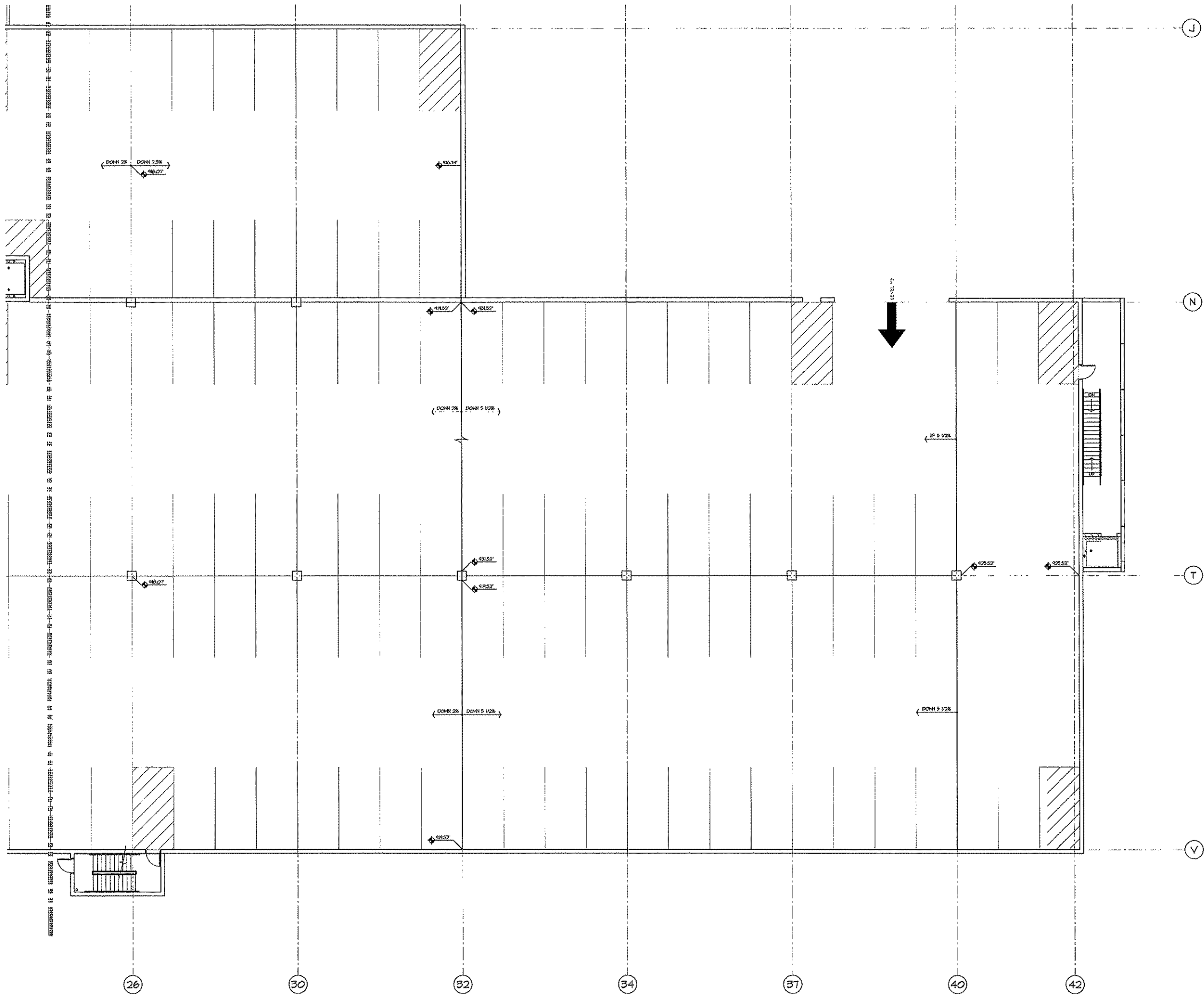
Project Number:	Drawn By:
060297	MMO
Date Issued:	Designed By:
05/07/08	JUH

Sheet Number:

A203W

NOTE:
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CLEARANCE OF
8'-6" TYPICAL

PROGRESS DOCUMENTS
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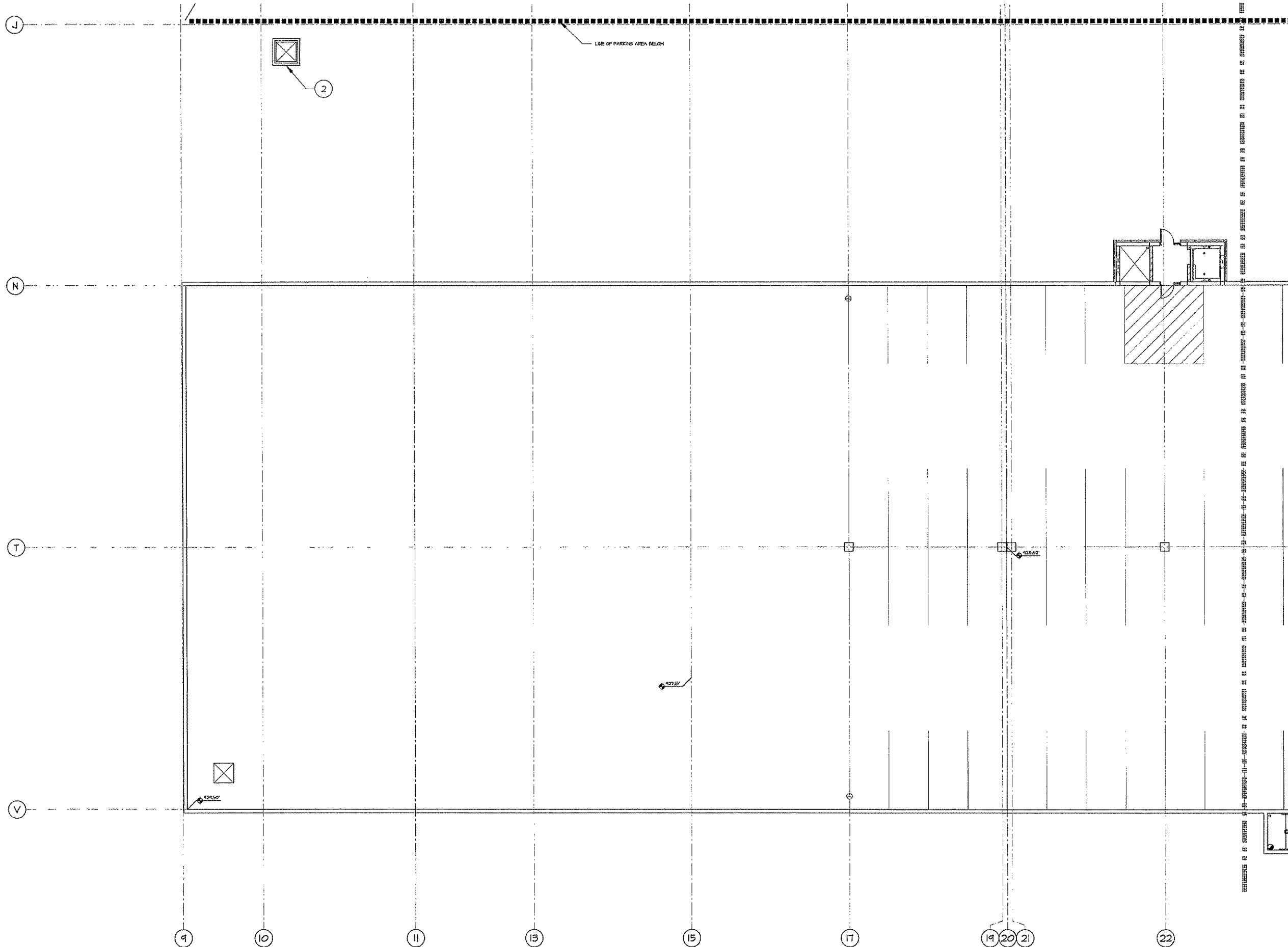
HILLDALE PARKING STRUCTURE
UNIVERSITY AVENUE
MADISON, WI
HILLDALE BUILDING COMPANY LLC

Sheet Title:
**BUILDING R
LEVEL 3 PARKING
PLAN - EAST**

Revisions:			
No.	Date	Description	By:

Project Number: 060297
Date Issued: 05/07/08
Drawn By: MMO
Designed By: JJH

Sheet Number:
A203e



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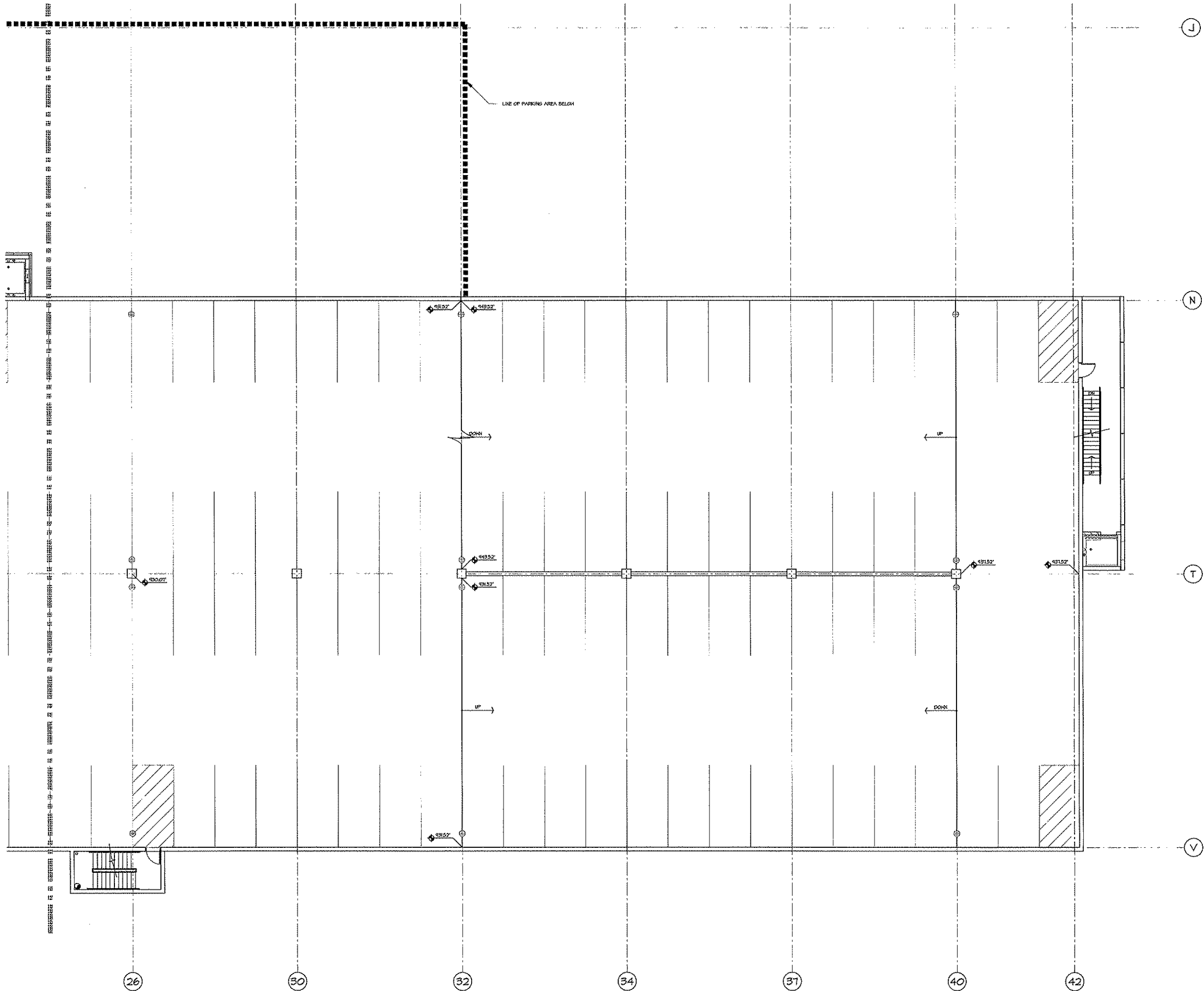
HILDALE PARKING STRUCTURE
UNIVERSITY AVENUE
MADISON, WI
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Sheet Title:
**BUILDING R
LEVEL 4 PARKING
PLAN - WEST**

Revisions:		
No.	Date	Description

Project Number:	060297	Drawn By:	MMO
Date Issued:	05/07/08	Designed By:	JUH

Sheet Number:
A204w



1 LEVEL 4 PARKING PLAN - EAST
A204e SCALE: 0" = 2' 4" = 8" = 12'



NOTE:
MAINTAIN MINIMUM
CLEARANCE OF
8'-6" TYPICAL

PROGRESS DOCUMENTS
These documents reflect progress and shall not be used for final construction documents and shall not be used for final bidding or construction purposes.

ARNOLD AND O'SHERIDAN INC.
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HILDALE PARKING STRUCTURE
UNIVERSITY AVENUE
MADISON, WI
HILDALE BUILDING COMPANY LLC

Sheet Title:
**BUILDING R
LEVEL 4 PARKING
PLAN - EAST**

Revisions:			
No.	Date	Description	By

Project Number: 060297
Date Issued: 05/07/08
Drawn By: MMO
Designed By: JJH

Sheet Number:
A204e



HILLDALE PARKING STRUCTURE
UNIVERSITY AVENUE
MADISON, WI

HILLDALE BUILDING COMPANY LLC

HILDALE BUILDING COMPANY LLC

Sheet Title:

BUILDING R
LEVEL 5 PARKING
PLAN - WEST

Revisions:

[illegible]

Project Number:

060297

Drawn By:

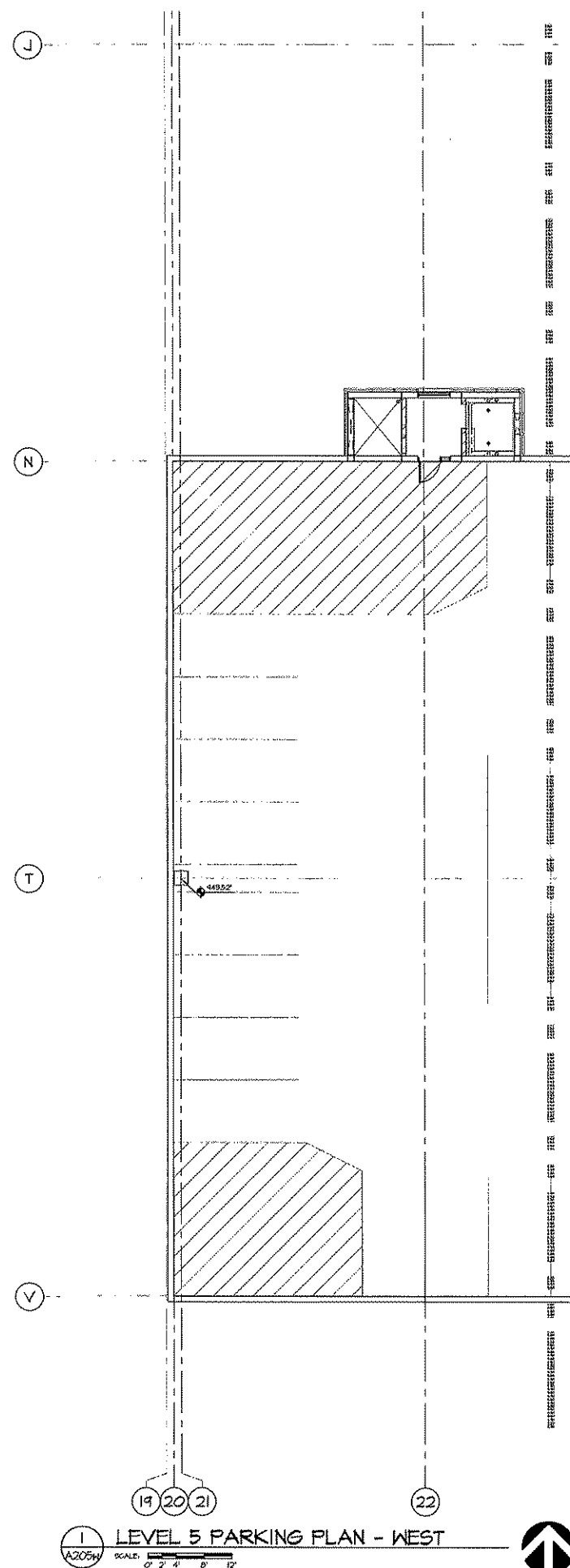
MNO

Date issued:

Designed by

Sheet Number:

A205w

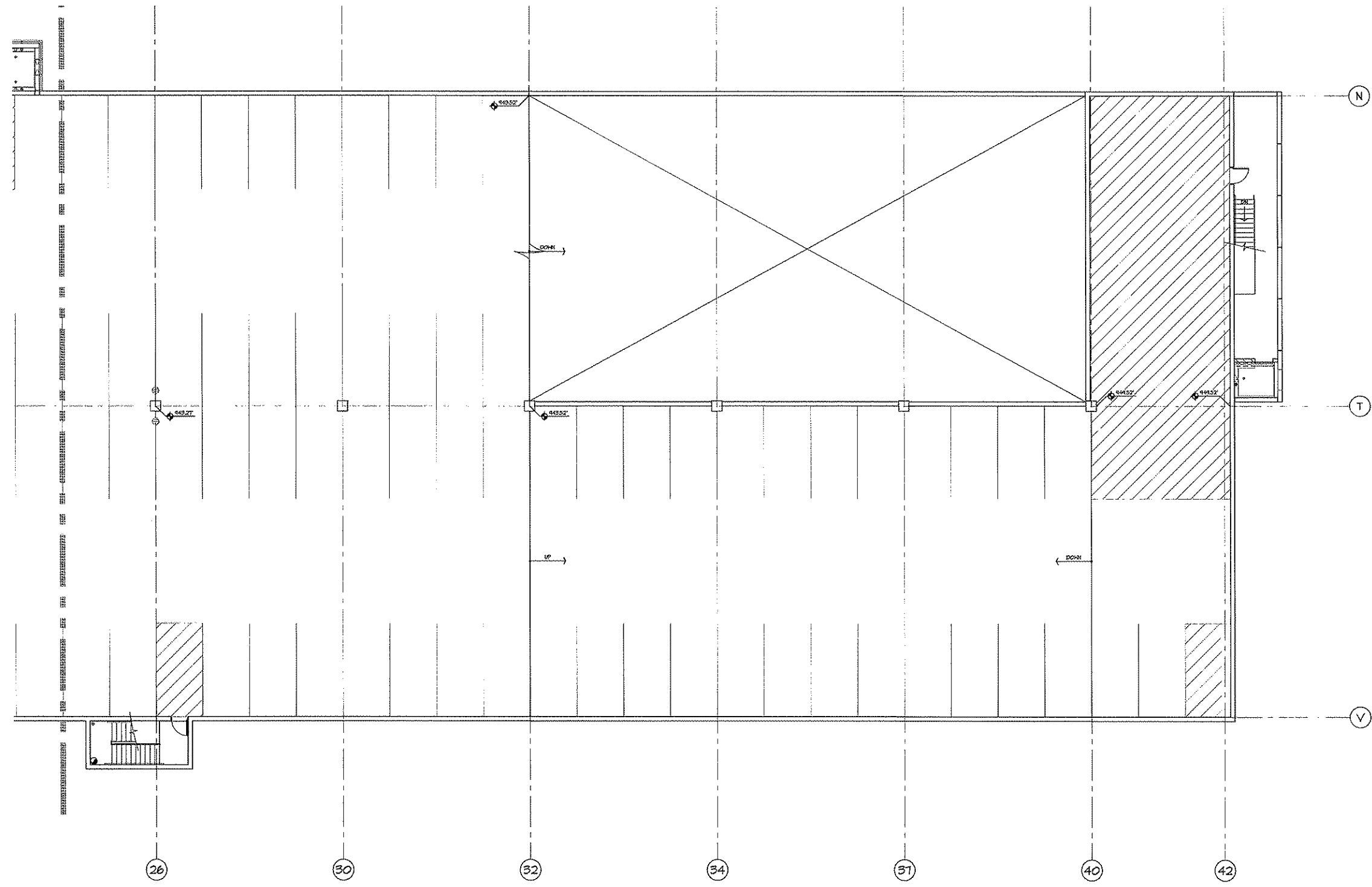


NOTE:
MAINTAIN MINIMUM
CLEARANCE OF
8'-6" TYPICAL

PROGRESS DOCUMENTS
These documents reflect progress and intent and may be subject to change, including additional detail. These drawings are not final construction documents and should not be used for final bidding or construction purposes.

Revisions:		
No.	Date	Description

Project Number:	Drawn By:
080297	MMO
Date Issued:	Designed By:
05/07/08	JJH



1

A205e

LEVEL 5 PARKING PLAN - EAST

SCALE: 0' 2' 4' 8' 12'

↑

NOTE:

MAINTAIN MINIMUM
CLEARANCE OF
8'-6" TYPICAL

PROGRESS DOCUMENTS

These documents reflect progress and intent and may be subject to change, including additional detail. These drawings are not final construction documents and should not be used for final bidding or construction purposes.



HOTEL GROSS SQUARE FOOTAGE:	
HOTEL GROUND FLOOR	10880 GSF
HOTEL SECOND FLOOR	15570 GSF
HOTEL THIRD FLOOR	15570 GSF
HOTEL FOURTH FLOOR	15570 GSF
HOTEL FIFTH FLOOR	15555 GSF
TOTAL HOTEL SQUARE FOOTAGE	78625 GSF

DIMENSION

Madison Design Group
Architectural - Interiors - Exterior Design

ONE EIGHT ONE FOUR FIVE SIX SEVEN TWO
FOUR ZERO THREE SEVEN SEVEN
FIVE ZERO THREE THREE
FIVE ZERO THREE THREE

dimensionarchitect.com

HILLDALE SHOPPING CENTER

702, N. MIDVALE BOULEVARD
MADISON, WI
HILLDALE LAND COMPANY LLC.

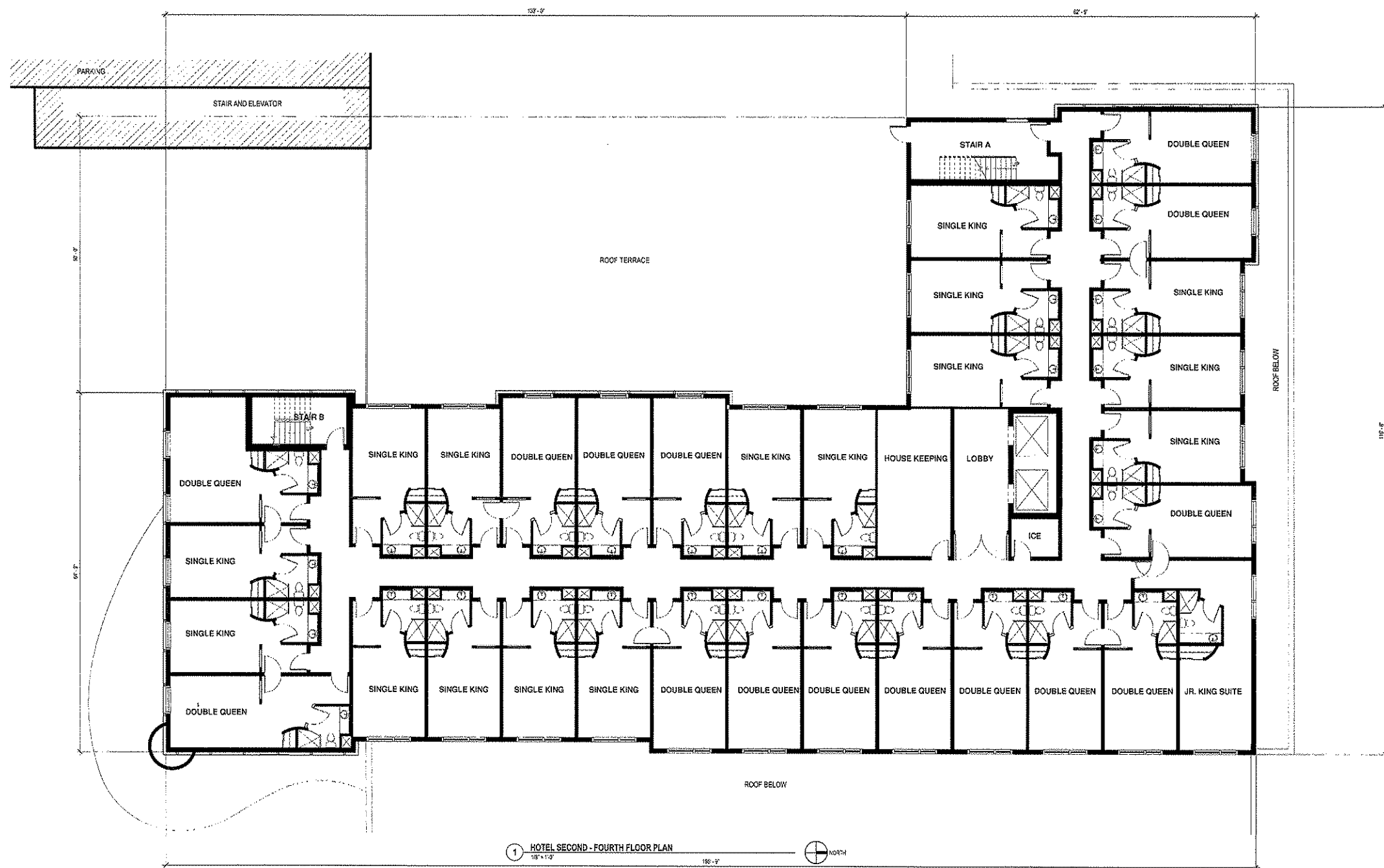
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HOTEL GROUND FLOOR PLAN

Revisions:		
No.	Date:	Description:

Project Number:	08030
Date issued:	05-07-08

Sheet Number:
A101



1 HOTEL SECOND - FOURTH FLOOR PLAN
1/8" = 1'-0"

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HILLDALE SHOPPING CENTER

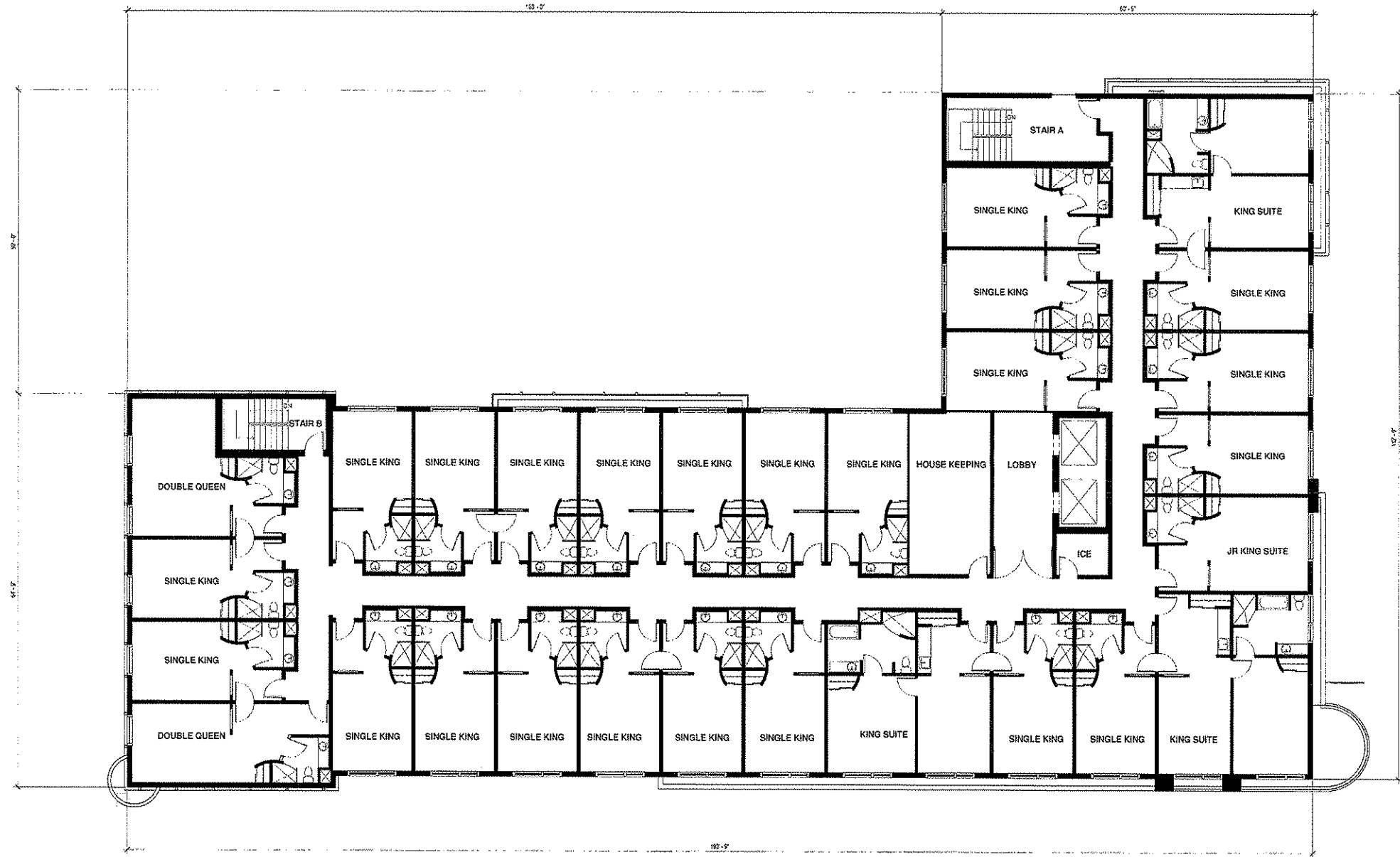
702, N. MIDVALE BOULEVARD
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Sheet Title:
HOTEL SECOND - FOURTH
FLOOR PLAN

Revisions:		
No.	Date	Description

Product Number:
08030
Date Issued:
05-07-08

Sheet Number:
A102



1 HOTEL FIFTH FLOOR PLAN
1/8" = 1'-0"



DIMENSION
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HILLDALE SHOPPING CENTER
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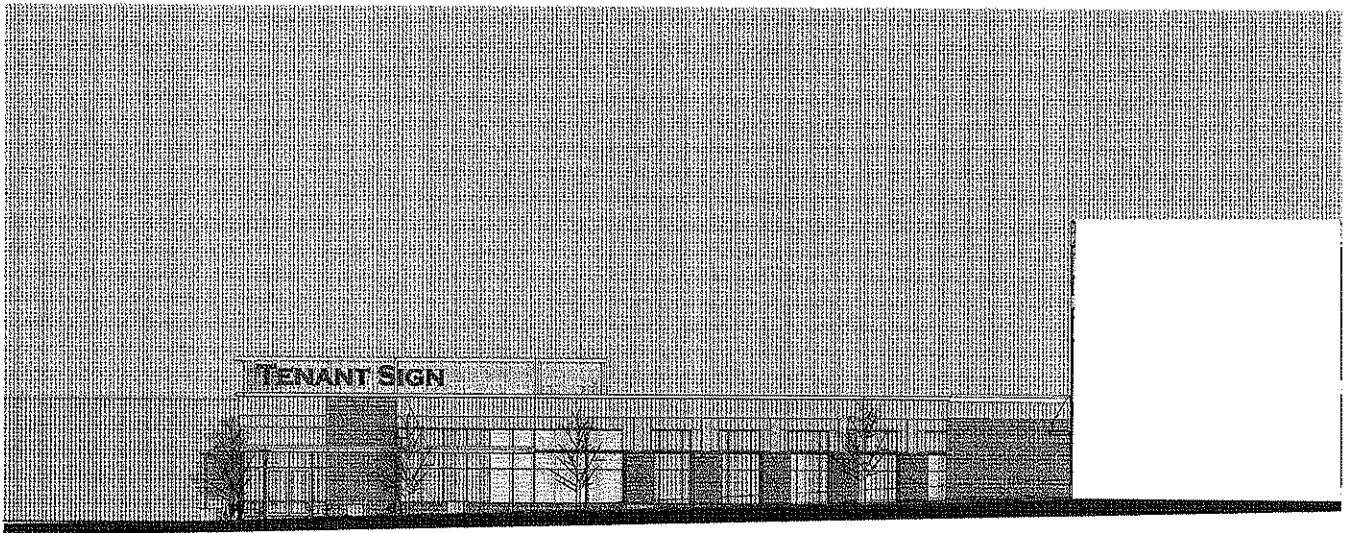
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Revisions:		
No.	Date	Description

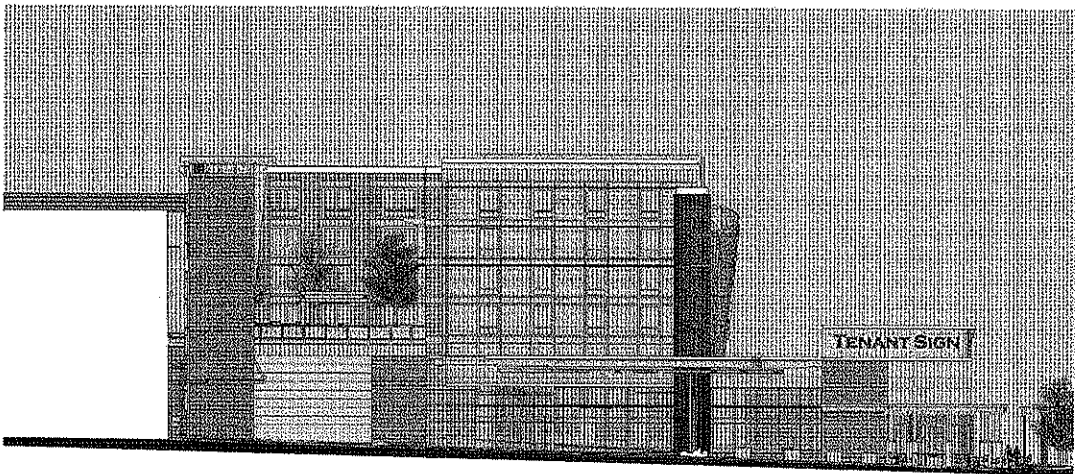
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Date Issued:
05-07-08

Sheet Number:
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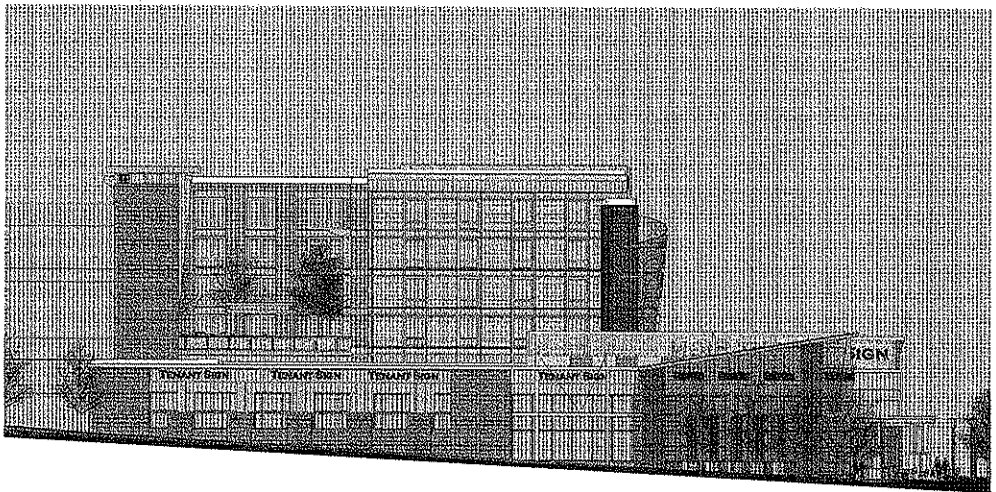
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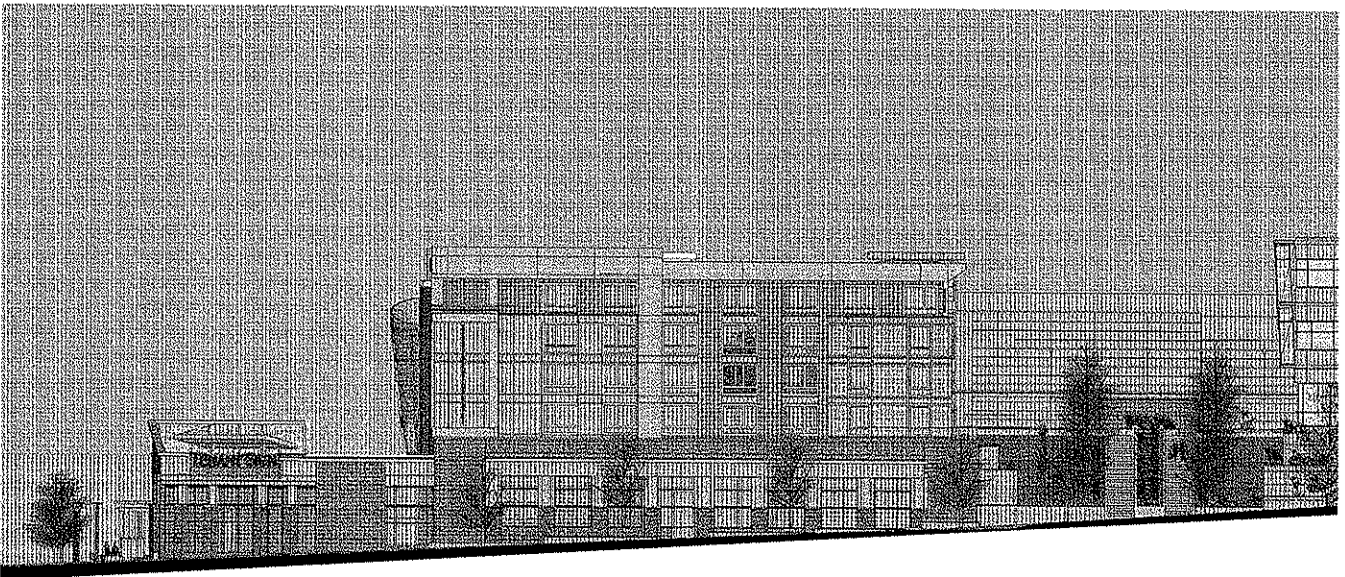
① NORTH ELEVATION - RETAIL BUILDING
1/8" = 1'-0"



③ SOUTH ELEVATION - HOTEL
1/8" = 1'-0"



④ SOUTH ELEVATION - RETAIL BUILDING
1/8" = 1'-0"



② NORTH ELEVATION AT UNIVERSITY AVE.
1/8" = 1'-0"

eura

eppstein uhen : architects

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DIMENSION

Madison Design Group
Architectural - Planning - Interior Design

HILLDALE SHOPPING CENTER

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MADISON, WI

HILLDALE LAND COMPANY LLC

Sheet Title:

HOTEL AND RETAIL
ELEVATIONS

Revisions:

No.	Date	Description	By

Project Number:	Drawn By:
	EM
Date Issued:	Reviewed By:
05-07-08	CG

Sheet Number:

A 201