

**NOTE:**  
 Information used to create this SITE PLAN has been provided by the Owner and the original Land Surveyor - WILLIAMSON SURVEYING CO. of Waunakee, Wisconsin.  
 The Architect, therefore, makes no certification as to the accuracy or completeness of the information as provided herein with this plan. The Architect also, therefore, shall not be held liable in any way for any such inaccuracy or incompleteness as described herein with this plan.

- NOTES:**
- 1.) BEARINGS ARE REFERENCED TO THE EAST LINE OF THE SE 1/4 OF SECTION 31, T10, R1E, ASSUMED TO BEAR 0°10'38" E.
  - 2.) THIS PARCEL IS SUBJECT TO ANY AND ALL EASEMENTS AND AGREEMENTS RECORDED AND UNRECORDED.
  - 3.) UTILITIES WERE NOT LOCATED AS PART OF THIS SURVEY, CALL DIGGERS HOTLINE FOR EXACT LOCATION OF UNDERGROUND UTILITIES. 1-800-242-8811
  - 4.) WETLANDS OR FLOOD PLAIN IF PRESENT WERE NOT DELINEATED OR LOCATED.

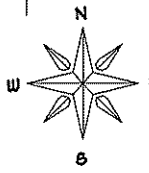
**SITE PLAN NOTES**

- General Notes**
- 1) The SITE PLAN as indicated hereafter is intended to show the general location and placement of the proposed building improvements. The Builder shall be solely responsible for determining the exact and final location of all such building improvements.
  - 2) The SITE PLAN as indicated hereafter is for general layout purposes only - Finish Grading/Site Drainage, Landscaping, Location of Utilities (both existing and new), etc. shall be designed by and be the Responsibility of Others. The Architect shall not be held liable for the Detail Site Design of any of the above mentioned.
  - 3) The Builder shall verify/determine all required building setbacks, site utilities, and all other easements associated with this parcel prior to the commencement of any construction.
  - 4) The Builder shall verify / determine / coordinate all such City pedestrian walkway (sidewalk) requirements, curb-cut requirements, parking requirements, site details, etc.
  - 5) All NEW construction shall comply with all governing and applicable national, state, and local Building, Plumbing, Electrical, and HVAC codes.

**PLAT OF SURVEY**  
 LOT 24, BLOCK 302, BLOCK'S 301302303, & 304 ADDITION TO THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

**DESCRIPTION:**  
 LOT 24, BLOCK 302, OF BLOCKS 301302303,304, ADDITION TO THE CITY OF MADISON, DANE COUNTY, WISCONSIN.  
 ALSO INCLUDING  
 ( PARCEL A )  
 BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 24, BLOCK 302; THENCE SOUTH 40 FEET, ALONG THE WEST SIDE OF ORCHARD STREET; THENCE WEST AT RIGHT ANGLES TO SAID STREET, 121.6 FEET; THENCE NORTH 40 FEET TO THE SOUTHWEST CORNER OF LOT 24, THENCE EAST 121.6 FEET TO THE POINT OF BEGINNING.

TOTAL SQUARE FOOTAGE = 10201 OR 0.23 ACRES



- LEGEND**
- △ SET MAG NAIL
  - SET 3/4" X 24" REDBAR
  - FOUND 3/4" REDBAR
  - ⊖ FOUND 1" PIPE
  - ⊗ FOUND 1" PIPE WITH SQUARE TOP
  - (- - -) RECORDED AS

**PREPARED FOR:**  
 TODD KILEY  
 7634 WESTMAN WAY RD  
 MIDDLETON, WI., 53562

**FOR PERMIT**

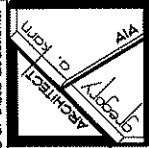
Sheet  
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**PROPOSED SITE PLAN SHOWING ADDITIONS**

Scale: 1" = 10'

Plot Date: July 31, 2008

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**HOME ADDITION/REMODEL for:**  
**The Todd & Maureen Kiley Home**

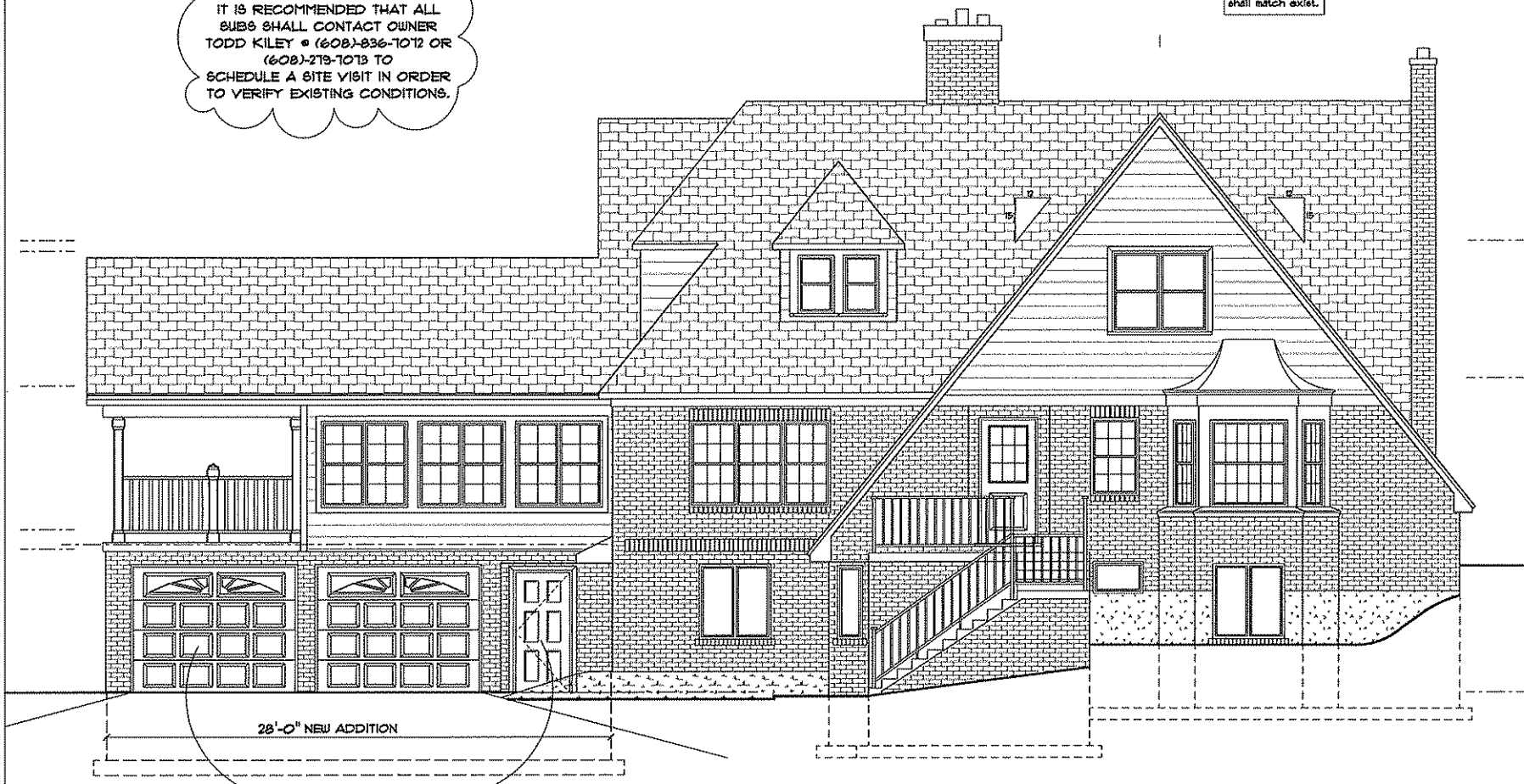
**8194 N. Riley Rd.**  
**Verona, WI 53593**  
 Website: [ARCH-AIDEarchitects.com](http://ARCH-AIDEarchitects.com)

**(608) 335-8159**  
 FAX: (608) 845-8159

**718 ORCHARD STREET MADISON, WISCONSIN 53715**

NOTE:  
IT IS RECOMMENDED THAT ALL  
SUBS SHALL CONTACT OWNER  
TODD KILEY • (608)-836-7072 OR  
(608)-219-7073 TO  
SCHEDULE A SITE VISIT IN ORDER  
TO VERIFY EXISTING CONDITIONS.

NOTE:  
All NEW Exterior  
Finish Materials  
shall match exist.



28'-0" NEW ADDITION

NOTE:  
All NEW Exterior Doors  
shall be selected by the Owner

# EAST ELEVATION SHOWING ADDITIONS

Scale: 1/4" = 1'-0"

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**The Todd & Maureen Kiley Home**  
118 ORCHARD STREET MADISON, WISCONSIN 53715

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# SOUTH ELEVATION SHOWING ADDITIONS

Scale: 1/4" = 1'-0"

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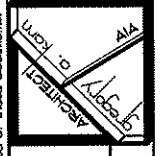
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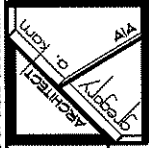
# WEST ELEVATION SHOWING ADDITIONS

Scale: 1/4" = 1'-0"

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# NORTH ELEVATION SHOWING ADDITIONS

Scale: 1/4" = 1'-0"

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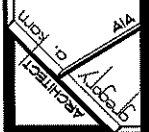
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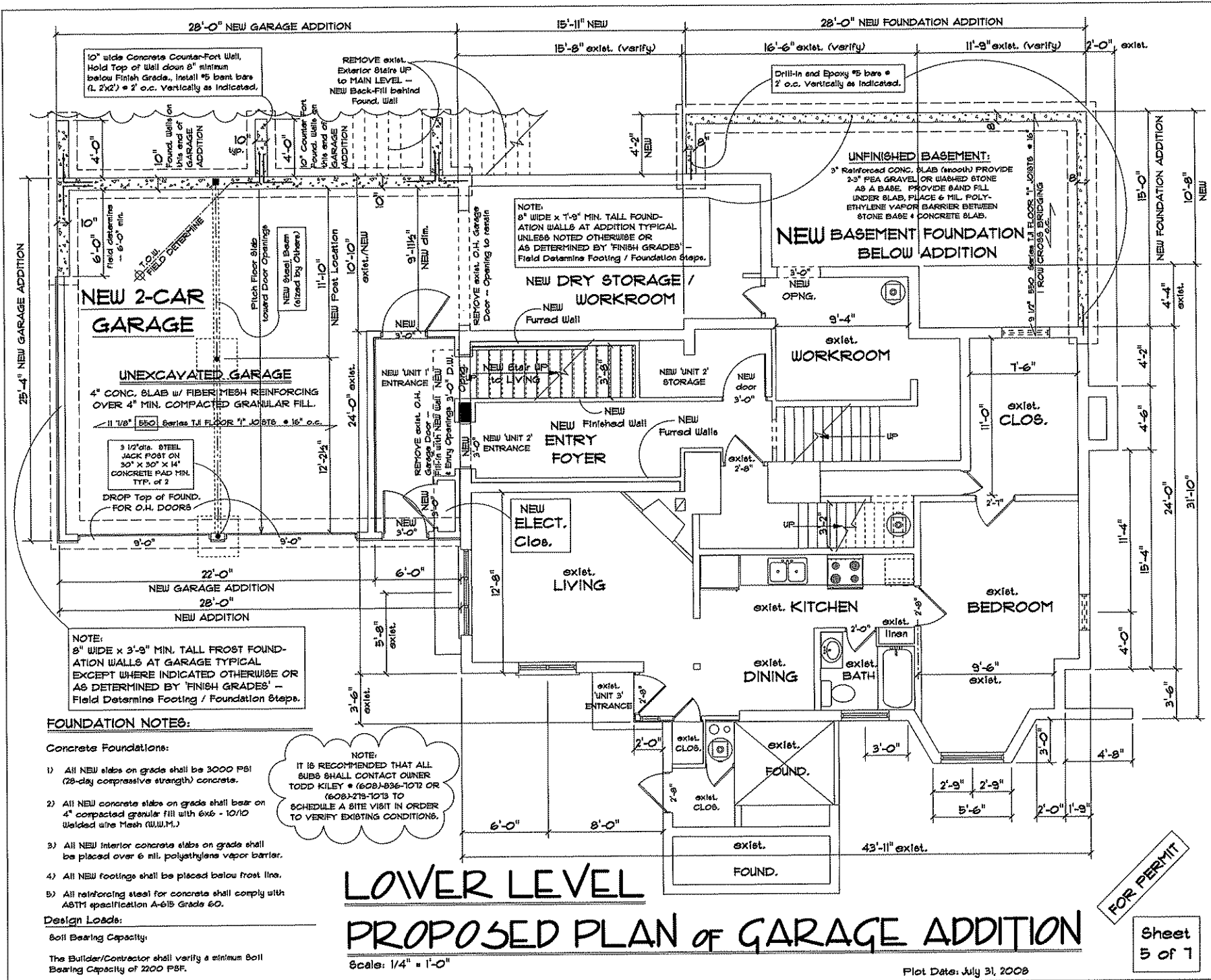
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HOME ADDITION/REMODEL for:  
The Todd & Maureen Kiley Home

718 ORCHARD STREET MADISON, WISCONSIN 53715





10' side Concrete Counter-Form Wall. Hold Top of Wall down 8" minimum below Finish Grade. Install #5 bent bars (L 2x2) @ 2' o.c. Vertically as Indicated.

REMOVE exist. Exterior Stairs UP to MAIN LEVEL. NEW Back-Fill behind Found. Wall

**UNFINISHED BASEMENT:**  
 3" Reinforced CONC. SLAB (smooth) PROVIDE 2-3" PEA GRAVEL OR WASHED STONE AS A BASE. PROVIDE SAND FILL UNDER SLAB. PLACE 6 MIL. POLY-ETHYLENE VAPOR BARRIER BETWEEN STONE BASE & CONCRETE SLAB.

**NOTE:**  
 8" WIDE x 1'-9" MIN. TALL FOUNDATION WALLS AT ADDITION TYPICAL UNLESS NOTED OTHERWISE OR AS DETERMINED BY FINISH GRADES - Field Determine Footing / Foundation Steps.

**NEW 2-CAR GARAGE**

**UNEXCAVATED GARAGE**  
 4" CONC. SLAB w/ FIBER MESH REINFORCING OVER 4" MIN. COMPACTED GRANULAR FILL.

3 1/2" dia. STEEL JACK POST ON 30" X 30" X 14" CONCRETE PAD MIN. TYP. of 2  
 DROP Top of FOUND. FOR O.H. DOORS

**NOTE:**  
 8" WIDE x 3'-9" MIN. TALL FROST FOUNDATION WALLS AT GARAGE TYPICAL EXCEPT WHERE INDICATED OTHERWISE OR AS DETERMINED BY FINISH GRADES - Field Determine Footing / Foundation Steps.

**FOUNDATION NOTES:**

**Concrete Foundations:**

- 1) All NEW slabs on grade shall be 3000 PSI (28-day compressive strength) concrete.
- 2) All NEW concrete slabs on grade shall bear on 4" compacted granular fill with 6x6 - 10/10 Welded wire Mesh (W.W.M.).
- 3) All NEW interior concrete slabs on grade shall be placed over 6 mil. polyethylene vapor barrier.
- 4) All NEW footings shall be placed below frost line.
- 5) All reinforcing steel for concrete shall comply with ASTM specification A-615 Grade 60.

**Design Loads:**

Soil Bearing Capacity:

The Builder/Contractor shall verify a minimum Soil Bearing Capacity of 2200 PSF.

**NOTE:**  
 IT IS RECOMMENDED THAT ALL SUBS SHALL CONTACT OWNER TODD KILEY • (608) 836-1072 OR (608) 278-1013 TO SCHEDULE A SITE VISIT IN ORDER TO VERIFY EXISTING CONDITIONS.

**LOWER LEVEL PROPOSED PLAN OF GARAGE ADDITION**

Scale: 1/4" = 1'-0"

Plot Date: July 31, 2008

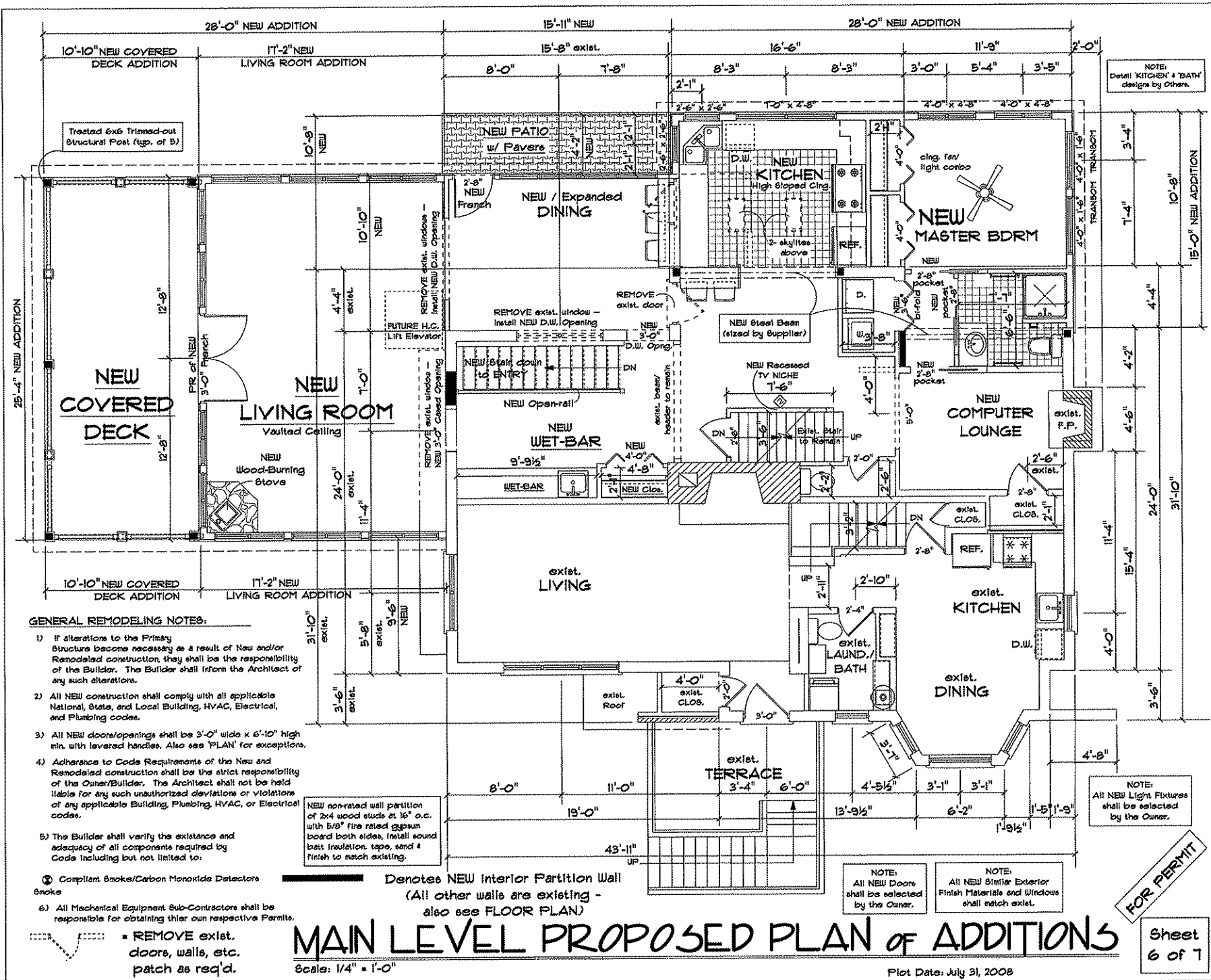
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**GENERAL REMODELING NOTES:**

- 1) If alterations to the Primary Structure become necessary as a result of New and/or Remodeled construction, they shall be the responsibility of the Builder. The Builder shall inform the Architect of any such alterations.
- 2) All NEW construction shall comply with all applicable National, State, and Local Building, HVAC, Electrical, and Plumbing codes.
- 3) All NEW doors/openings shall be 3'-0" wide x 6'-10" high min. with levered handles. Also see 'PLAN' for exceptions.
- 4) Adherence to Code Requirements of the New and Remodeled construction shall be the strict responsibility of the Owner/Builder. The Architect shall not be held liable for any such unauthorized deviations or violations of any applicable Building, Plumbing, HVAC, or Electrical codes.
- 5) The Builder shall verify the existence and adequacy of all components required by Code including but not limited to:
  - Ⓢ Compliant Smoke/Carbon Monoxide Detectors
- 6) All Mechanical Equipment Sub-Contractors shall be responsible for obtaining their own respective Permits.

--- REMOVE exist. doors, walls, etc. patch as req'd.

NEW non-rated wall partition of 2x4 wood studs at 16" o.c. with 5/8" fire rated gypsum board both sides, install sound batt insulation, tape, sand + finish to match existing.

Denotes NEW interior Partition Wall (All other walls are existing - also see FLOOR PLAN)

NOTE: All NEW Doors shall be selected by the Owner.

NOTE: All NEW Similar Exterior Finish Materials and Windows shall match exist.

NOTE: All NEW Light Fixtures shall be selected by the Owner.

**FOR PERMIT**

**MAIN LEVEL PROPOSED PLAN of ADDITIONS**

Scale: 1/4" = 1'-0"

Plot Date: July 31, 2008

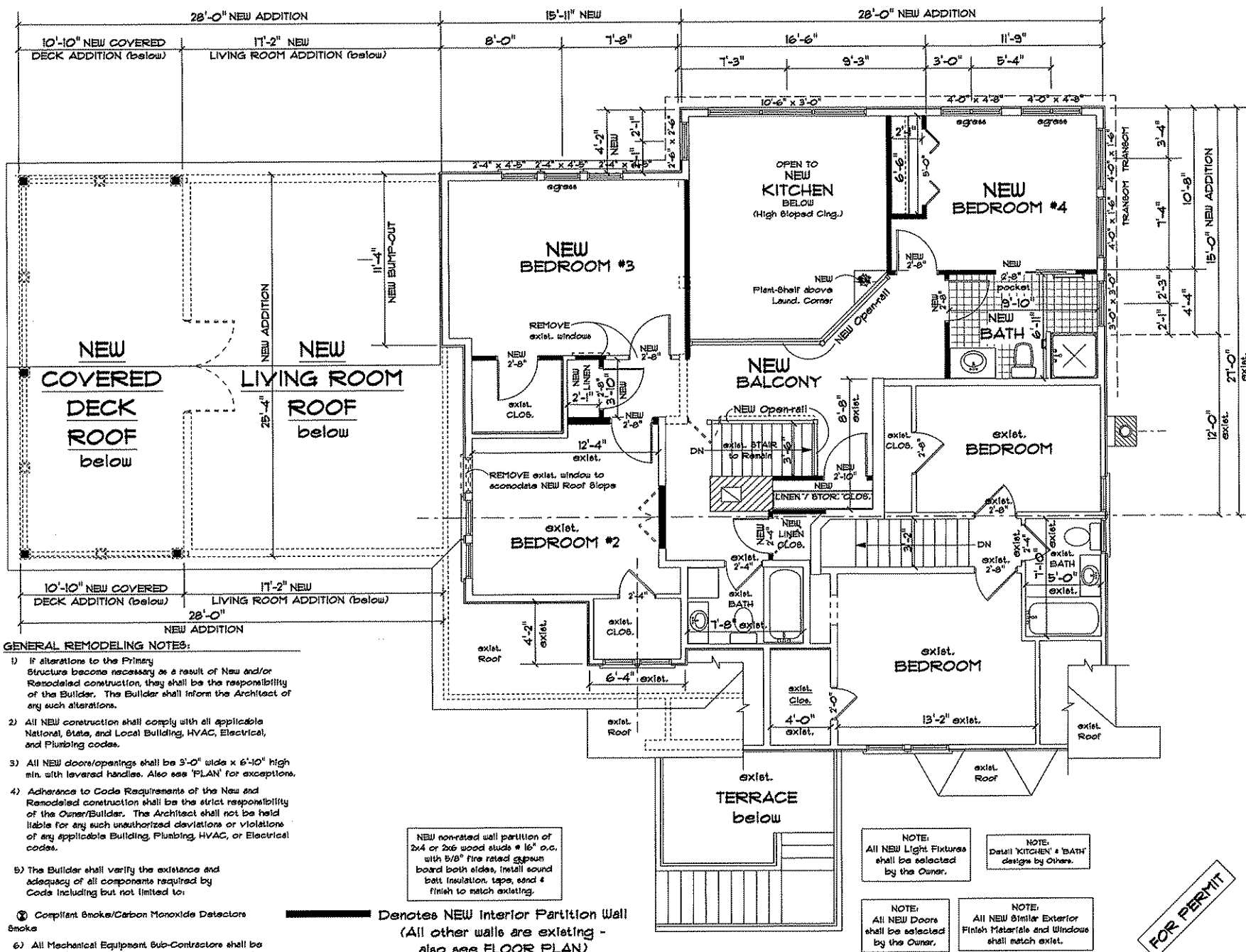
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**HOME ADDITION/REMODEL for:**  
 The Todd & Maureen Kiley Home  
 718 ORCHARD STREET MADISON, WISCONSIN 535xx

NOTE: Detail 'KITCHEN' & 'BATH' designs by Others.

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  - 5) The Builder shall verify the existence and adequacy of all components required by Codes including but not limited to:
    - ☑ Compliant Smoke/Carbon Monoxide Detectors
  - 6) All Mechanical Equipment Sub-Contractors shall be responsible for obtaining their own respective Permits.
- REMOVE exilt. doors, walls, etc. patch as req'd.

——— Denotes NEW Interior Partition Wall  
 (All other walls are existing - also see FLOOR PLAN)

# SECOND FLOOR PROPOSED PLAN OF ADDITIONS

Scale: 1/4" = 1'-0"

NOTE: All NEW Light Fixtures shall be selected by the Owner.

NOTE: All NEW Doors shall be selected by the Owner.

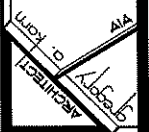
NOTE: Detail 'KITCHEN' & 'BATH' designs by Others.

NOTE: All NEW Similar Exterior Finish Materials and Windows shall match exilt.

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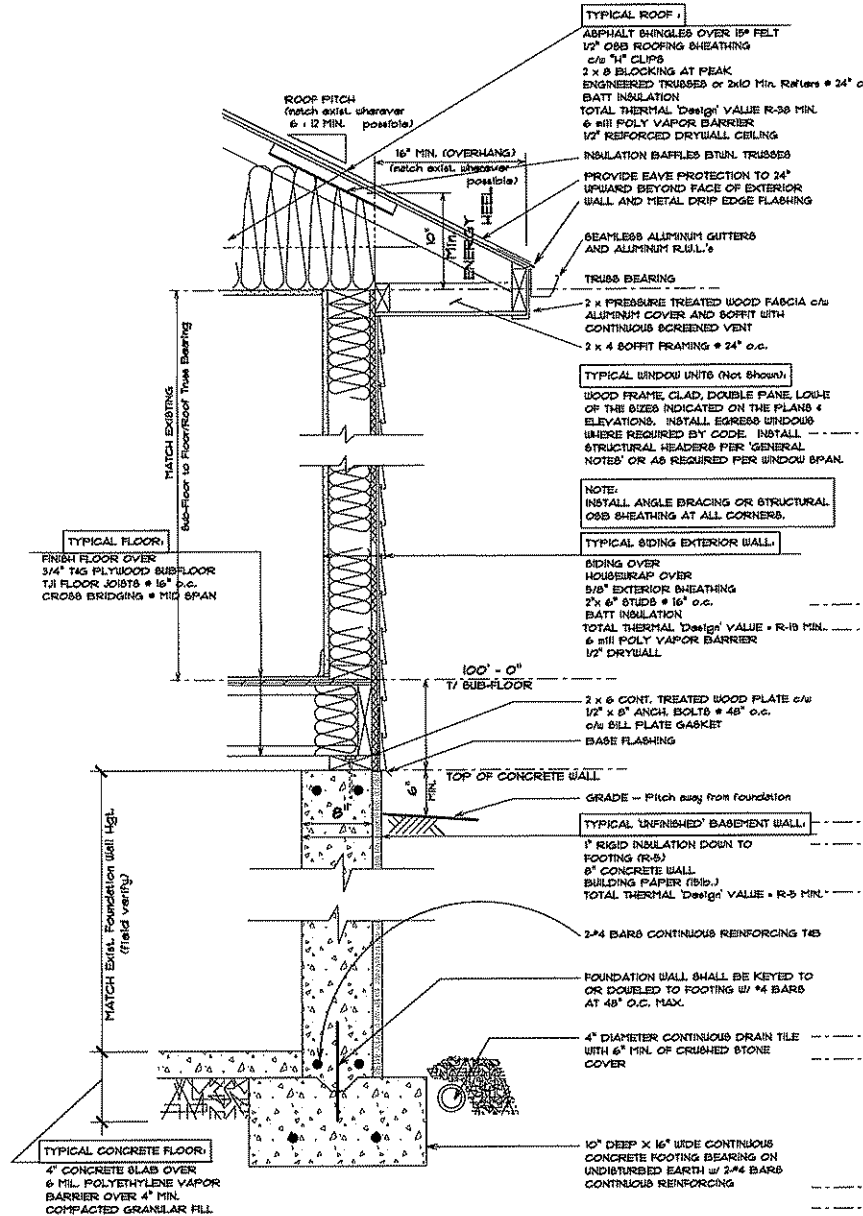
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**HOME ADDITION/REMODEL for:**  
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NOTE:  
 All NEW Exterior  
 Finish Materials  
 shall match exist.

**A** TYPICAL WALL SECTION  
 Scale: NO SCALE (2x6 / Siding)  
**PROPOSED BUILDING SECTION**

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Plot Date: July 31, 2008

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LUDDIG ARCHITECT  
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