



EAST ELEVATION SHOWING EXTERIOR FINISHES

NOTE:
 ALL NEW Exterior
 Finish Materials
 shall match exist.

Sheet
 P1 of 4

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 8194 N. Riley Rd
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 (608) 335-9100 Website: www.archaide.com
 FAX: (608) 940-8500 AIA-CES Accredited
 HOME ADDITION/REMODEL for:
 The Todd & Maureen Kiley Home
 718 ORCHARD STREET MADISON, WISCONSIN 53715



SOUTH ELEVATION SHOWING EXTERIOR FINISHES

NOTE:
 ALL NEW Exterior
 Finish Materials
 shall match exist.

Sheet
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WEST ELEVATION SHOWING EXTERIOR FINISHES

NOTE:
 ALL NEW Exterior
 Finish Materials
 shall match exist.

Sheet
 P3 of 4

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NORTH ELEVATION SHOWING EXTERIOR FINISHES

NOTE:
 ALL NEW Exterior
 Finish Materials
 shall match exist.

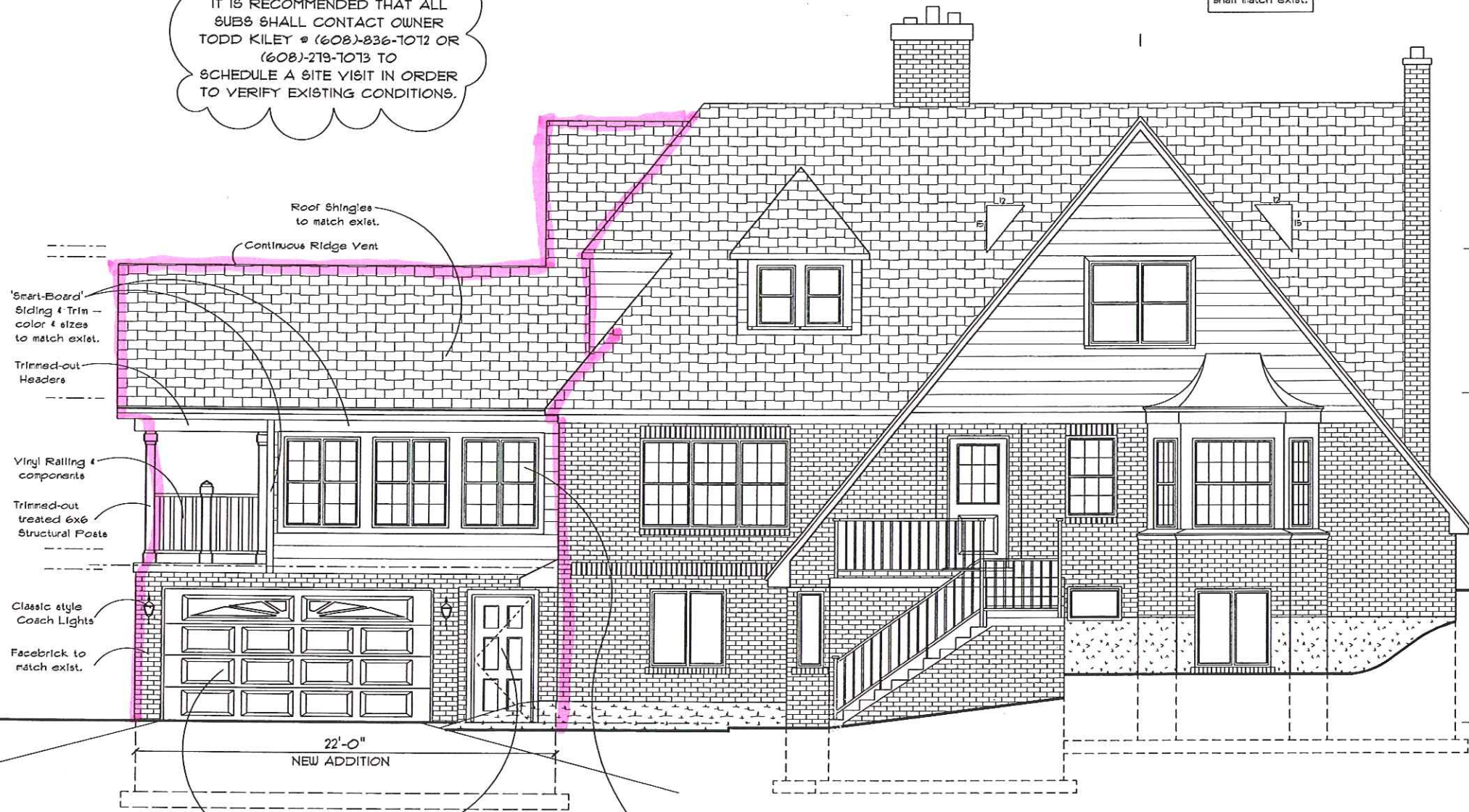
Sheet
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NEW

NOTE:
IT IS RECOMMENDED THAT ALL
SUBS SHALL CONTACT OWNER
TODD KILEY @ (608)-836-1072 OR
(608)-279-1073 TO
SCHEDULE A SITE VISIT IN ORDER
TO VERIFY EXISTING CONDITIONS.

NOTE:
All NEW Exterior
Finish Materials
shall match exist.



NOTE:
All NEW Exterior Classic-style Doors
shall be selected by the Owner

NOTE:
All NEW Double Pane Low-E
wrapped Vinyl Clad Windows
w/ grids btwn. panes as shown

EAST ELEVATION SHOWING ADDITIONS

Scale: 1/4" = 1'-0"

FOR PERMIT

Sheet
1 of 7

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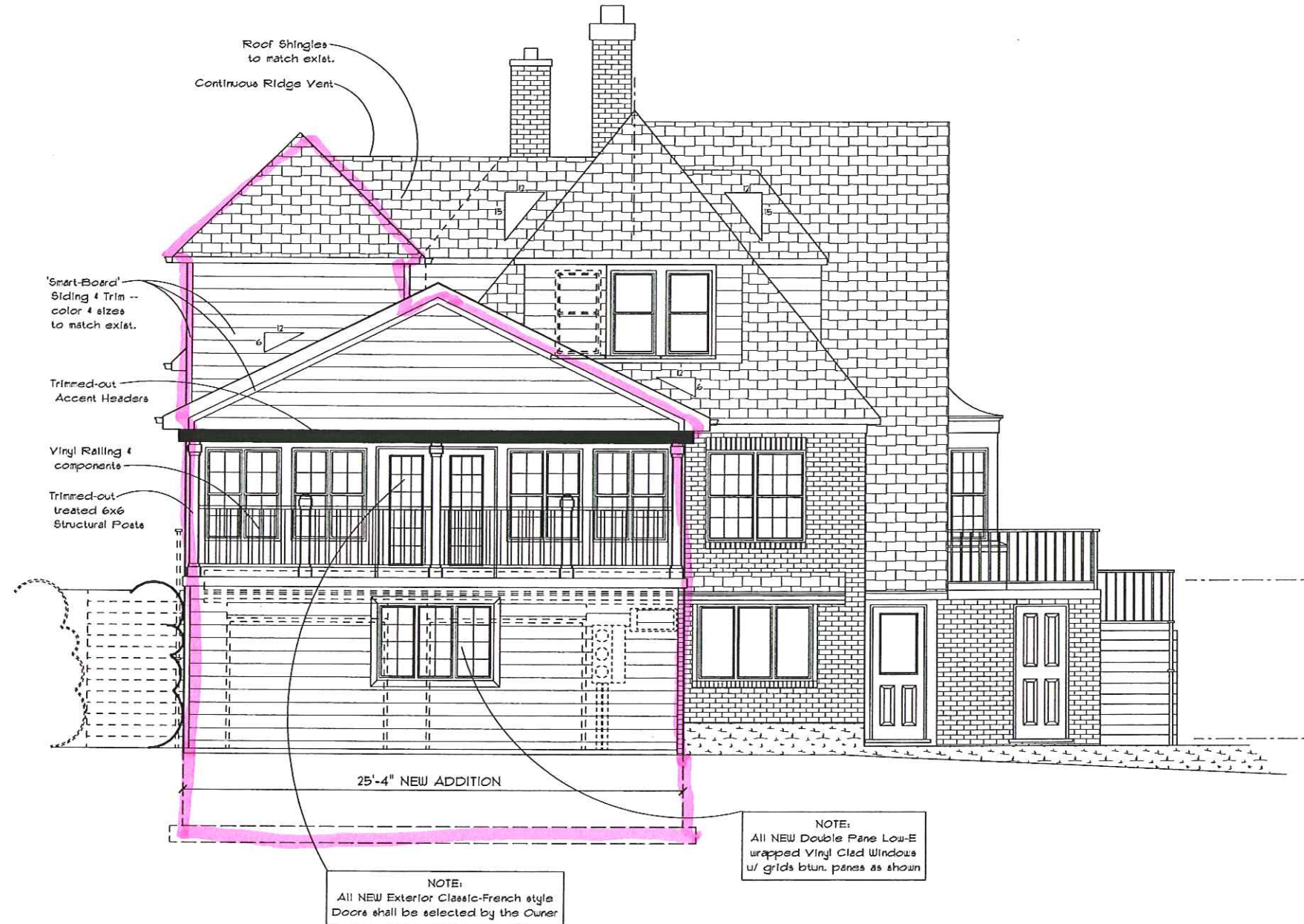


HOME ADDITION/REMODEL for:
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ARCHITECTS
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NEW



NOTE:
All NEW Exterior Finish Materials shall match exist.

SOUTH ELEVATION SHOWING ADDITIONS

Scale: 1/4" = 1'-0"

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Sheet
2 of 7

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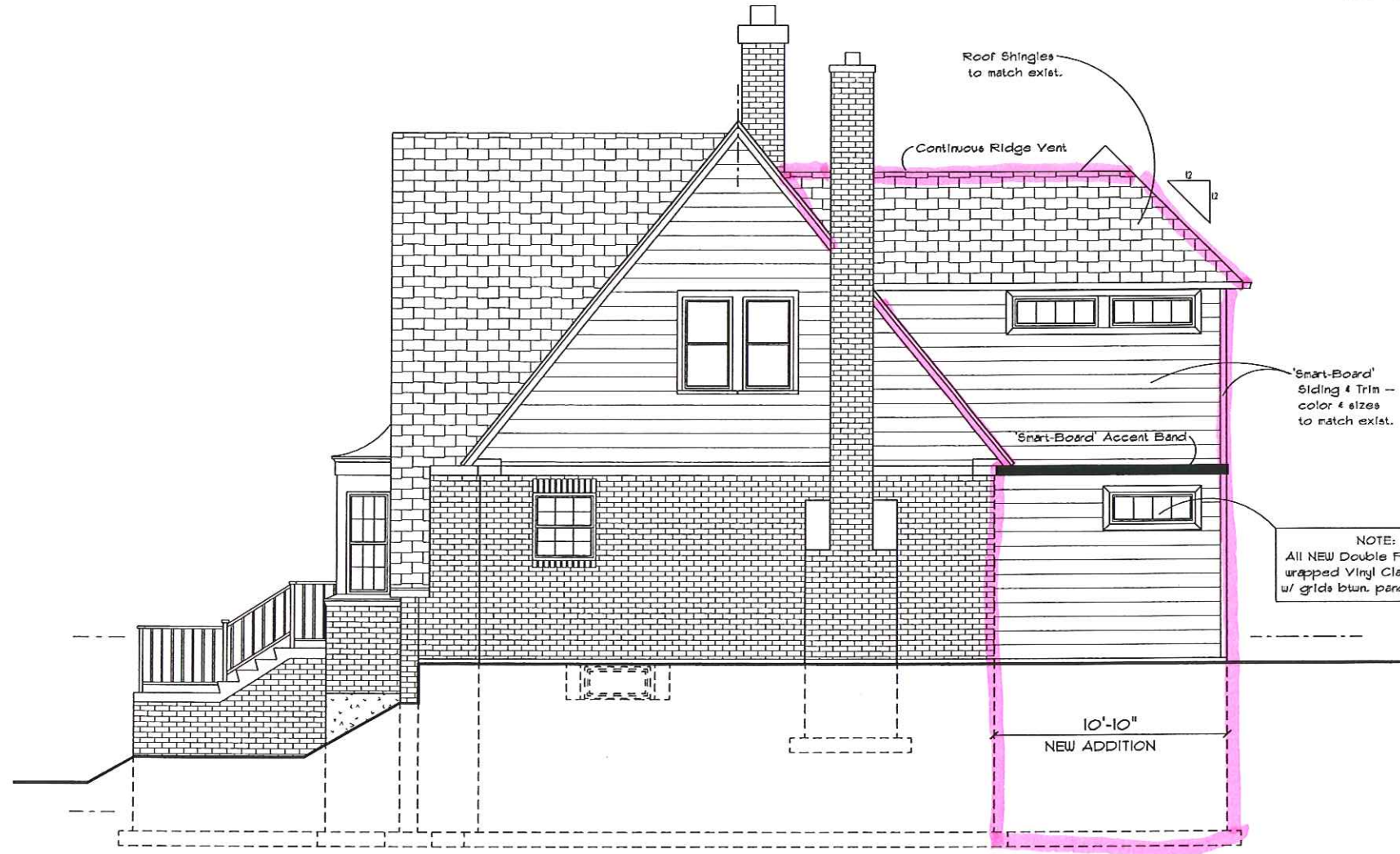


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NEW



NOTE:
All NEW Exterior
Finish Materials
shall match exist.

NOTE:
All NEW Double Pane Low-E
wrapped Vinyl Clad Windows
w/ grids btwn. panes as shown

NORTH ELEVATION SHOWING ADDITIONS

Scale: 1/4" = 1'-0"

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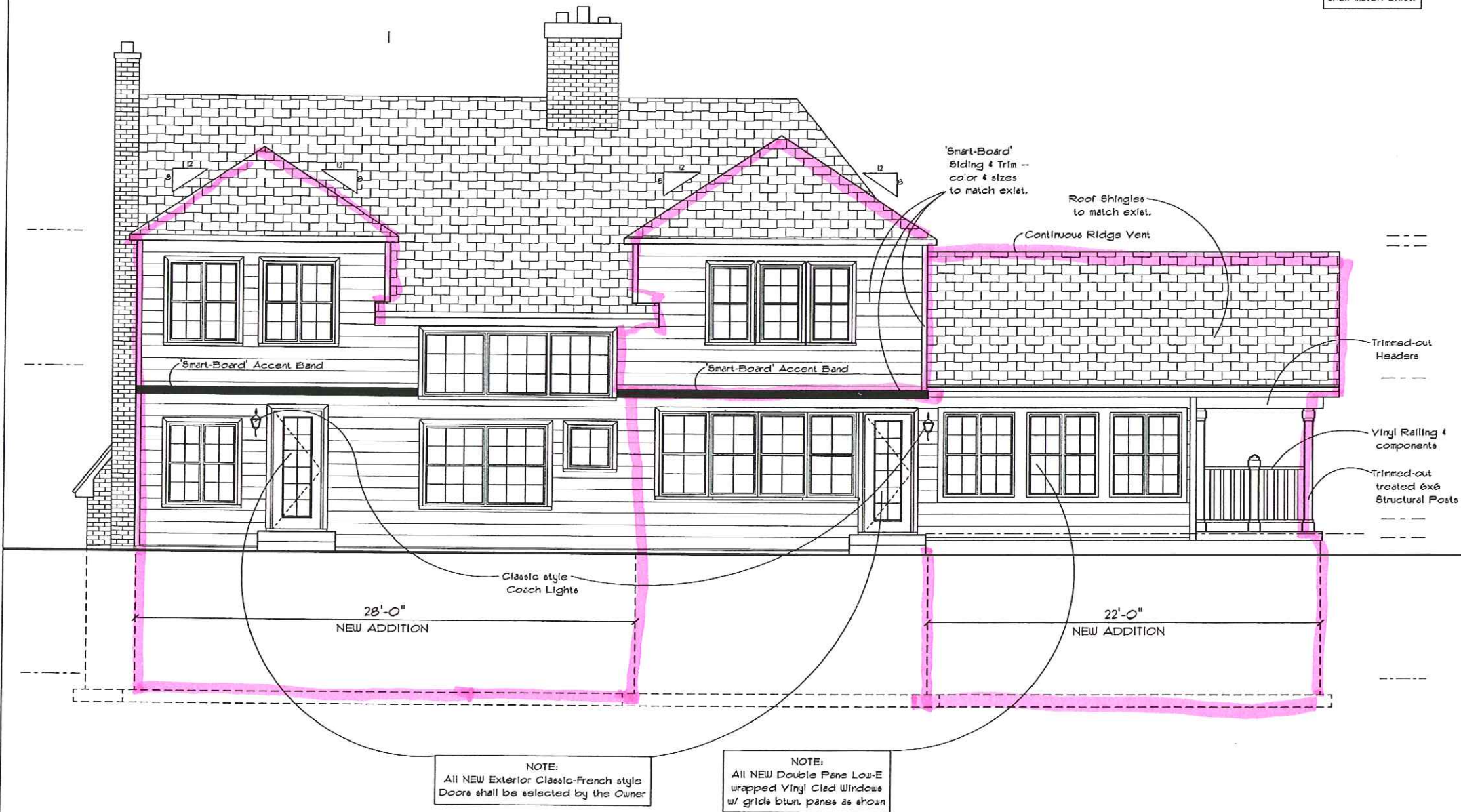


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Verona, WI 53593

NEW



NOTE:
All NEW Exterior
Finish Materials
shall match exist.

NOTE:
All NEW Exterior Classic-French style
Doors shall be selected by the Owner

NOTE:
All NEW Double Pane Low-E
wrapped Vinyl Clad Windows
w/ grids btwn. panes as shown

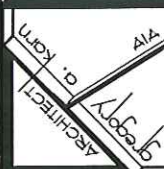
WEST ELEVATION SHOWING ADDITIONS

Scale: 1/4" = 1'-0"

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Sheet
3 of 7

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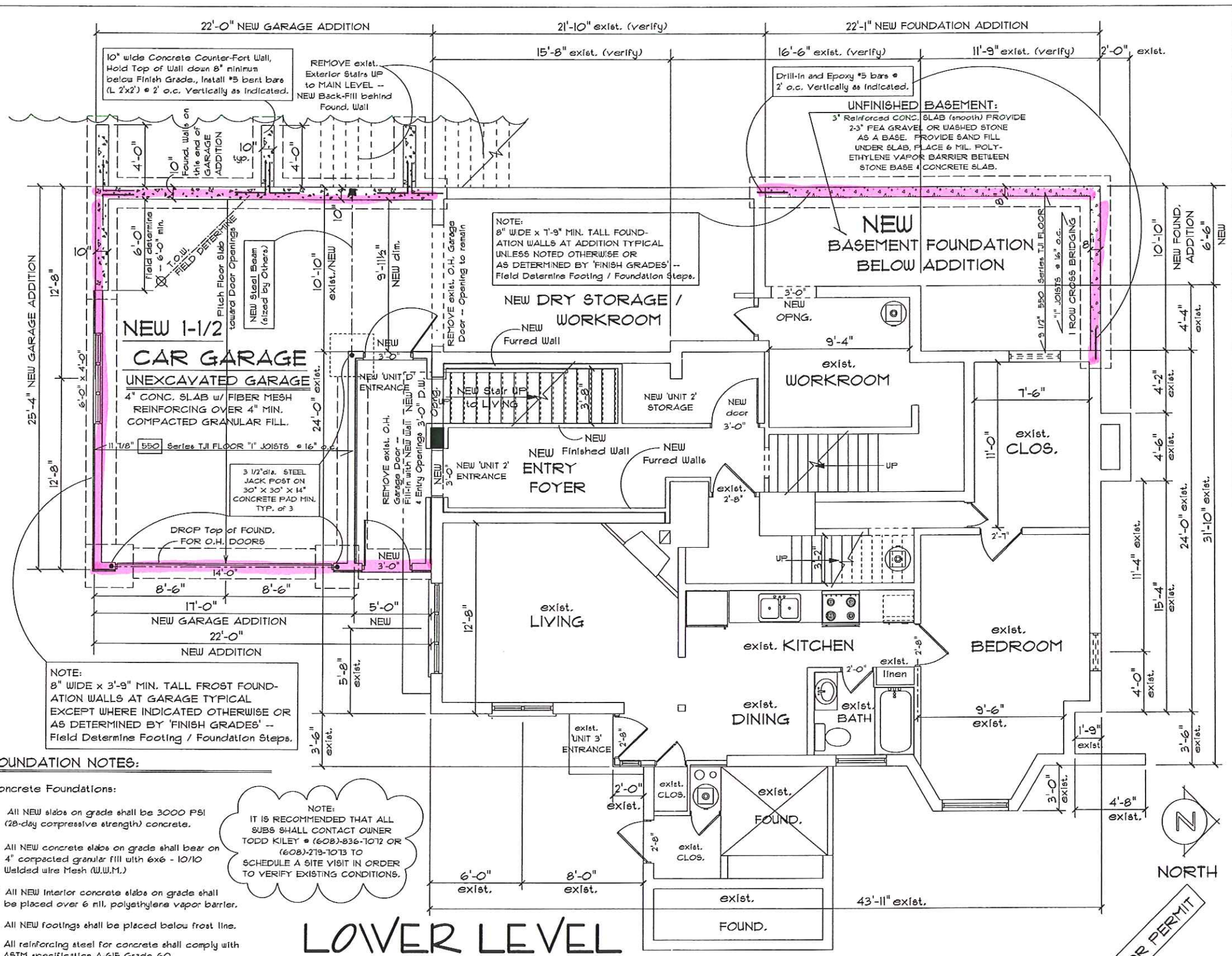
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718 ORCHARD STREET MADISON, WISCONSIN 53715

NEW



NOTE:
8" WIDE x 3'-9" MIN. TALL FROST FOUNDATION WALLS AT GARAGE TYPICAL EXCEPT WHERE INDICATED OTHERWISE OR AS DETERMINED BY 'FINISH GRADES' -- Field Determine Footing / Foundation Steps.

FOUNDATION NOTES:

Concrete Foundations:

- 1) All NEW slabs on grade shall be 3000 PSI (28-day compressive strength) concrete.
- 2) All NEW concrete slabs on grade shall bear on 4" compacted granular fill with 6x6 - 10/10 Welded wire Mesh (W.W.M.)
- 3) All NEW interior concrete slabs on grade shall be placed over 6 mil. polyethylene vapor barrier.
- 4) All NEW footings shall be placed below frost line.
- 5) All reinforcing steel for concrete shall comply with ASTM specification A-615 Grade 60.

Design Loads:

Soil Bearing Capacity:
The Builder/Contractor shall verify a minimum Soil Bearing Capacity of 2200 PSF.

NOTE:
IT IS RECOMMENDED THAT ALL SUBS SHALL CONTACT OWNER TODD KILEY • (608)-836-1072 OR (608)-279-1013 TO SCHEDULE A SITE VISIT IN ORDER TO VERIFY EXISTING CONDITIONS.

LOWER LEVEL PROPOSED PLAN of GARAGE ADDITION

Scale: 1/4" = 1'-0"

Plot Date: October 06, 2008

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NORTH

Sheet
5 of 7

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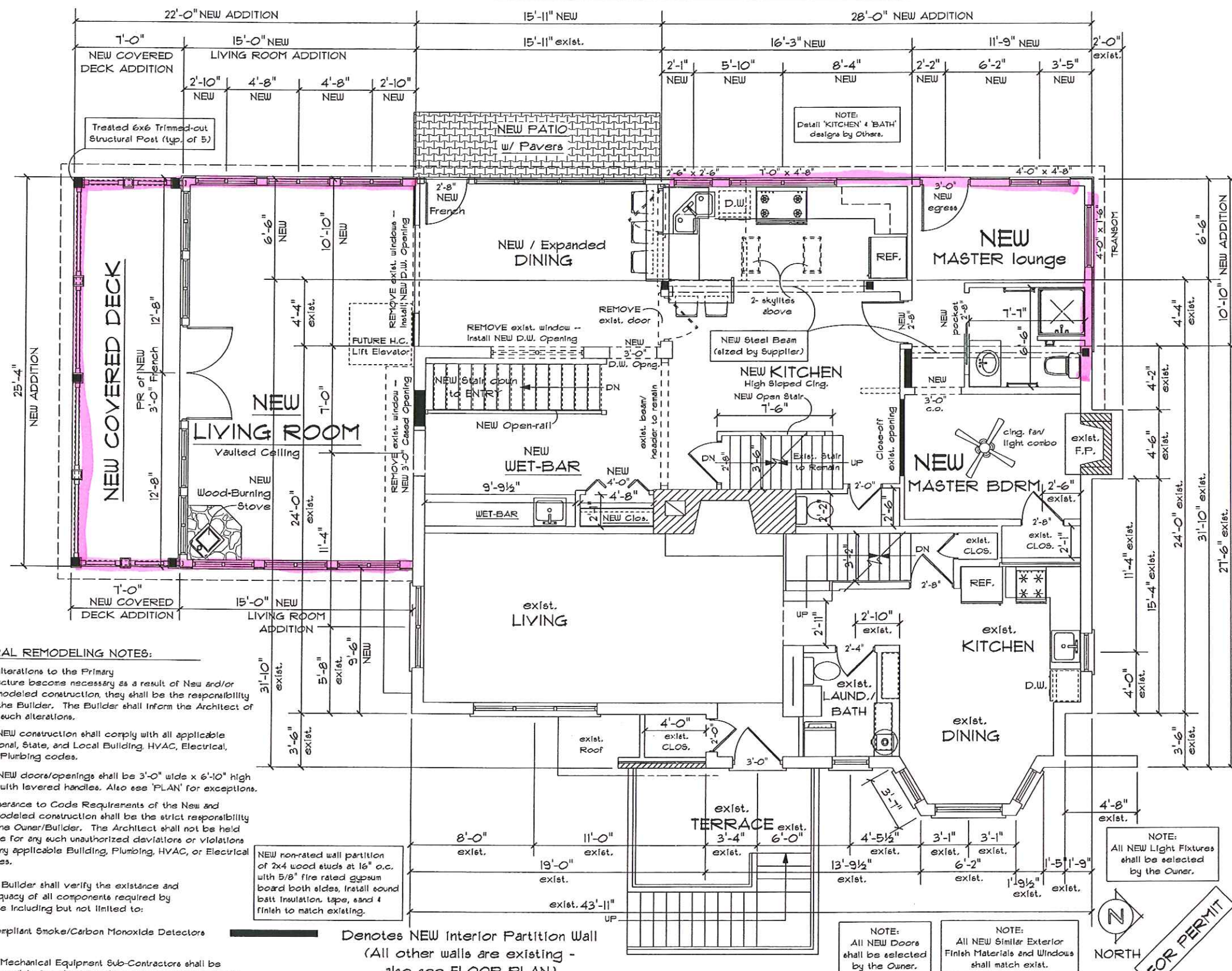


HOME ADDITION/REMODEL for:
The Todd & Maureen Kiley Home

718 ORCHARD STREET MADISON, WISCONSIN 53715

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NEW



GENERAL REMODELING NOTES:

- 1) If alterations to the Primary Structure become necessary as a result of New and/or Remodeled construction, they shall be the responsibility of the Builder. The Builder shall inform the Architect of any such alterations.
- 2) All NEW construction shall comply with all applicable National, State, and Local Building, HVAC, Electrical, and Plumbing codes.
- 3) All NEW doors/openings shall be 3'-0" wide x 6'-10" high min. with levered handles. Also see 'PLAN' for exceptions.
- 4) Adherence to Code Requirements of the New and Remodeled construction shall be the strict responsibility of the Owner/Builder. The Architect shall not be held liable for any such unauthorized deviations or violations of any applicable Building, Plumbing, HVAC, or Electrical codes.
- 5) The Builder shall verify the existence and adequacy of all components required by Code including but not limited to:
 - ☒ Compliant Smoke/Carbon Monoxide Detectors
- 6) All Mechanical Equipment Sub-Contractors shall be responsible for obtaining their own respective Permits.

--- REMOVE exist. doors, walls, etc. patch as req'd.

NEW non-rated wall partition of 2x4 wood studs at 16" o.c. with 5/8" fire rated gypsum board both sides, install sound batt insulation, tape, and finish to match existing.

Denotes NEW Interior Partition Wall (All other walls are existing - also see FLOOR PLAN)

MAIN LEVEL PROPOSED PLAN OF ADDITIONS

Scale: 1/4" = 1'-0"

NOTE: All NEW Doors shall be selected by the Owner.

NOTE: All NEW Similar Exterior Finish Materials and Windows shall match exist.

NOTE: All NEW Light Fixtures shall be selected by the Owner.



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Sheet 6 of 7

Plot Date: October 06, 2008

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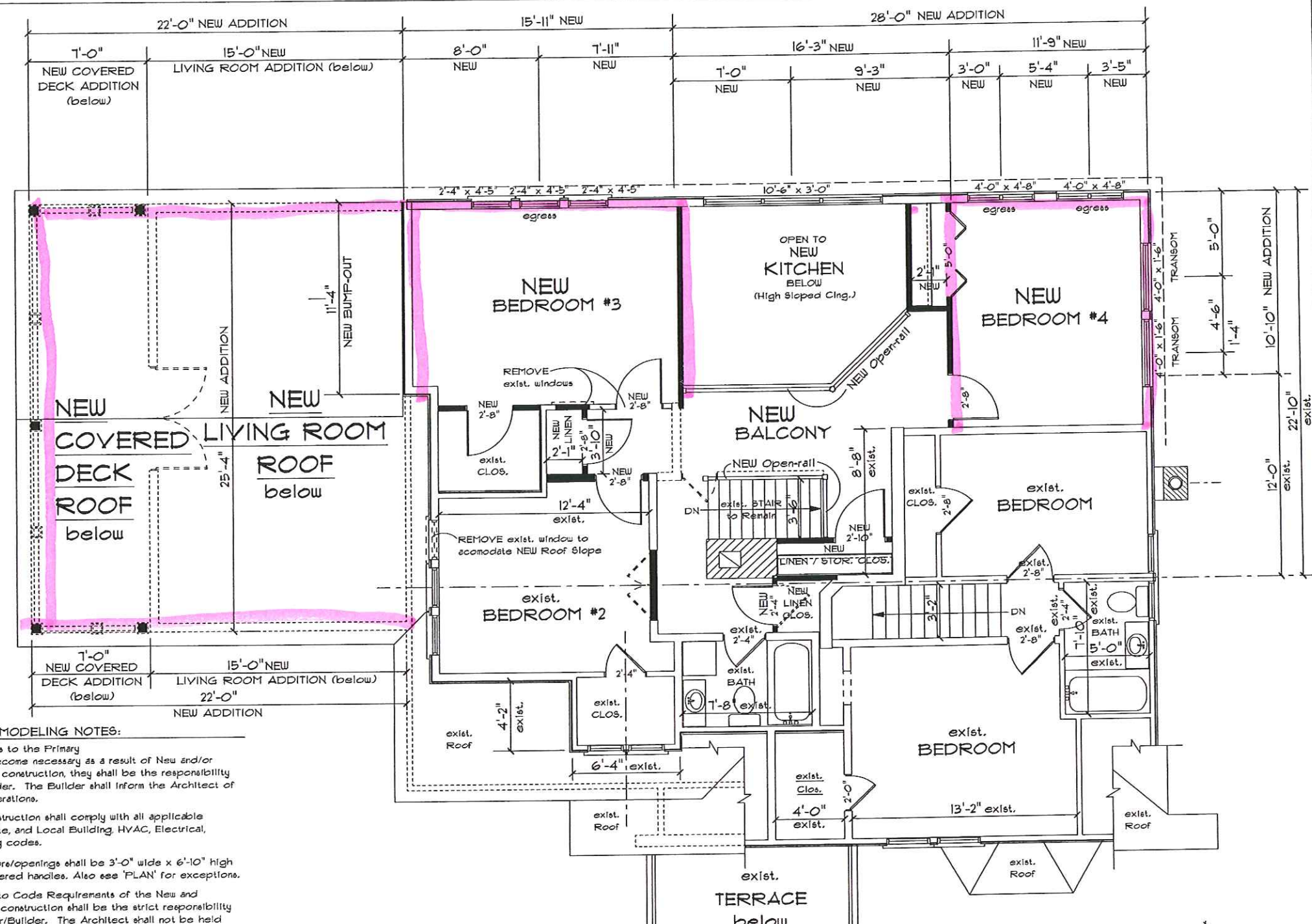
HOME ADDITION/REMODEL for:
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FAX: (608) 845-8159

718 ORCHARD STREET MADISON, WISCONSIN 53715

NEW



- GENERAL REMODELING NOTES:**
- 1) If alterations to the Primary Structure become necessary as a result of New and/or Remodeled construction, they shall be the responsibility of the Builder. The Builder shall inform the Architect of any such alterations.
 - 2) All NEW construction shall comply with all applicable National, State, and Local Building, HVAC, Electrical, and Plumbing codes.
 - 3) All NEW doors/openings shall be 3'-0" wide x 6'-10" high min. with levered handles. Also see 'PLAN' for exceptions.
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 - 5) The Builder shall verify the existence and adequacy of all components required by Code including but not limited to:
 - ☒ Compliant Smoke/Carbon Monoxide Detectors
 - 6) All Mechanical Equipment Sub-Contractors shall be responsible for obtaining their own respective Permits.

NEW non-rated wall partition of 2x4 or 2x6 wood studs @ 16" o.c. with 5/8" fire rated gypsum board both sides, install sound batt insulation, tape, and finish to match existing.

Denotes NEW Interior Partition Wall (All other walls are existing - also see FLOOR PLAN)

- NOTE:** All NEW Light Fixtures shall be selected by the Owner.
- NOTE:** Detail 'KITCHEN' & 'BATH' designs by Others.
- NOTE:** All NEW Doors shall be selected by the Owner.
- NOTE:** All NEW Similar Exterior Finish Materials and Windows shall match exist.



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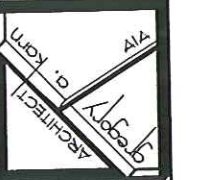
SECOND FLOOR PROPOSED PLAN of ADDITIONS

Scale: 1/4" = 1'-0"

Plot Date: October 06, 2008

Sheet 1 of 1

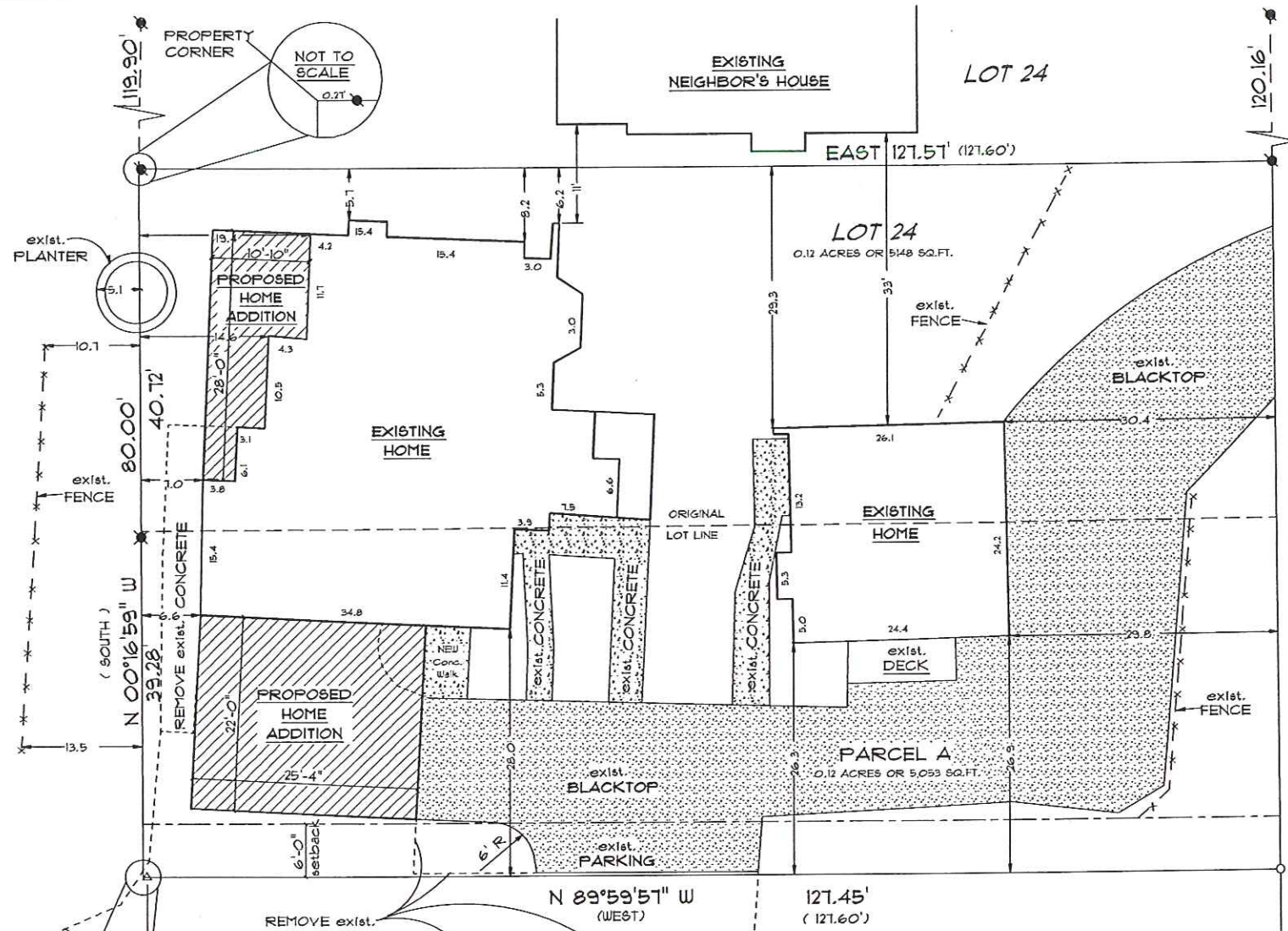
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PLAT OF SURVEY
 LOT 24, BLOCK 302, BLOCKS 301, 302, 303, & 304 ADDITION TO THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

DESCRIPTION:
 LOT 24, BLOCK 302, OF BLOCKS 301, 302, 303, 304, ADDITION TO THE CITY OF MADISON, DANE COUNTY, WISCONSIN.

ALSO INCLUDING (PARCEL A)
 BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 24, BLOCK 302; THENCE SOUTH 40 FEET, ALONG THE WEST SIDE OF ORCHARD STREET; THENCE WEST AT RIGHT ANGLES TO SAID STREET, 127.6 FEET; THENCE NORTH 40 FEET TO THE SOUTHWEST CORNER OF LOT 24; THENCE EAST 127.6 FEET TO THE POINT OF BEGINNING.

TOTAL SQUARE FOOTAGE = 10,201 OR 0.23 ACRES

- LEGEND**
- ▲ SET MAG NAIL
 - SET 3/4" X 24" REBAR
 - FOUND 3/4" REBAR
 - ▬ FOUND 1" PIPE
 - ▬ FOUND 1" PIPE WITH SQUARE TOP

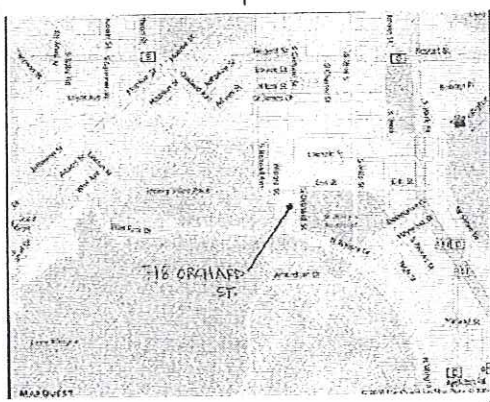
(-)- RECORDED AS

PROPOSED SITE PLAN SHOWING ADDITIONS

Scale: 1" = 10'

NOTE:
 Information used to create this SITE PLAN has been provided by the Owner and the original Land Surveyor - WILLIAMSON SURVEYING CO. of Waunakee, Wisconsin. The Architect, therefore, makes no certification as to the accuracy or completeness of the information as provided herein with this plan. The Architect also, therefore, shall not be held liable in any way for any such inaccuracy or incompleteness as described herein with this plan.

- NOTES:**
- 1.) BEARINGS ARE REFERENCED TO THE THE EAST LINE OF THE SE 1/4 OF SECTION 31, T10, R1E, ASSUMED TO BEAR S 01°10'38" E.
 - 2.) THIS PARCEL IS SUBJECT TO ANY AND ALL EASEMENTS AND AGREEMENTS RECORDED AND UNRECORDED.
 - 3.) UTILITIES WERE NOT LOCATED AS PART OF THIS SURVEY. CALL DIGGERS HOTLINE FOR EXACT LOCATION OF UNDERGROUND UTILITIES. 1-800-242-8511
 - 4.) WETLANDS OR FLOOD PLAIN IF PRESENT WERE NOT DELINEATED OR LOCATED.



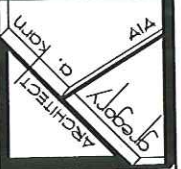
LOCATION MAP

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Sheet
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Plot Date: October 06, 2008

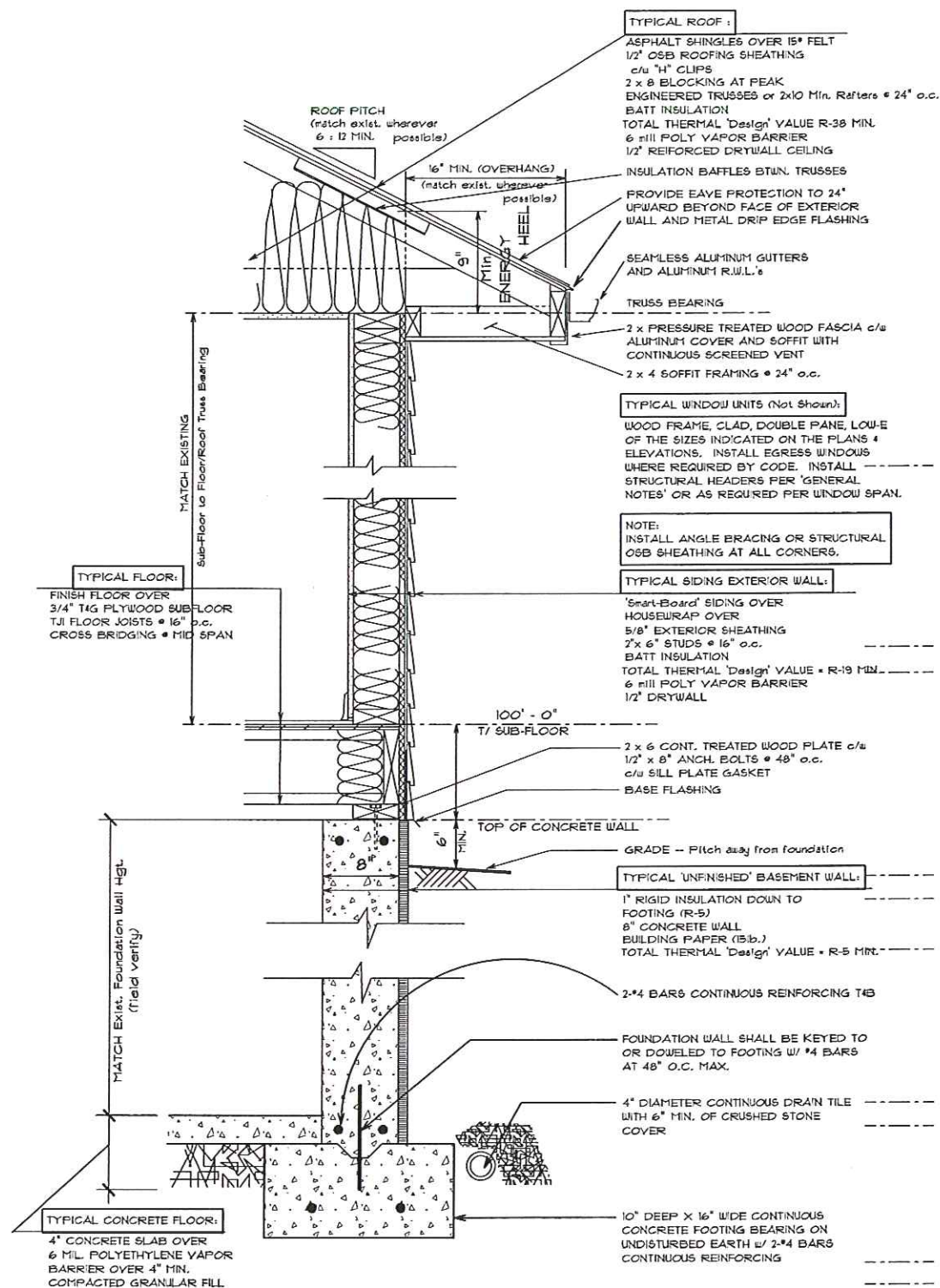
PREPARED FOR:
 TODD KILEY 718 ORCHARD STREET MADISON, WI., 53715



HOME ADDITION/REMODEL for:
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NOTE:
 All NEW Exterior Finish Materials shall match exist.

A TYPICAL WALL SECTION
 Scale: NO SCALE (2x6 / Siding)
PROPOSED BUILDING SECTION



HOME ADDITION/REMODEL for:
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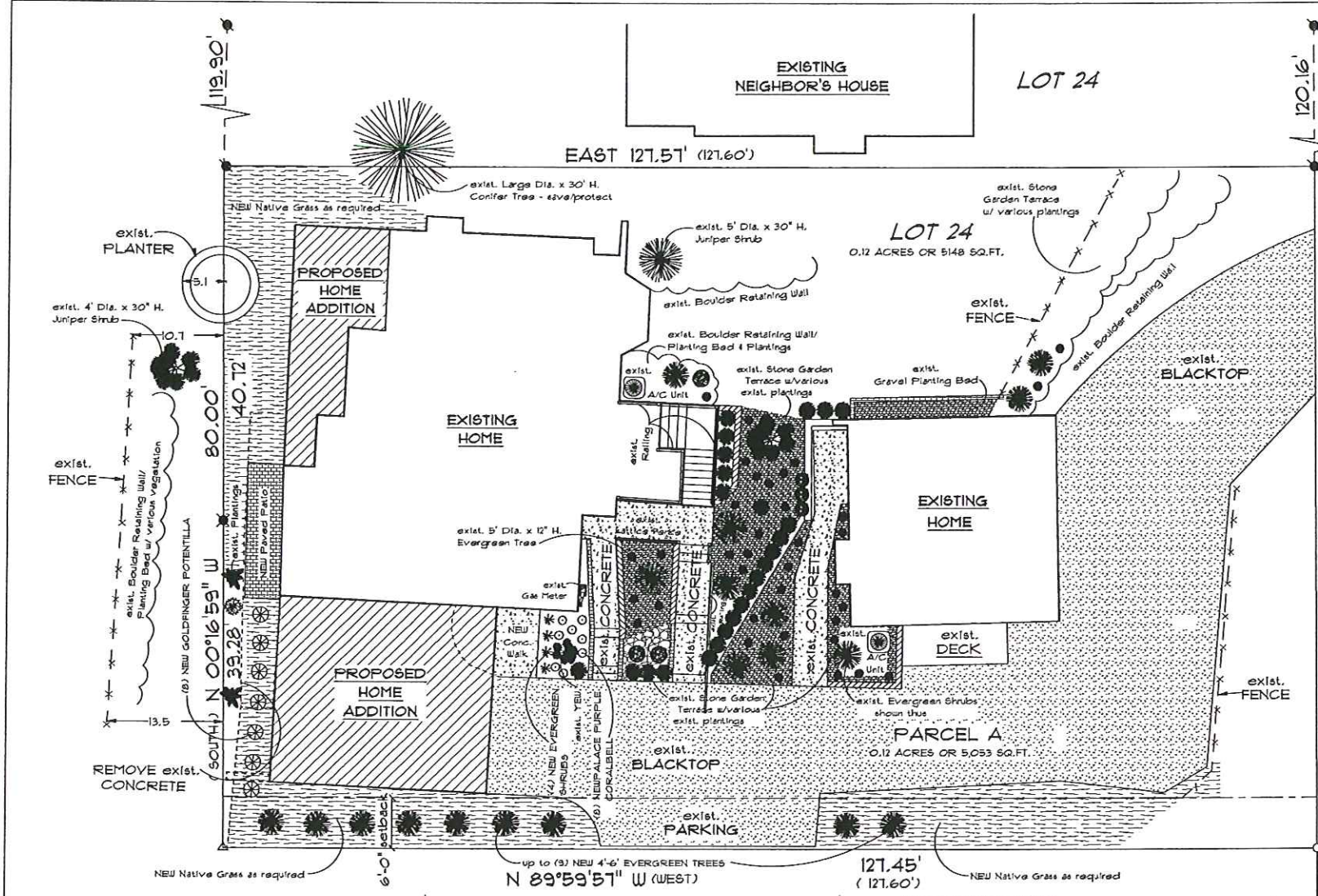
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Plot Date: October 06, 2008

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LANDSCAPE KEY:

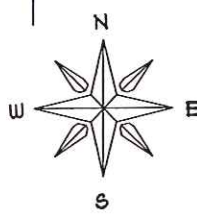
- exist. R/R Tie Retaining Wall/Planting Bed
- exist. Concrete Retaining Wall/Planting Bed
- exist. Boulder Retaining Wall/Planting Bed
- exist. Concrete Paver Block Edging
- exist. Stone or Gravel Planting Bed
- NEW Wood Mulch Bed

NOTE:
THERE IS EXTENSIVE EXISTING VEGETATION LANDSCAPING AND HARDSCAPING IMPROVEMENTS ON AND AT THE PERIMETER OF THIS SITE AND PARTICULARLY BETWEEN THE TWO DWELLINGS.

**LANDSCAPING SCHEDULE
of NEW PLANTINGS:**

SYMBOL	NAME or SPECIES (quant.)	TOTAL ADDIT'L POINTS
	EVERGREEN SHRUBS (4)	(12) POINTS
	PALACE PURPLE CORALBELL (8)	(8) POINTS
	4' - 6' EVERGREEN TREES (9)	(27) POINTS
	GOLDFINGER POTENTILLA (7)	(14) POINTS
TOTAL ADDITIONAL POINTS PROVIDED		(61) POINTS

- LANDSCAPING NOTES**
General Notes
- The LANDSCAPING PLAN as indicated herewith is intended to show the general location and placement of the existing and proposed Landscaping Improvements. The Landscaper shall be solely responsible for determining the exact and final location of all such Landscaping Improvements within the Site/Lot Boundaries and Setbacks.
 - The LANDSCAPE PLAN as indicated herewith is for general layout purposes only - Finish Grading/Site Drainage, Location of Utilities (both existing and new), etc. shall be designed by and be the Responsibility of Others. The Architect shall not be held liable for the Detail Site Design of any of the above mentioned except for the Proposed general location of NEW Vegetation Landscape Improvements.
 - The Landscaper shall verify/determine all required building setbacks, site utilities, and all other easements associated with this parcel prior to the commencement of any Site construction or final placement of the proposed NEW Landscaping Improvements.
 - All vegetation landscaping shown as existing shall be saved & protected unless noted otherwise.
 - All NEW Site Lighting shall be confined to Exterior Grade wall or recessed soffit mounted Ingress/Egress Illumination type fixtures less than 75 Watts and in accordance with city ordinances and all governing and applicable national, state, and local Electrical codes.



LEGEND

- SET MAG NAIL
- SET 3/4" X 24" REBAR
- FOUND 3/4" REBAR
- FOUND 1" PIPE
- FOUND 1" PIPE WITH SQUARE TOP
- RECORDED AS

PROPOSED LANDSCAPING PLAN

SHOWING NEW & EXISTING LANDSCAPING

Scale: 1" = 10'

PREPARED FOR:
TODD KILEY
718 ORCHARD STREET APT. D
MADISON, WI. 53715

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Sheet
L1 of 1

Plot Date: October 06, 2008

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