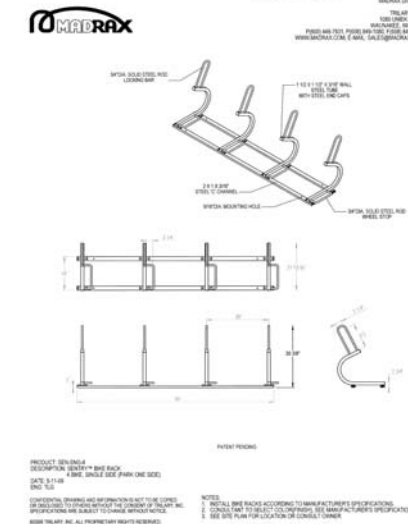


1. CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL DOCUMENTS AND WILL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO AND DURING CONSTRUCTION. IN GENERAL, ARCHITECTURAL DRAWINGS TAKE PRECEDENCE OVER OTHERS.
2. CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS OF WORK DESCRIBED IN CONSTRUCTION DOCUMENTS.
3. CONTRACTOR SHALL PATCH AND REPAIR TO MATCH ANY WALLS, FLOORS, CEILINGS AND/OR OTHER FINISHES WHICH MAY BE DISTURBED DURING THE INSTALLATION OF MECHANICAL, ELECTRICAL, SPRINKLER, OR OWNER PROVIDED WORK.
4. DO NOT SCALE DOCUMENTS - HARD LINE DIMENSIONS SHALL SUPERSEDE MEASURED DIMENSIONS.
5. ALL MECHANICAL DUCTS, PLUMBING & ELEC. RISERS & SPRINKLER LINES TO BE COORDINATED WITH G.C. SUBCONTRACTORS, AND ARCHITECT.
6. EXPOSED CONCRETE FLOORS SHALL BE PROTECTED AS MUCH AS POSSIBLE TO PREVENT EXCESSIVE DAMAGE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPAIR ANY DAMAGE CAUSED BY MATERIALS, EQUIPMENT OR WORK.
7. CONTRACTOR TO FIELD VERIFY ALL FINISH GRADE ELEVATIONS AND PROPOSED T.O.W. ELEVATIONS PRIOR TO PERFORMING ANY RETAINING WALL WORK.
8. CONTRACTOR TO COORDINATE AND FIELD VERIFY ALL SITE AND UTILITY WORK WITH SITE DRAWINGS.

[illegible]

# INITIAL UDC SUBMITTAL



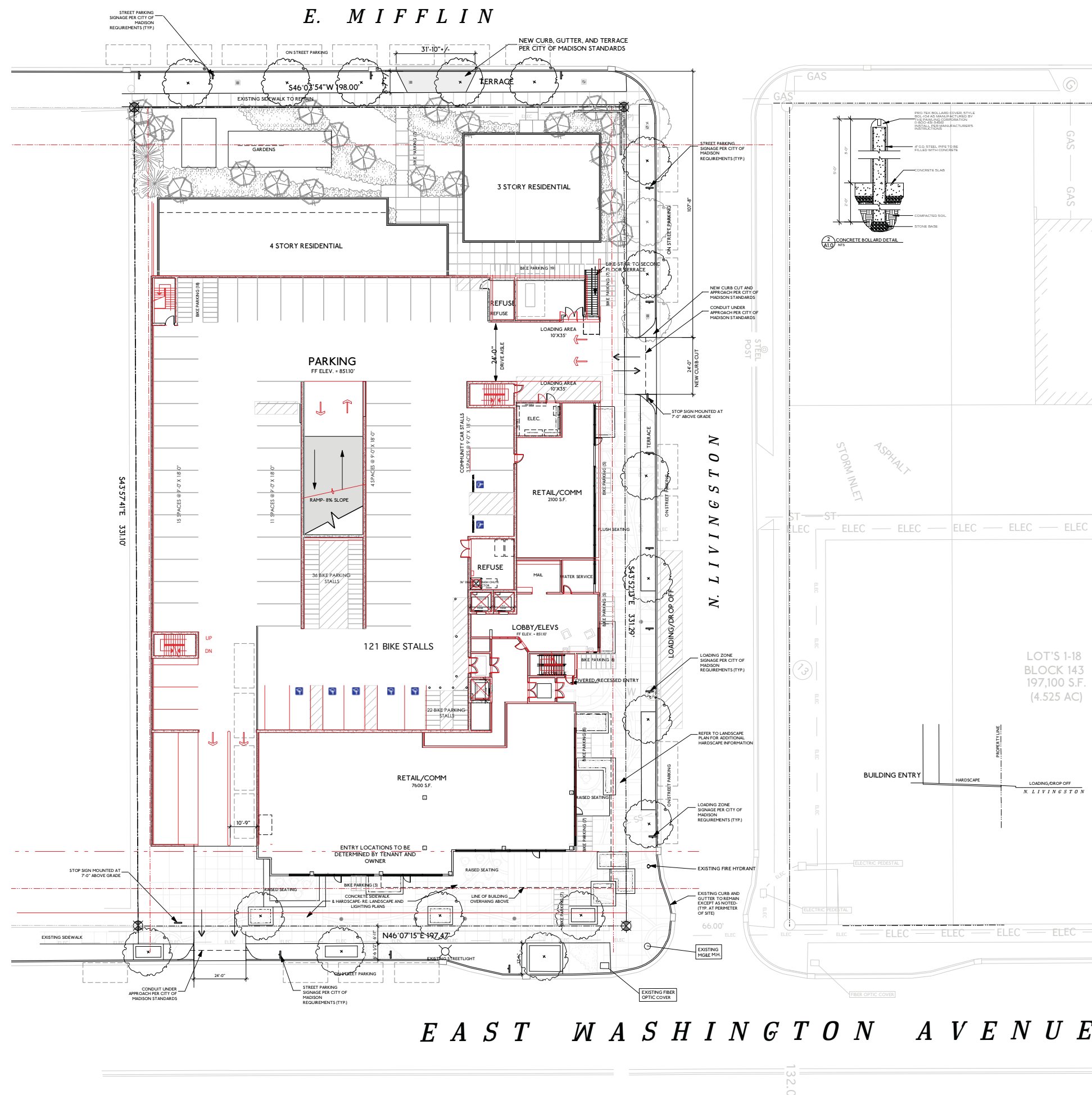
WWW.BARK-DESIGN.COM  
STUDIO@BARK-DESIGN.COM  
608.333.1922

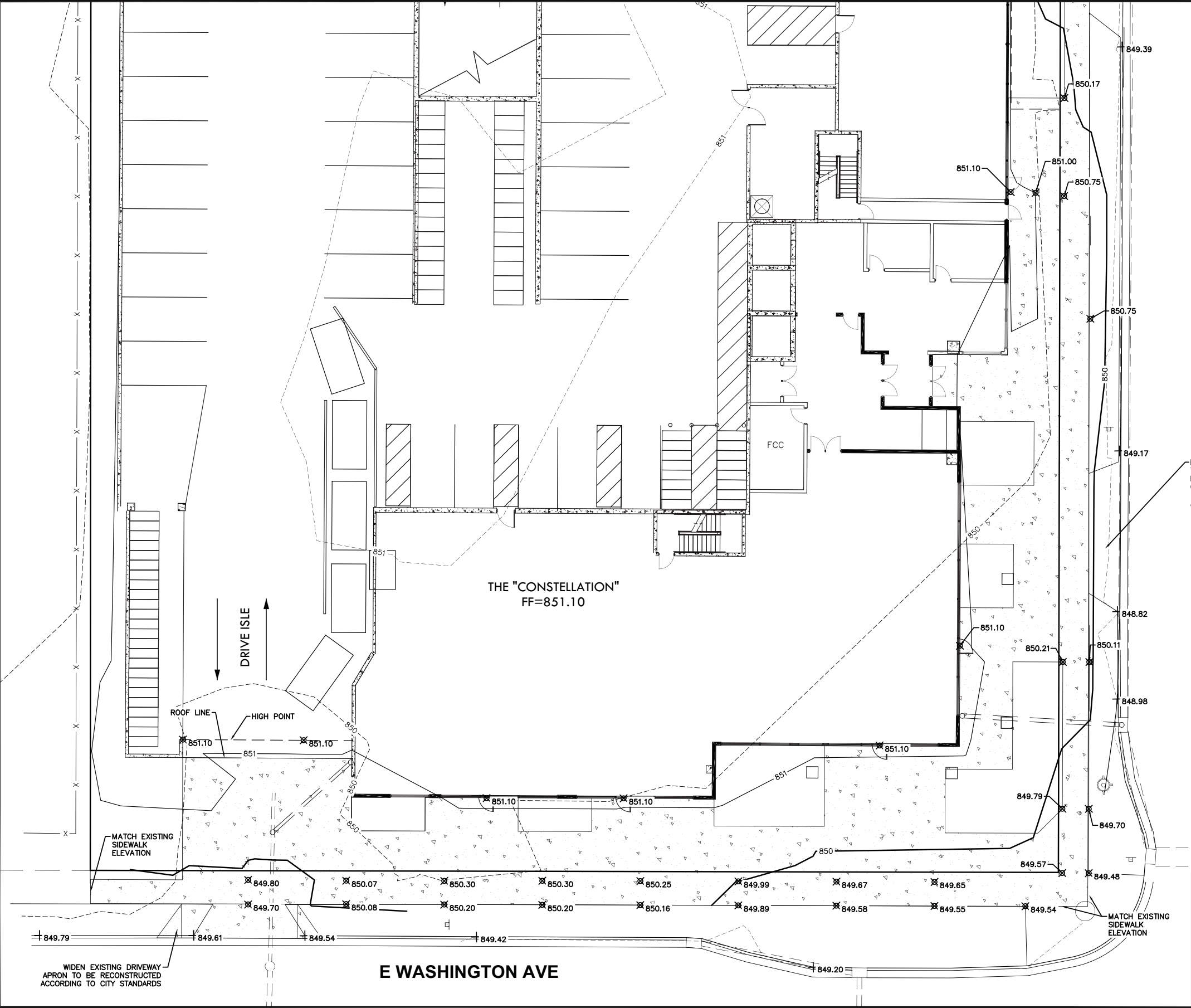
DATE
02.01.12

**THE "CONSTELLATION"**  
741 EAST MIFFLIN STREET, 754 EAST WASHINGTON AVENUE  
MADISON, WISCONSIN

**SITE & FIRST FLOOR PLAN**  
SCALE: 1"=20'

# C101





GRADING NOTES

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY STANDARDS AND SPECIFICATIONS.

2. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.

3. ALL MATCHING PAVEMENT AND STORM SEWER ELEVATIONS SHALL BE VERIFIED IN THE FIELD TO ALLOW FOR PROPER DRAINAGE.

4. CONTOUR AND SPOT ELEVATIONS SHOWN ARE FINISH GRADE ELEVATIONS.

5. ALL LAWN AND PLANTING AREAS WHICH HAVE BEEN COMPACTED DUE TO CONSTRUCTION SHALL BE LOOSENEED PRIOR TO ADDITION OF TOPSOIL.

6. CONTAMINATED SOILS EXIST ON THE PROPERTY. CONTRACTOR SHALL FOLLOW THE MATERIAL MANAGEMENT PLAN PREPARED BY SCS BT SQUARED.

GRADING LEGEND

---

EXISTING CONTOUR

---

PROPOSED CONTOUR

✕ 850.00

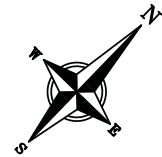
CONCRETE SPOT ELEVATION

+ 850.00

TOP OF CURB ELEVATION

EXISTING DRIVEWAY  
TO BE ABANDONED  
IN ACCORDANCE WITH  
CITY STANDARDS  
W/CURB REPLACED  
& TERRACE RESTORED

N LIVINGSTON STREET



0 10 20 30  
SCALE : 1" = 10' (24 X 36)  
1" = 20' (11 X 17)

ISSUANCE/REVISION

DATE

BID SET

1-29-12

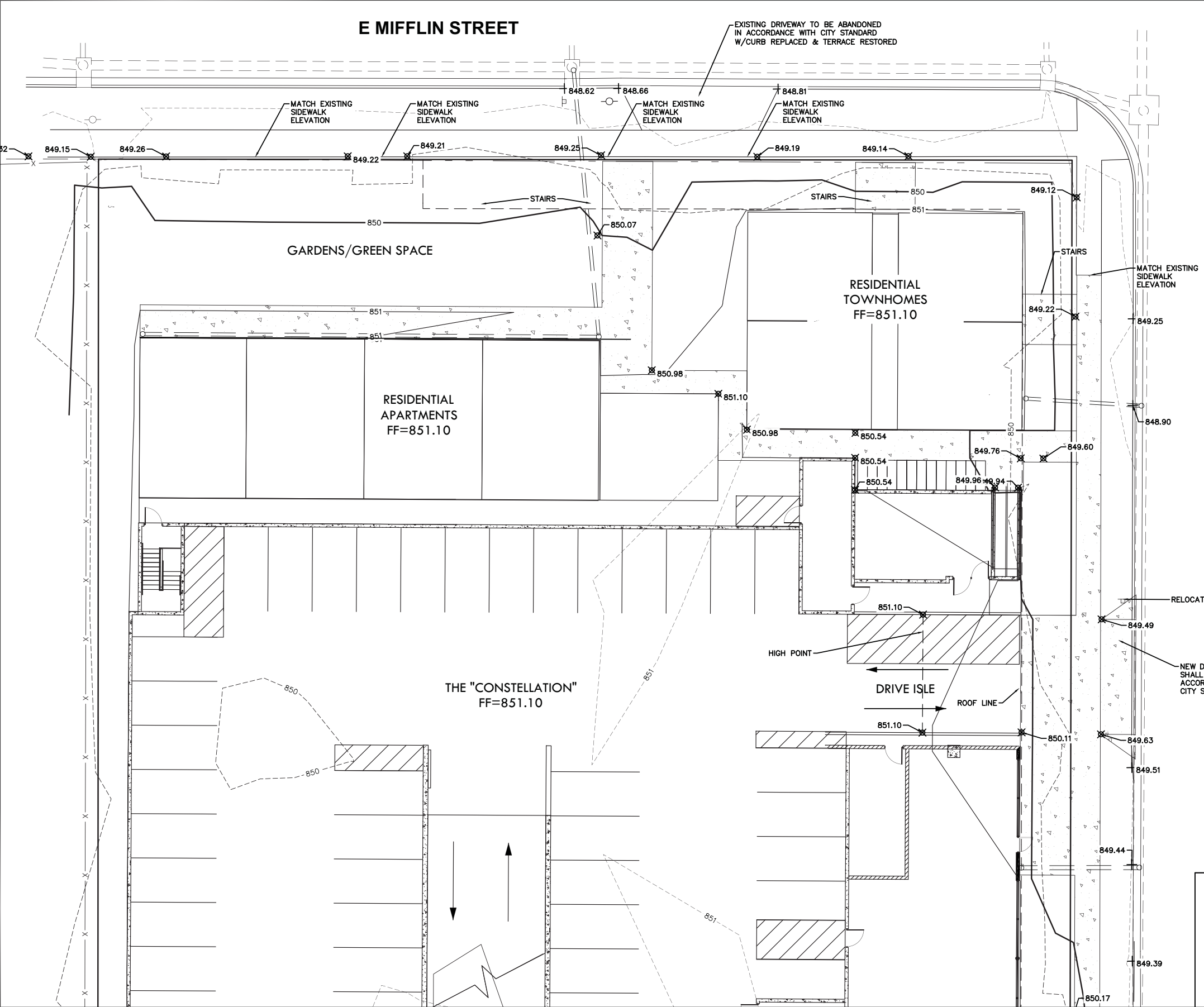
818 N Meadowbrook Ln  
Waunakee, WI 53597  
phone (608) 849-9378  
fax (608) 237-2129

PROFESSIONAL  
ENGINEERING  
LLC

THE "CONSTELLATION"  
GRADING PLAN

MADISON, WISCONSIN

C200



GRADING NOTES

1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY STANDARDS AND SPECIFICATIONS.

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GRADING LEGEND

---

EXISTING CONTOUR

---

PROPOSED CONTOUR

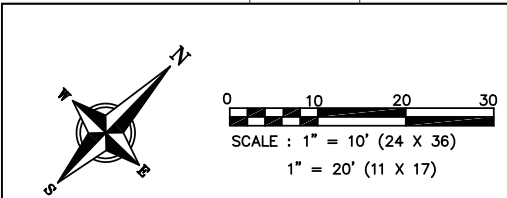
✕ 850.00

CONCRETE SPOT ELEVATION

+ 850.00

TOP OF CURB ELEVATION

N LIVINGSTON STREET



818 N Meadowbrook Ln  
Waukegan, WI 53097  
phone (608) 849-9378  
fax (608) 237-2129

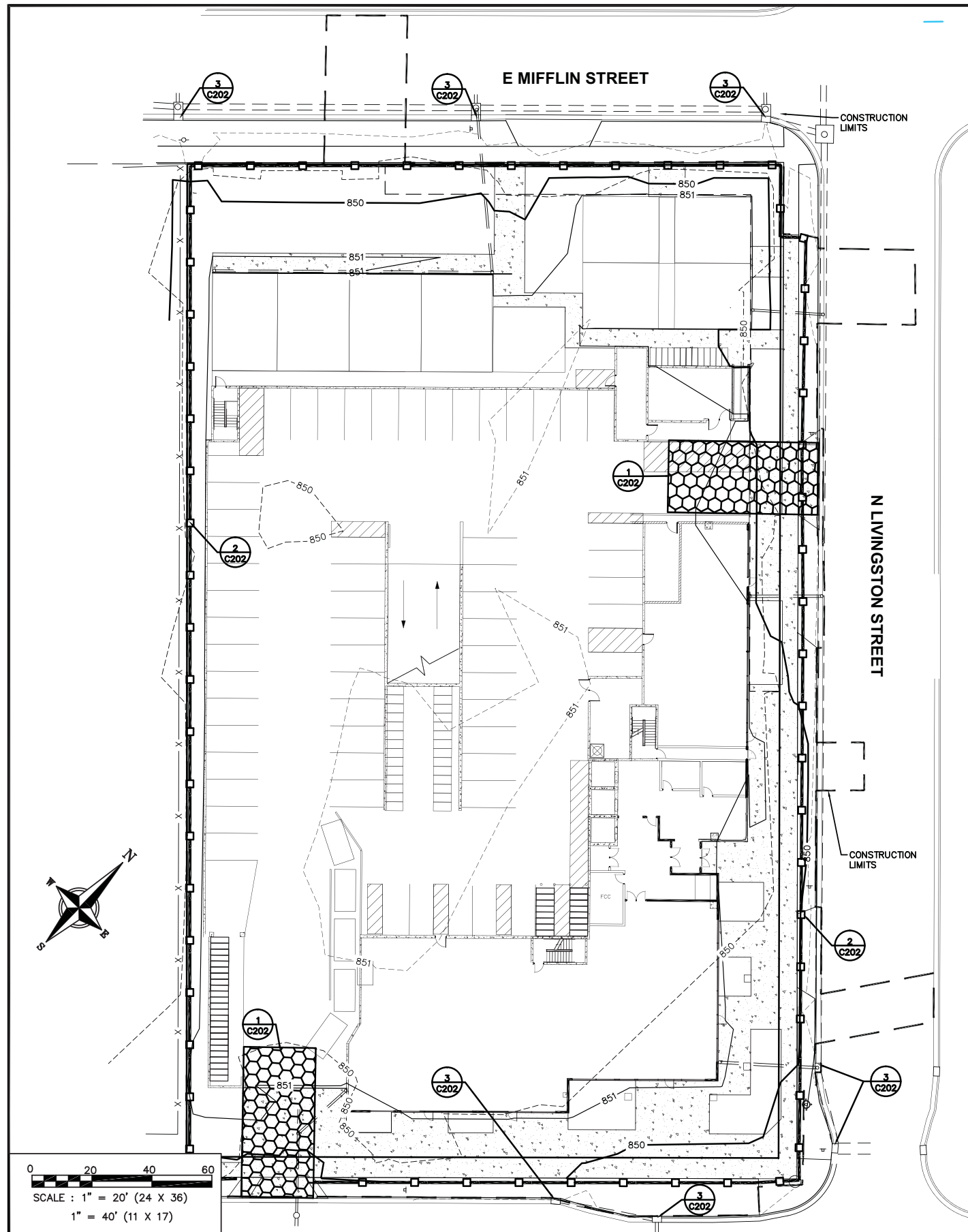
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ENGINEERING**  
LLC

THE "CONSTELLATION"  
GRADING PLAN

MADISON, WISCONSIN

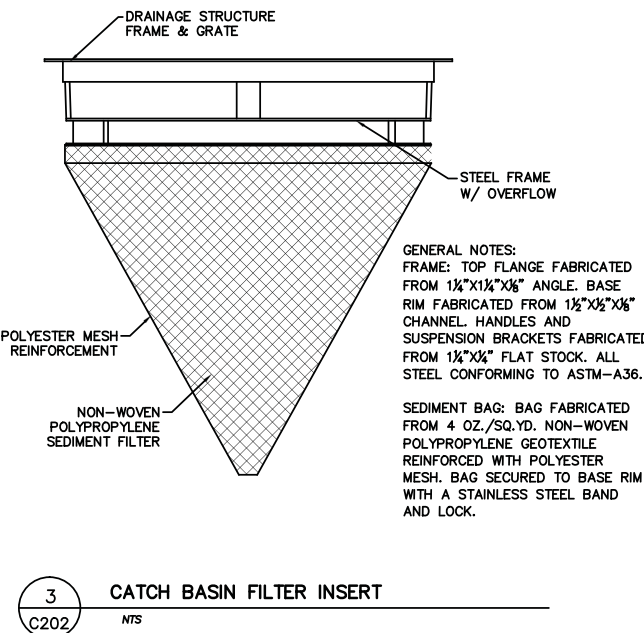
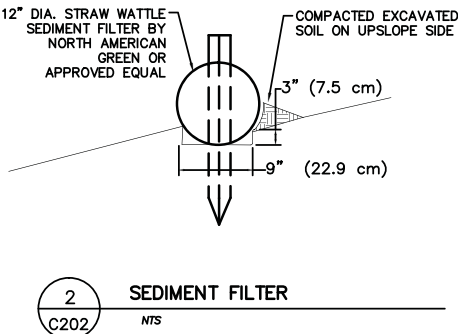
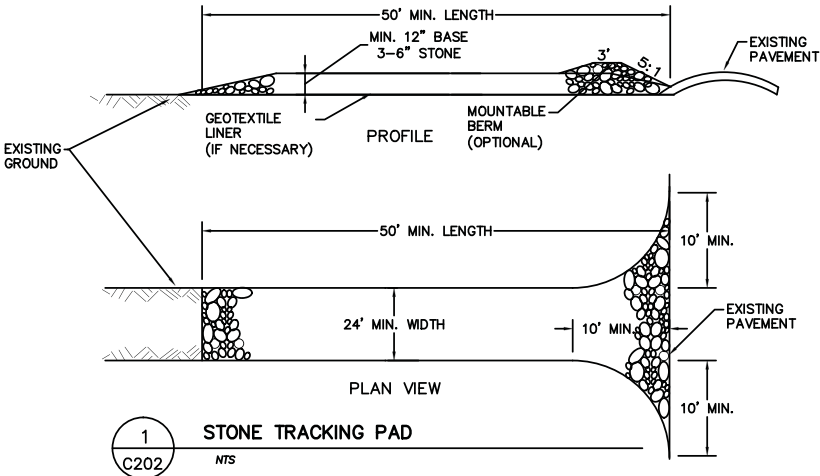
C201





EROSION CONTROL NOTES

- (1) THE CONTRACTOR SHALL IMPLEMENT AND MAINTAIN EROSION CONTROL DEVICES FROM THE START OF LAND DISTURBING CONSTRUCTION ACTIVITIES UNTIL FINAL STABILIZATION OF THE CONSTRUCTION SITE.
- (2) ALL EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY EROSION CONTROL AND STORMWATER ORDINANCE AND THE APPROPRIATE WISCONSIN DNR CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS. THE CITY RESERVES THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES AS CONDITIONS WARRANT.
- (3) CLEANING. RIGHT-OF-WAY SURFACES SHALL BE THOROUGHLY CLEANED BEFORE THE END OF EACH WORKING DAY.
- (4) RESTORATION. RESTORATION SHALL BE COMPLETED AS NOTED IN THE CONSTRUCTION SCHEDULE UNLESS OTHERWISE AUTHORIZED BY THE CITY.
- (5) INSPECTION. THE CONTRACTOR SHALL INSPECT EROSION AND SEDIMENT CONTROL PRACTICES WEEKLY, AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER. DOCUMENTATION OF EACH INSPECTION SHALL INCLUDE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF LAND DISTURBANCE AT THE CONSTRUCTION SITE, PERSON CONDUCTING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND A DESCRIPTION OF ANY EROSION OR SEDIMENT CONTROL MEASURE INSTALLATION.
- (6) STONE TRACKING PAD. BEFORE BEGINNING CONSTRUCTION, CONTRACTOR SHALL INSTALL A STONE TRACKING PAD AT EACH POINT WHERE VEHICLES ENTERS/EXITS THE CONSTRUCTION SITE. STONE TRACKING PADS SHOULD BE AT LEAST 24 FEET WIDE AND 50 FEET LONG, AND CONSTRUCTED OF 3-6 INCH WASHED STONE WITH A DEPTH OF AT LEAST 12 INCHES. ON SITES WITH CLAY SOILS, STONE TRACKING PADS MUST BE UNDERLAIN WITH A GEOTEXTILE LINER TO PREVENT THE STONE FROM SINKING INTO THE SOIL.
- (7) INLET PROTECTION. ALL INLETS SUBJECT TO DRAINAGE SHALL BE PROTECTED WITH A CATCH BASIN FILTER INSERT MANUFACTURED BY MARATHON MATERIALS OR APPROVED EQUAL. A STANDARD SEDIMENT BAG SHALL BE USED DURING CONSTRUCTION. ANY DEPOSITS OF DIRT, MUD, ROCK, DEBRIS, OR OTHER MATERIAL ENTERING THE STORM SEWER SYSTEM SHALL BE PROMPTLY AND THOROUGHLY CLEANED OUT.
- (8) EROSION MAT. AREAS OR EMBANKMENTS HAVING SLOPES GREATER THAN OR EQUAL TO 4H:1V SHALL BE STABILIZED WITH WISCONSIN DOT CLASS 1, TYPE B, EROSION MAT.
- (9) TEMPORARY EROSION CONTROL. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED.
- (10) STABILIZATION. ALL DISTURBED AREAS SHALL BE SEEDED & MULCHED AS SPECIFIED WITHIN 14 WORKING DAYS OF FINAL GRADING.
- (11) TOPSOIL. A MINIMUM OF 4 INCHES OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEEDED OR SODDED.
- (12) SEEDING. SEED MIXTURE SHALL BE APPLIED AT A RATE OF 2 LBS PER 1,000 SF OF AREA OR AS NOTED ON THE LANDSCAPE PLAN.
- (13) STOCKPILES. ANY SOIL STOCKPILED THAT REMAINS FOR MORE THAN 30 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.



DATE  
1-29-12

ISSUANCE/REVISION  
BID SET

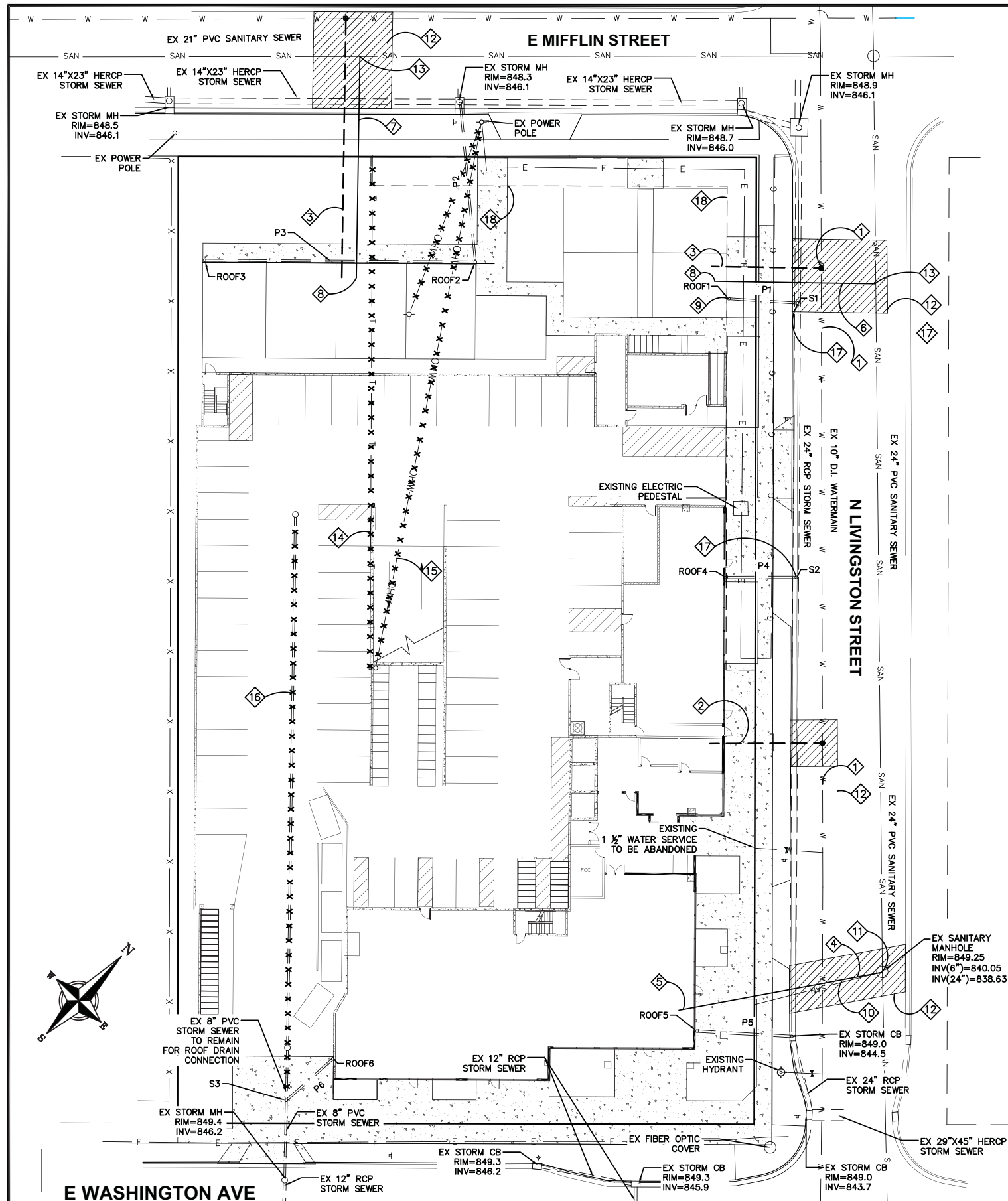
818 N Meadowbrook Ln  
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fax (608) 237-2129

**PROFESSIONAL  
ENGINEERING**  
LLC

**THE "CONSTELLATION"  
EROSION CONTROL PLAN**

MADISON, WISCONSIN

**C202**



UTILITY NOTES

1. CONTRACTOR SHALL CALL DIGGERS HOTLINE PRIOR TO ANY CONSTRUCTION.
2. ALL EXISTING UTILITIES SHOWN ON THE PLAN ARE APPROXIMATE AND WERE FIELD LOCATED FROM GROUND MARKING OR BASED OFF OF CITY UTILITY RECORDS. THE LOCATIONS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
3. ALL SITE UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST ADDITION.
4. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL OBTAIN A STREET OPENING PERMIT FOR ANY WORK TO BE DONE WITHIN THE RIGHT-OF-WAY.
5. CONTRACTOR SHALL OBTAIN ALL NECESSARY PLUGGING/CONNECTION PERMITS FROM THE CITY PRIOR TO ANY UTILITY WORK. CONTRACTOR TO NOTIFY THE PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
6. RESTORATION OF PAVEMENT, CURB & GUTTER, AND SIDEWALK WITHIN THE STREET RIGHT OF WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF THE UNDERGROUND IMPROVEMENTS.
7. ALL STORM SEWER PIPE TO BE ADS-N12 PIPE OR RCP CLASS III REINFORCED CONCRETE WITH RUBBER GASKETS AS NOTED.
8. CONTRACTOR SHALL CONFIRM CONNECTION ELEVATION GRADES OF ALL PIPES PRIOR TO BEGINNING CONSTRUCTION.
9. WATER MAIN SHALL BE DUCTILE IRON, CLASS 52.
10. SANITARY SEWER SERVICES SHALL BE SDR-35 PVC.
11. ANY PERSON WHO INSTALLS A NONCONDUCTIVE WATER OR SEWER LATERAL MUST ALSO INSTALL A LOCATION WIRE OR OTHER EQUALLY EFFECTIVE MEANS FOR MARKING THE LOCATION OF THE LATERAL. METHOD SHALL BE APPROVED BY THE CITY.
12. CONTRACTOR TO COORDINATE NEW, RELOCATED AND/OR ABANDONED GAS, ELECTRIC, TELEPHONE, AND CABLE WITH APPROPRIATE UTILITY COMPANIES.
13. UTILITIES SERVING PROPOSED BUILDINGS SHALL BE STUBBED INTO THE PROPOSED BUILDING(S) A MIN. OF 5' AND STAKED.
14. ALL WATER MAIN PIPE AND FITTINGS SHALL BE INSTALLED TO A MIN. DEPTH OF COVER OF 6.5'. AFTER REGRADING, EXISTING WATER MAIN PIPE WHICH DOES NOT MEET THIS REQUIREMENT SHALL BE INSULATED.
15. STORM SEWERS WHICH CROSS AN ACTIVE SEWER OR WATER MAIN OR LATERAL SHALL HAVE A MINIMUM CLEAR VERTICAL CLEARANCE OF THREE (3) FEET. CROSSINGS WITH LESSER VERTICAL CLEARANCE SHALL BE PROTECTED FROM FROST DAMAGE BY PLACEMENT OF 2-INCH THICK POLYSTYRENE BOARD INSULATION.
16. BUILDING PLUMBER SHALL VERIFY SIZE, SLOPE, AND EXACT LOCATION OF PROPOSED SANITARY LATERALS AND WATER SERVICES PRIOR TO INSTALLATION.

STRUCTURE TABLE					
STRUCTURE NAME:	SIZE	RIM	PIPES IN:	PIPES OUT	CASTING:
EX CB1	CONNECT TO EXISTING STRUCTURE	849.00	P5, 10" INV IN =845.75		EXISTING
EX CB2	CONNECT TO EXISTING STRUCTURE	850.15	P2, 8" INV IN =847.35		EXISTING
ROOF1	CONNECT TO ROOF DRAIN	850.75		P1, 8" INV OUT =847.24	-
ROOF2	CONNECT TO ROOF DRAIN	850.75	P3, 8" INV IN =847.89	P2, 8" INV OUT =847.89	-
ROOF3	CONNECT TO ROOF DRAIN	850.67		P3, 8" INV OUT =848.82	-
ROOF4	CONNECT TO ROOF DRAIN	850.05		P4, 10" INV OUT =846.99	-
ROOF5	CONNECT TO ROOF DRAIN	851.10		P5, 10" INV OUT =846.08	-
ROOF6	STORM SEWER TAP	848.02		P6, 8" INV OUT =846.81	-
S1	STORM SEWER TAP	849.68	P1, 8" INV IN =847.00		-
S2	STORM SEWER TAP	849.44	P4, 10" INV IN =846.75		-
S3	CONNECT TO EXISTING PIPE	847.81	P6, 8" INV IN =846.60		-

Pipe Table				
NAME	SIZE	LENGTH	SLOPE	MATERIAL
P1	8"	24'	1.00%	SCH 40 PVC
P2	8"	55'	1.00%	SCH 40 PVC
P3	8"	93'	1.00%	SCH 40 PVC
P4	10"	24'	1.00%	SCH 40 PVC
P5	10"	33'	1.01%	SCH 40 PVC
P6	8"	22'	1.00%	SCH 40 PVC

LEGEND

- T

T

T

EX TELEPHONE
- SAN

EX SANITARY SEWER
- OHW

OHW

EX OVERHEAD ELECTRIC
- W

W

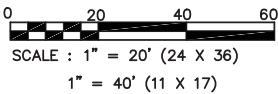
W

EX WATER
- G

G

G

EX GAS UNDERGROUND
- EX STORM SEWER



PLAN KEY

- 1

CONNECT TO EXISTING WATER MAIN. COORDINATE INSTALLATION WITH MADISON WATER UTILITY
- 2

8" WATER SERVICE, VERIFY SIZE WITH ARCHITECT
- 3

6" WATER SERVICE, VERIFY SIZE WITH ARCHITECT
- 4

8" SANITARY LATERAL 70 FT @ 3.0% SLOPE
- 5

8" SANITARY INV=845.1 EXTEND 5 FEET INTO BUILDING
- 6

6" SANITARY LATERAL 55 FT @ 2% SLOPE
- 7

6" SANITARY LATERAL 76 FT @ 2% SLOPE
- 8

6" SANITARY INV=845.1 EXTEND 5 FEET INTO BUILDING
- 9

CONNECT TO ROOF DOWNSPOUT
- 10

EXISTING 6" SANITARY SERVICE
- 11

CONNECTION TO EXISTING MANHOLE TO BE INSTALLED WITH A CORED HOLE AND BOOT
- 12

UTILITY PATCH PER CITY REQUIREMENTS
- 13

CONNECT TO EXISTING SANITARY SEWER MAIN
- 14

RELOCATE EXISTING TELEPHONE LINE. CONTRACTOR SHALL COORDINATE WITH TELEPHONE UTILITY
- 15

RELOCATE EXISTING OVERHEAD ELECTRIC. CONTRACTOR SHALL COORDINATE WITH ELECTRIC UTILITY
- 16

REMOVE EXISTING 8" STORM SEWER
- 17

CONNECT TO 24" PIPE WITH CORE AND SEAL BOOT PER CITY STANDARDS
- 18

RIGHT-OF-WAY GRANT TO MADISON GAS AND ELECTRIC COMPANY RECORDED FEBRUARY 2, 1987 IN VOLUME 9474 OF RECORDS, PAGE 85 AS DOCUMENT NO. 1994731. (10' WIDE UNDERGROUND ELECTRIC EASEMENT, LOT 8-9, BLOCK 133). (10' X 10' UNDERGROUND ELECTRIC EASEMENT, LOT 10, BLOCK 133)

THE "CONSTELLATION"  
UTILITY PLAN

MADISON, WISCONSIN

C300

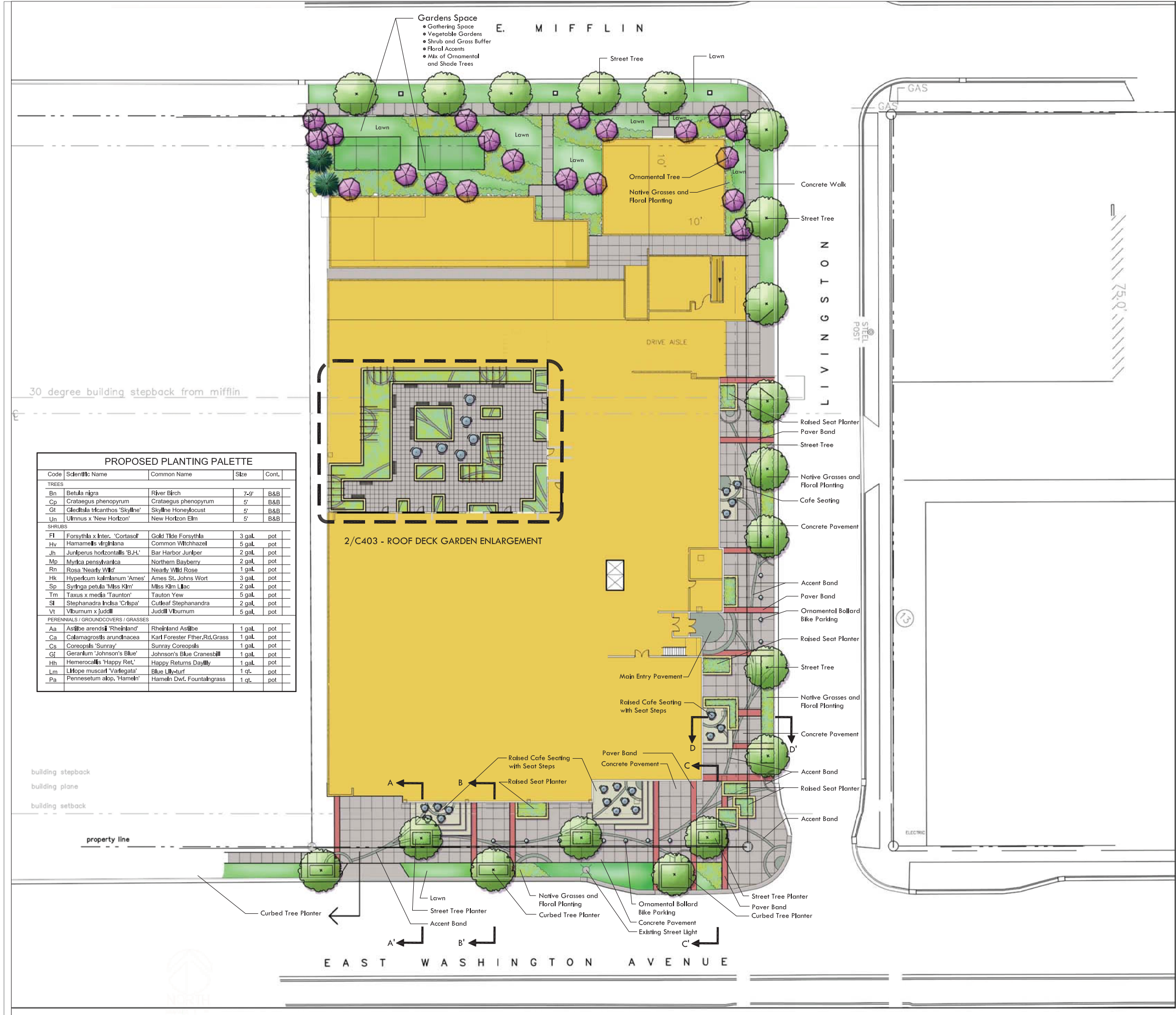
818 N Meadowbrook Ln  
Waunakee, WI 53597  
phone (608) 849-9378  
fax (608) 237-2129

PROFESSIONAL  
ENGINEERING  
LLC

DATE  
1-29-12

ISSUANCE/REVISION  
BID SET





PROPOSED PLANTING PALETTE				
Code	Scientific Name	Common Name	Size	Cont.
TREES				
Bn	Betula nigra	River Birch	7-9'	B&B
Cp	Crataegus phenopyrum	Crataegus phenopyrum	5'	B&B
Gt	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	5'	B&B
Un	Ulmus x 'New Horizon'	New Horizon Elm	5'	B&B
SHRUBS				
Fl	Forsythia x Inter, 'Cortasol'	Gold Tike Forsythia	3 gal.	pot
Hv	Hamamelis virginiana	Common Witchhazel	5 gal.	pot
Jh	Juniperus horizontalis 'B.H.'	Bar Harbor Juniper	2 gal.	pot
Mp	Myrica pensylvanica	Northern Bayberry	2 gal.	pot
Rn	Rosa 'Nearly Wild'	Nearly Wild Rose	1 gal.	pot
Hk	Hypericum kalmanum 'Ames'	Ames St. Johns Wort	3 gal.	pot
Sp	Syringa petula 'Miss Kim'	Miss Kim Lilac	2 gal.	pot
Tm	Taxus x media 'Taunton'	Taunton Yew	5 gal.	pot
Sl	Stephanandra incisa 'Crispa'	Cutleaf Stephanandra	2 gal.	pot
Vt	Viburnum x Juddii	Juddii Viburnum	5 gal.	pot
PERENNIALS / GROUNDCOVERS / GRASSES				
Aa	Astilbe arendsii 'Rheinland'	Rheinland Astilbe	1 gal.	pot
Ca	Calamagrostis arundinacea	Karl Forester Fiber Rd. Grass	1 gal.	pot
Cs	Coreopsis 'Sunray'	Sunray Coreopsis	1 gal.	pot
Gj	Geranium 'Johnson's Blue'	Johnson's Blue Cranesbill	1 gal.	pot
Hh	Hemerocallis 'Happy Return'	Happy Returns Daylily	1 gal.	pot
Lm	Lilope muscarif 'Variegata'	Blue Lily-turf	1 qt.	pot
Pa	Pennisetum alopecuroides 'Hameln'	Hameln Dwarf Fountaingrass	1 qt.	pot

GENERAL NOTES

DRAWING NOTES

CODE NOTES

DATE	DESCRIPTION
09.19.11	PRELIMINARY REVIEW SET
11.03.11	DAT REVIEW SET
11.11.11	INFORMATIONAL UDC SET
01.24.12	UDC INITIAL SUBMITTAL

UDC INITIAL SUBMITTAL  
NOT FOR CONSTRUCTION

DATE

02.01.12

THE "CONSTELLATION"  
700 N. EAST WASHINGTON, Madison, WI

STREETSCAPE AND LANDSCAPE PLAN

C401



## GENERAL NOTES

## D R A W I N G   N O T E S

## CODE NOTES

[illegible]

U D C INITIAL SUBMITTAL  
NOT FOR CONSTRUCTION



DATE  
1.25.12

THE "CONSTELLATION"  
700 N. EAST WASHINGTON, Madison, Wi

## ENLARGEMENT AND SECTIONS

C403



Suggested Brick wall pier (about 4' tall) with integral recessed LED lights to light the walkway.

L8

Catenary lighting to provide Area Lighting in the Courtyard

L9

Graphic on the Parking Facade

L10

Retail Signage (By Others)

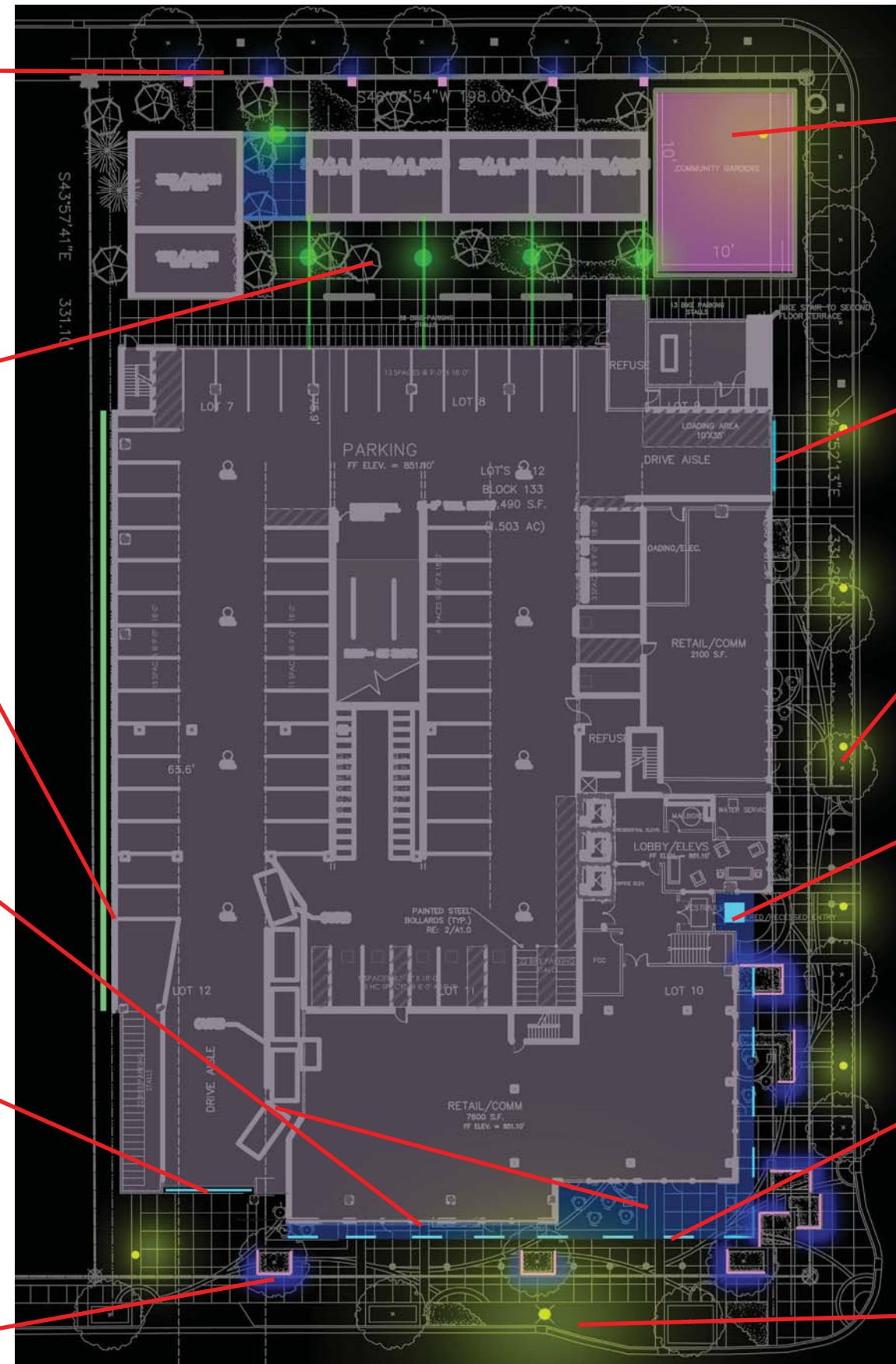
L11

Linear LED wash at the Garage Door

L4

Low Level linear LED lighting integral with planter bed to wash the pavement.

L3



L7

Low Level Landscape Lighting accompanied with one decorative Pole Light for ambient lighting

L4

Linear LED wash at the Garage Door

L6

Array of Pedestrian scale (12' tall) Pole-Lights with luminous qualities along the Livingston

L5

Canopy Recessed lights with luminous qualities to highlight Office Entrance

L2

Canopy Recessed Linear Fluorescent lights with luminous qualities along the edge of the canopy to enhance the Retail Front and also provide adequate lighting at the store-front.

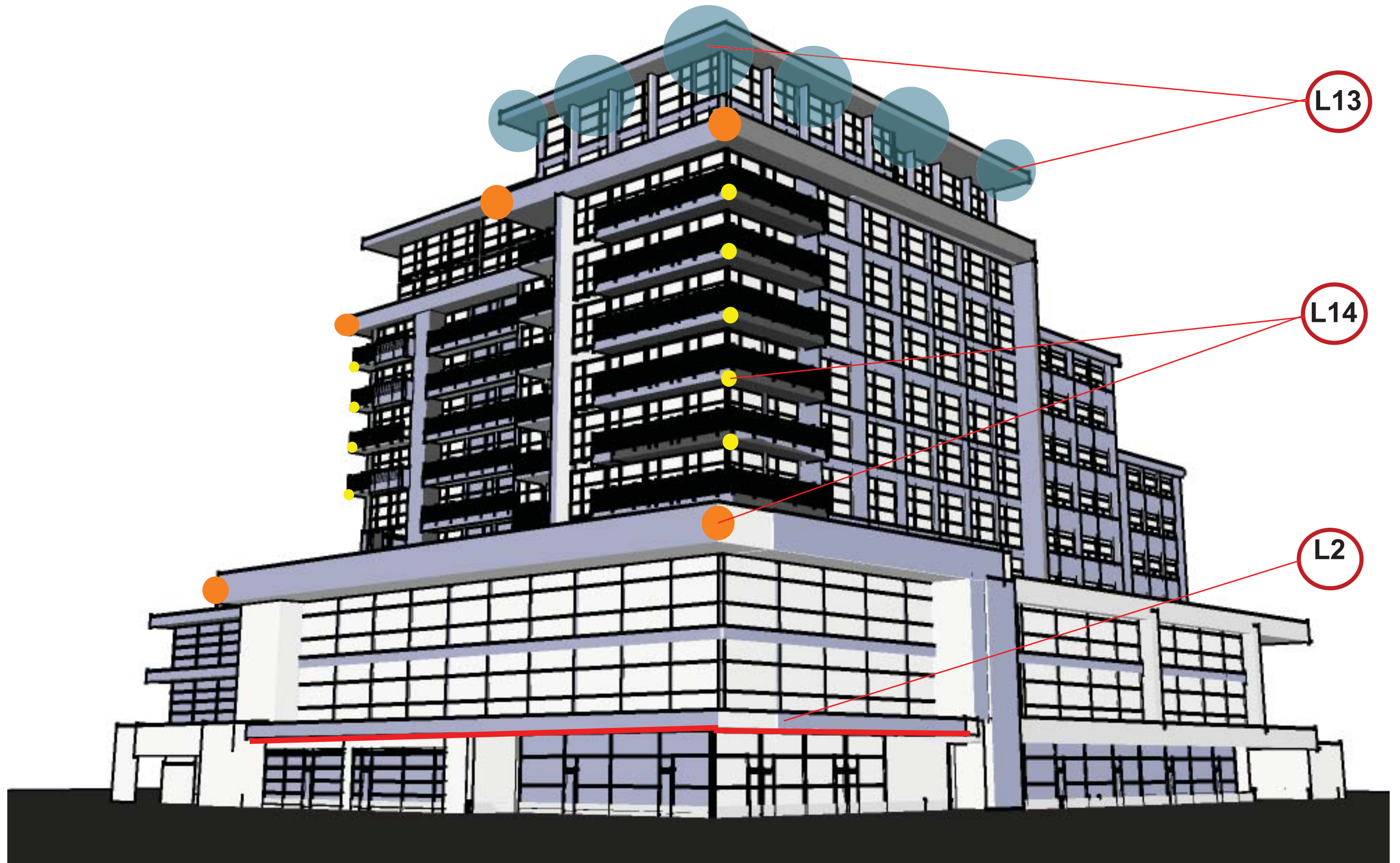
L1

Existing Street Pole to Remain





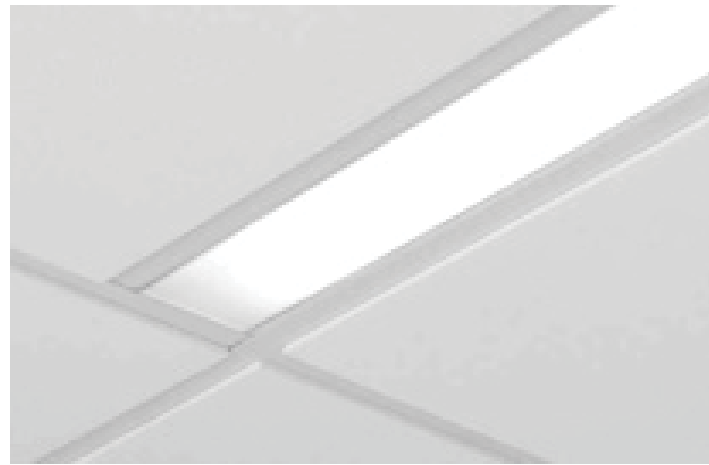
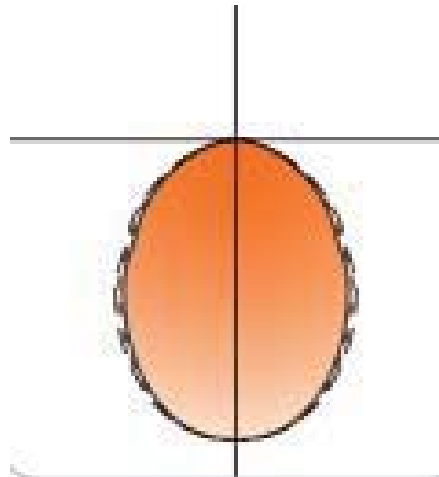

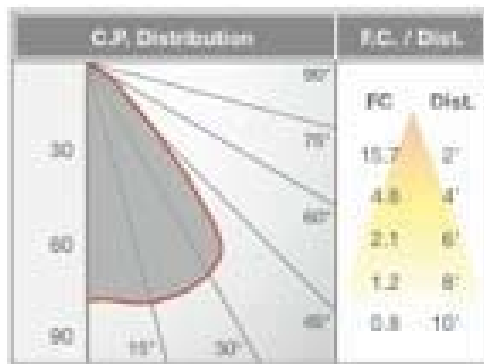
Low Level Landscape Lighting  
integral with Planter-beds, ac-  
companied with tree mounted  
low-wattage LED uplights for  
selected Trees






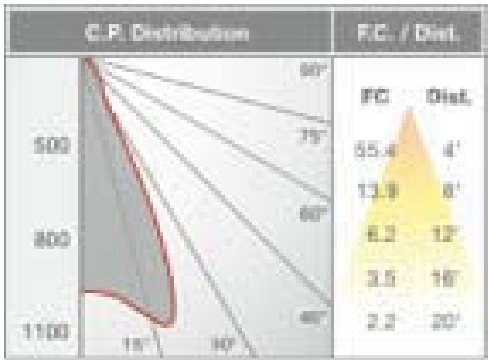

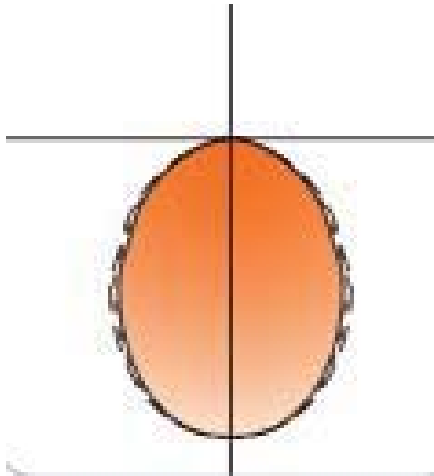


Preliminary Lighting Fixture Schedule


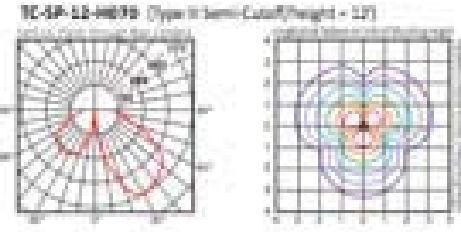

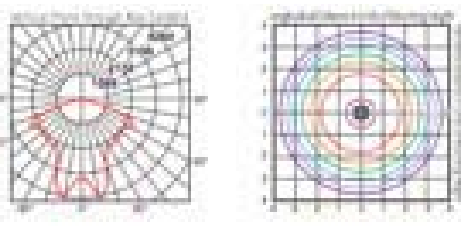
Luminaire Designation and Description with Lighting Emphasis Design Intent Notation	Generic Luminaire Image (Actual Luminaire To Be Determined in Design Development Phase)	Restricted Photometric Distribution Pattern or Specific Requirements																												
<b>L1</b> - Existing Standard Street Lighting Pole to Remain - City Maintained and Operated	Standard City of Madison Cut-Off Street Lighting Luminaire	Standard City of Madison Cut-Off Luminaire																												
<b>L2</b> - Narrow Linear Recessed Fluorescent Fitted with Cold Weather Ballasts T8 Lamps and Mounted in the Soffit to Accent Building Perimeter and Adjacent Walkway Areas.																														
<b>L3</b> - Low Level Linear LED Integral to Planter Form and Directed Downward to Illuminate Surrounding Pavement. Minimum IP 65 Rating.		 <table><tr><th colspan="2">C.P. Distribution</th><th colspan="2">F.C. / Dist.</th></tr><tr><th>Beam Spread</th><th>Distance</th><th>FC</th><th>Dist.</th></tr><tr><td>15.7°</td><td>2'</td><td>15.7</td><td>2'</td></tr><tr><td>4.8°</td><td>4'</td><td>4.8</td><td>4'</td></tr><tr><td>2.1°</td><td>6'</td><td>2.1</td><td>6'</td></tr><tr><td>1.2°</td><td>8'</td><td>1.2</td><td>8'</td></tr><tr><td>0.8°</td><td>10'</td><td>0.8</td><td>10'</td></tr></table>	C.P. Distribution		F.C. / Dist.		Beam Spread	Distance	FC	Dist.	15.7°	2'	15.7	2'	4.8°	4'	4.8	4'	2.1°	6'	2.1	6'	1.2°	8'	1.2	8'	0.8°	10'	0.8	10'
C.P. Distribution		F.C. / Dist.																												
Beam Spread	Distance	FC	Dist.																											
15.7°	2'	15.7	2'																											
4.8°	4'	4.8	4'																											
2.1°	6'	2.1	6'																											
1.2°	8'	1.2	8'																											
0.8°	10'	0.8	10'																											



## Preliminary Lighting Fixture Schedule


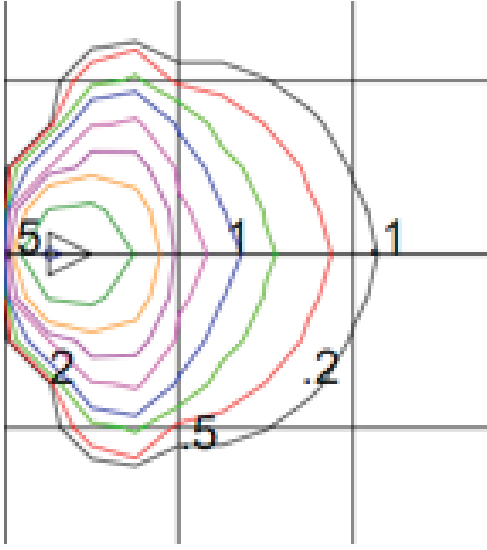

Luminaire Designation and Description with Lighting Emphasis Design Intent Notation	Generic Luminaire Image (Actual Luminaire To Be Determined in Design Development Phase)	Restricted Photometric Distribution Pattern or Specific Requirements												
<p><b>L4</b> - Continuous Linear LED Downlight Wash for Parking Garage Entrance with Minimum IP 65 Rating. Luminaire to be provided with a Brushed Aluminum Finish and Remote Power Supplies as Required per Length.</p>		 <table><thead><tr><th>FC</th><th>Dist.</th></tr></thead><tbody><tr><td>65.4</td><td>4'</td></tr><tr><td>13.9</td><td>8'</td></tr><tr><td>6.2</td><td>12'</td></tr><tr><td>3.5</td><td>16'</td></tr><tr><td>2.2</td><td>20'</td></tr></tbody></table>	FC	Dist.	65.4	4'	13.9	8'	6.2	12'	3.5	16'	2.2	20'
FC	Dist.													
65.4	4'													
13.9	8'													
6.2	12'													
3.5	16'													
2.2	20'													
<p><b>L5</b> - Luminous Canopy Mounted Luminaire Array to Accentuate the Entrance to the Offices and Apartments. Luminaire to be Custom Fitted with LED Technology for Appropriate Cold Weather Operation and Minimum IP 65 Rating.</p>														

## Preliminary Lighting Fixture Schedule

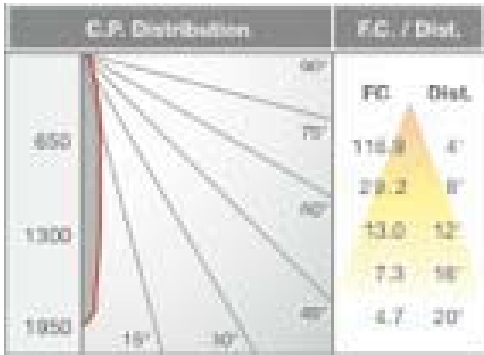

Luminaire Designation and Description with Lighting Emphasis Design Intent Notation	Generic Luminaire Image (Actual Luminaire To Be Determined in Design Development Phase)	Restricted Photometric Distribution Pattern or Specific Requirements
<p><b>L6</b> - Pedestrian Scale Poles with Cut-Off Optics to Direct Low Level Lighting on the Pavement. Pole and Luminaire to be Finished in Brushed Aluminum with Low Wattage Metal Halide Light Source.</p>		
<p><b>L7</b> - Larger Scale Pole and Full Cut-Off Luminaire to Provide a General Ambient Light for the Landscaped "Park" Area on the Northeast Corner of the Property. Pole and Luminaire to be Finished in Brushed Aluminum with Metal Halide Light Source.</p>		



## Preliminary Lighting Fixture Schedule

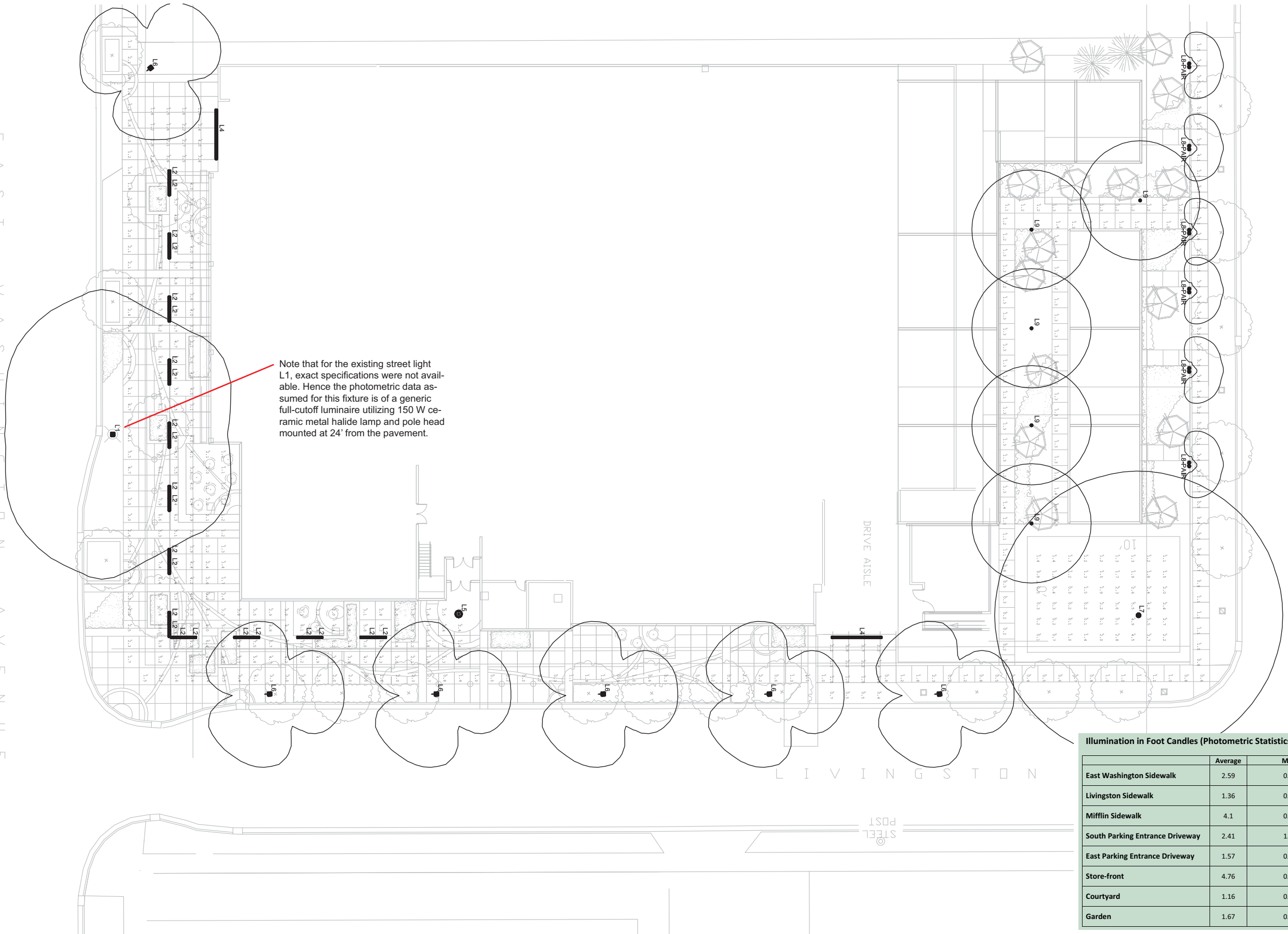
Luminaire Designation and Description with Lighting Emphasis Design Intent Notation	Generic Luminaire Image (Actual Luminaire To Be Determined in Design Development Phase)	Restricted Photometric Distribution Pattern or Specific Requirements
<p><b>L8</b> - Low Level Walkway Wash Luminaire Embedded Within a Triangular Concrete Pedestal (Concrete) as Designed and Furnished by Bark Design</p>		
<p><b>L9</b> - Cable Suspended (Catenary) MH or LED Luminaire to be Strung Between Building Structures to Provide Adequate Illumination and Landscape Accent. Luminaire to be Finished in Brushed Aluminum with Full Cut-Off Optics to Eliminate Light Trespass into Apartments.</p>		<p>Full Cut-Off Optics with either MH or LED to be determined with exact luminaire and light source selected during design development phase.</p>

## Preliminary Lighting Fixture Schedule

Luminaire Designation and Description with Lighting Emphasis Design Intent Notation	Generic Luminaire Image (Actual Luminaire To Be Determined in Design Development Phase)	Restricted Photometric Distribution Pattern or Specific Requirements																												
<p><b>L10</b> - Linear LED Illuminated Art Screen for the West Facade of the Parking Garage. As a Concept we are suggesting angled planes of wire or fabric mesh to filter daylight, retain electric lighting exitance at night and provide partial screening for the parking area proper. The LED Luminaires are Strategically Placed to Provide an Interplay of Light on the Angled Mesh Surfaces. Two different Color Temperature LED Luminaires are Recommended to add Variation and Pattern</p>		 <table><thead><tr><th colspan="2">C.P. Distribution</th><th colspan="2">FC / Dist.</th></tr><tr><th>FC</th><th>Dist.</th><th>FC</th><th>Dist.</th></tr></thead><tbody><tr><td>115.0</td><td>4'</td><td>115.0</td><td>4'</td></tr><tr><td>29.3</td><td>8'</td><td>29.3</td><td>8'</td></tr><tr><td>13.0</td><td>12'</td><td>13.0</td><td>12'</td></tr><tr><td>7.3</td><td>16'</td><td>7.3</td><td>16'</td></tr><tr><td>4.7</td><td>20'</td><td>4.7</td><td>20'</td></tr></tbody></table>	C.P. Distribution		FC / Dist.		FC	Dist.	FC	Dist.	115.0	4'	115.0	4'	29.3	8'	29.3	8'	13.0	12'	13.0	12'	7.3	16'	7.3	16'	4.7	20'	4.7	20'
C.P. Distribution		FC / Dist.																												
FC	Dist.	FC	Dist.																											
115.0	4'	115.0	4'																											
29.3	8'	29.3	8'																											
13.0	12'	13.0	12'																											
7.3	16'	7.3	16'																											
4.7	20'	4.7	20'																											
<p><b>L11</b> - Retail Self-Illuminated Signage by Others and Not a Part of This Contract Unless Directed Otherwise</p>	Unavailable at UDC Submittal Time	Not Applicable																												
<p><b>L12</b> - Low Level LED Landscape Lighting to Accent the Foliage of the Planters in Addition to L3 Mentioned Above. Tree Mounted Luminaires are Recommended to Minimize Stray Light and Effectively Accentuate the Roof Terrace Ambiance.</p>		Light Distribution Determined by Foliage Illuminated and Louver/Lenses used to Focus and Pattern Light Beams.																												



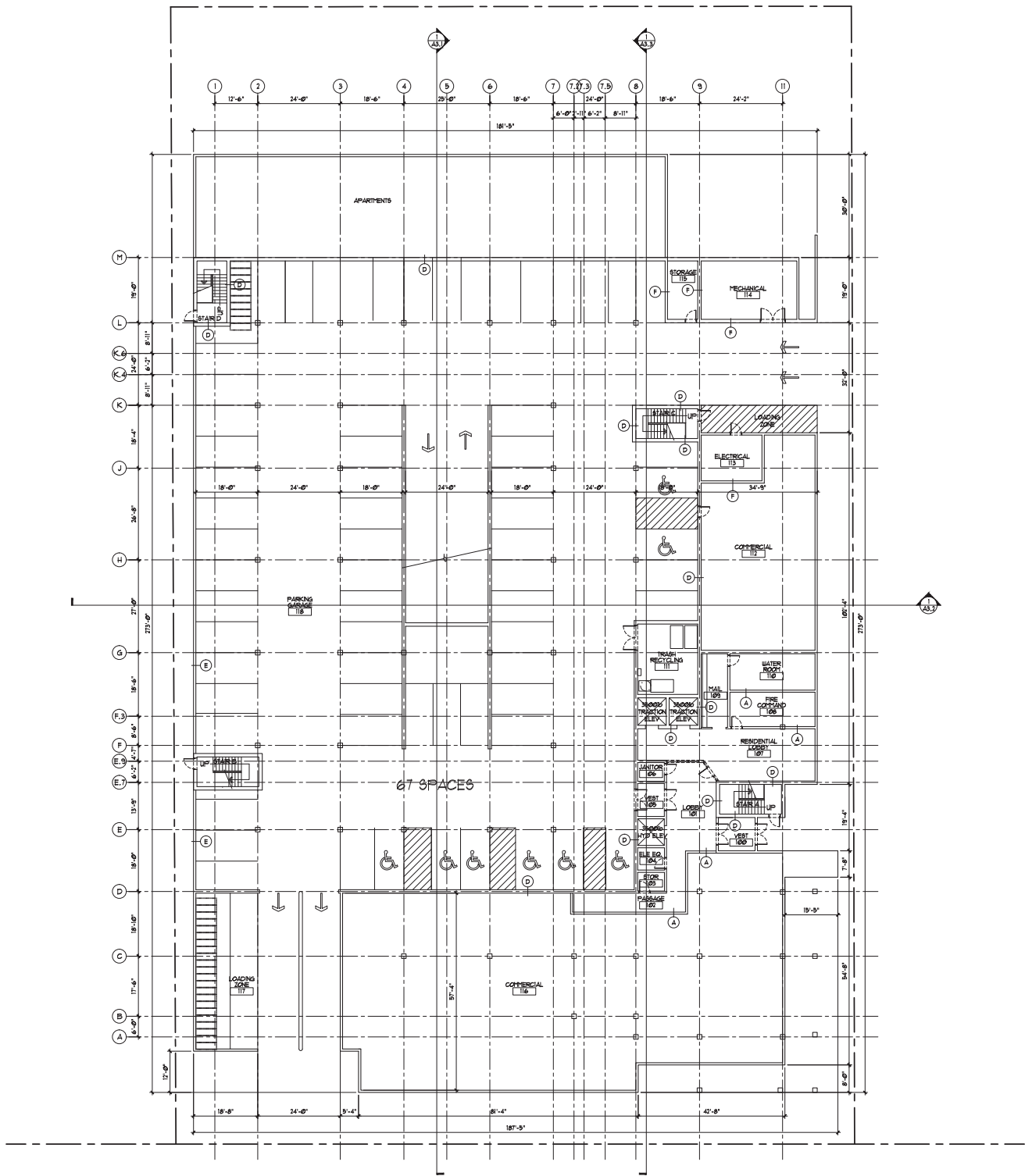
E A S T W A S H I N G T O N A V E N U E



Note that for the existing street light L1, exact specifications were not available. Hence the photometric data assumed for this fixture is of a generic full-cutoff luminaire utilizing 150 W ceramic metal halide lamp and pole head mounted at 24' from the pavement.

Illumination in Foot Candles (Photometric Statistics)			
	Average	Min	Uniformity (Avg:Min)
East Washington Sidewalk	2.59	0.4	6.48
Livingston Sidewalk	1.36	0.2	6.80
Mifflin Sidewalk	4.1	0.2	8.90
South Parking Entrance Driveway	2.41	1.2	2.01
East Parking Entrance Driveway	1.57	0.4	3.93
Store-front	4.76	0.8	5.95
Courtyard	1.16	0.2	5.80
Garden	1.67	0.1	16.70

E, M I F F L I N



First Floor Plan

SCALE: 1/8" = 1'-0"

## GENERAL NOTES

## DRAWING NOTES

DATE	DESCRIPTION
09.19.11	PRELIMINARY REVIEW SET
11.03.11	DAT REVIEW SET
11.11.11	INFORMATIONAL UDC
12.07.11	PROGRESS SET
12.14.11	PLAN COMMISSION SUBMITTAL

ARCHITECT

STRUCTURAL ENGINEER

## PROGRESS DRAWINGS

**bark**  
DESIGN

**G. GEBHARDT**  
DEVELOPMENT

WWW.BARK-DESIGN.COM  
STUDIO@BARK-DESIGN.COM  
608.333.1926

DATE

01.18.12

NORTH

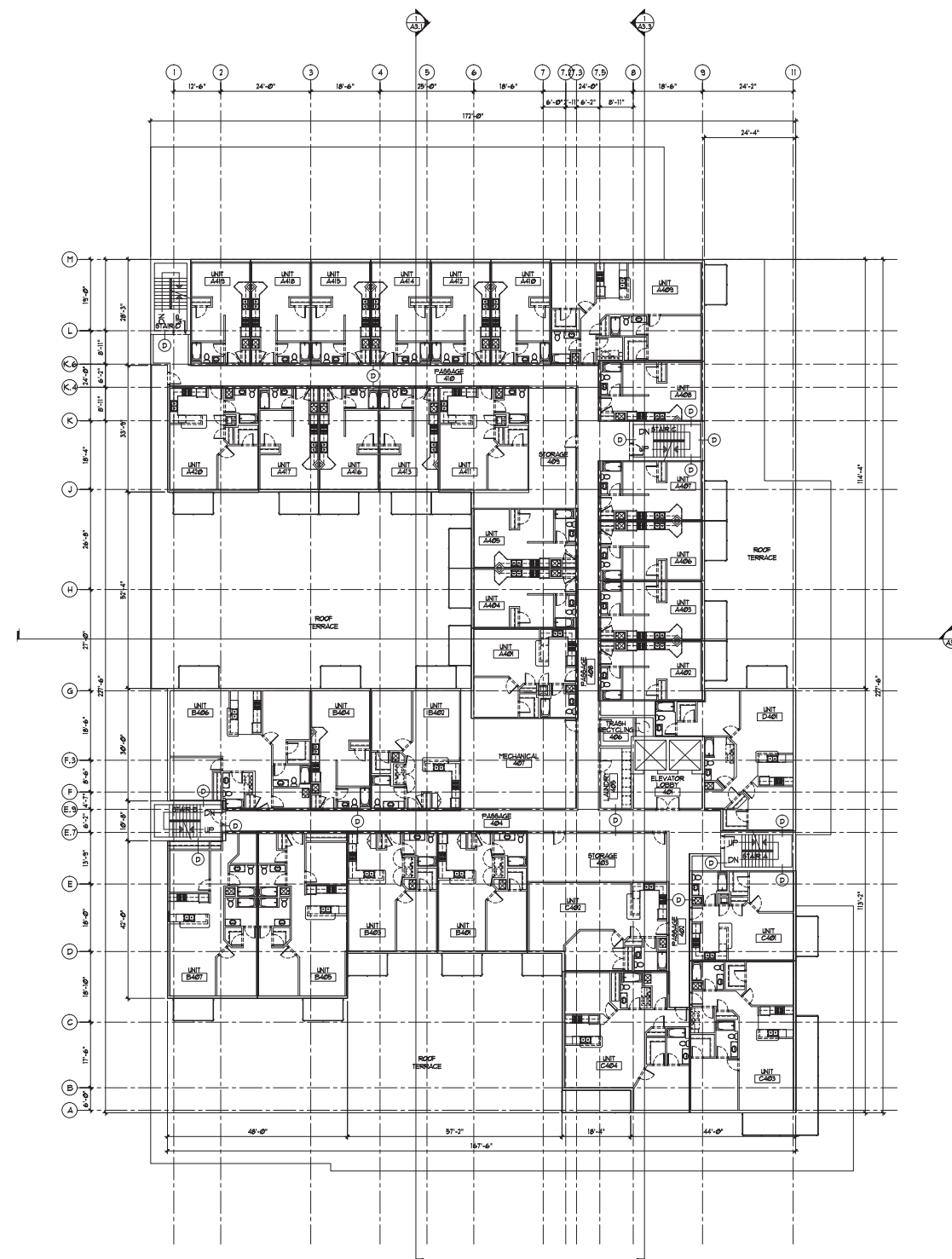
THE "CONSTELLATION"  
748 EAST MIFFLIN STREET, 754 EAST WASHINGTON AVENUE  
MADISON, WI

A1.01









GENERAL NOTES

D R A W I N G   N O T E S

[illegible]

ARCHITECT

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## PROGRESS DRAWINGS



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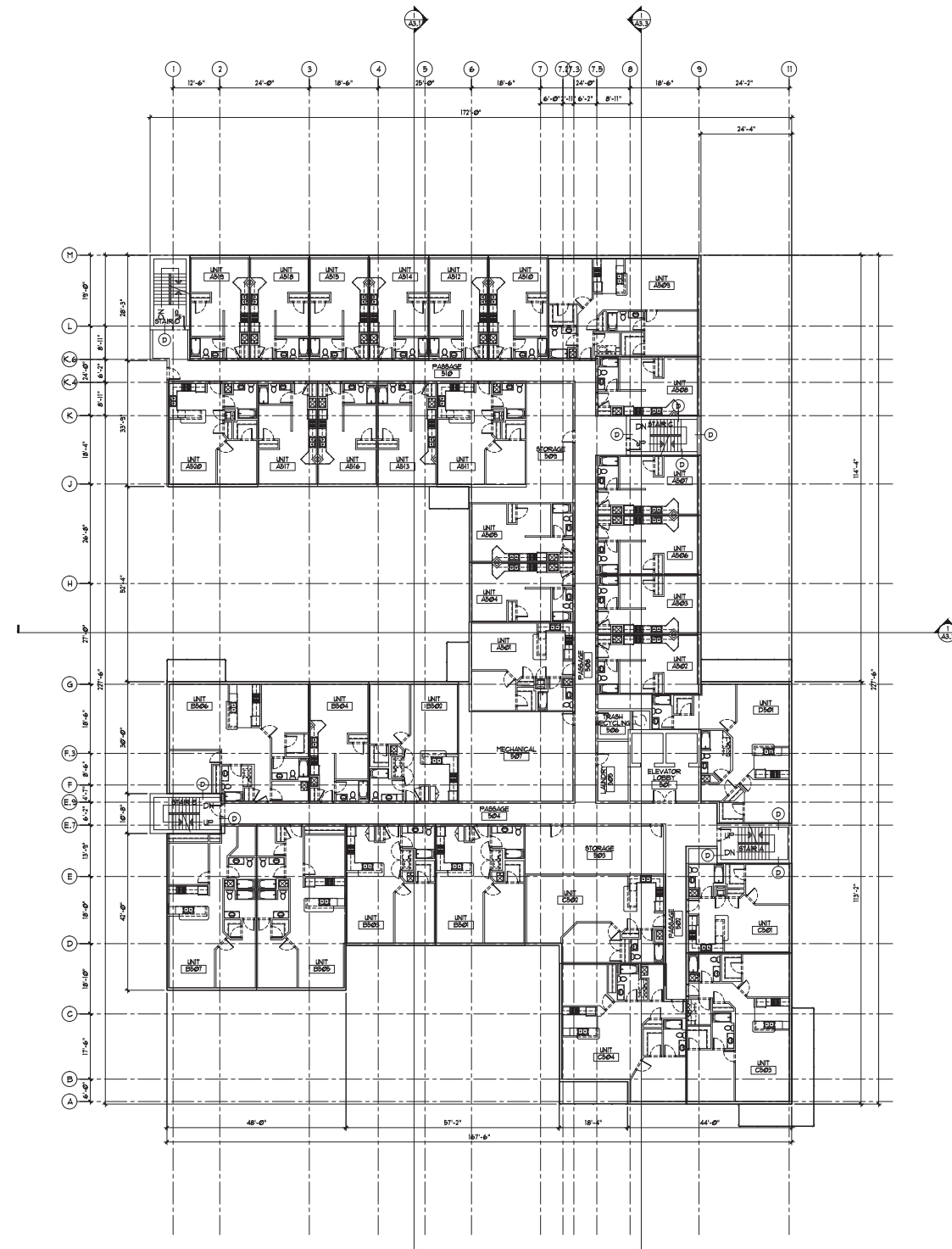
NORTH

**THE "CONSTELLATION"**  
741 EAST MIFFLIN STREET, 754 EAST WASHINGTON AVENUE  
MADISON, WI

## A1.04







NORTH

### Fifth Floor Plan

SCALE: 1/8" = 1'-0"

## GENERAL NOTES

## D R A W I N G   N O T E S

[illegible]

## PROGRESS DRAWINGS

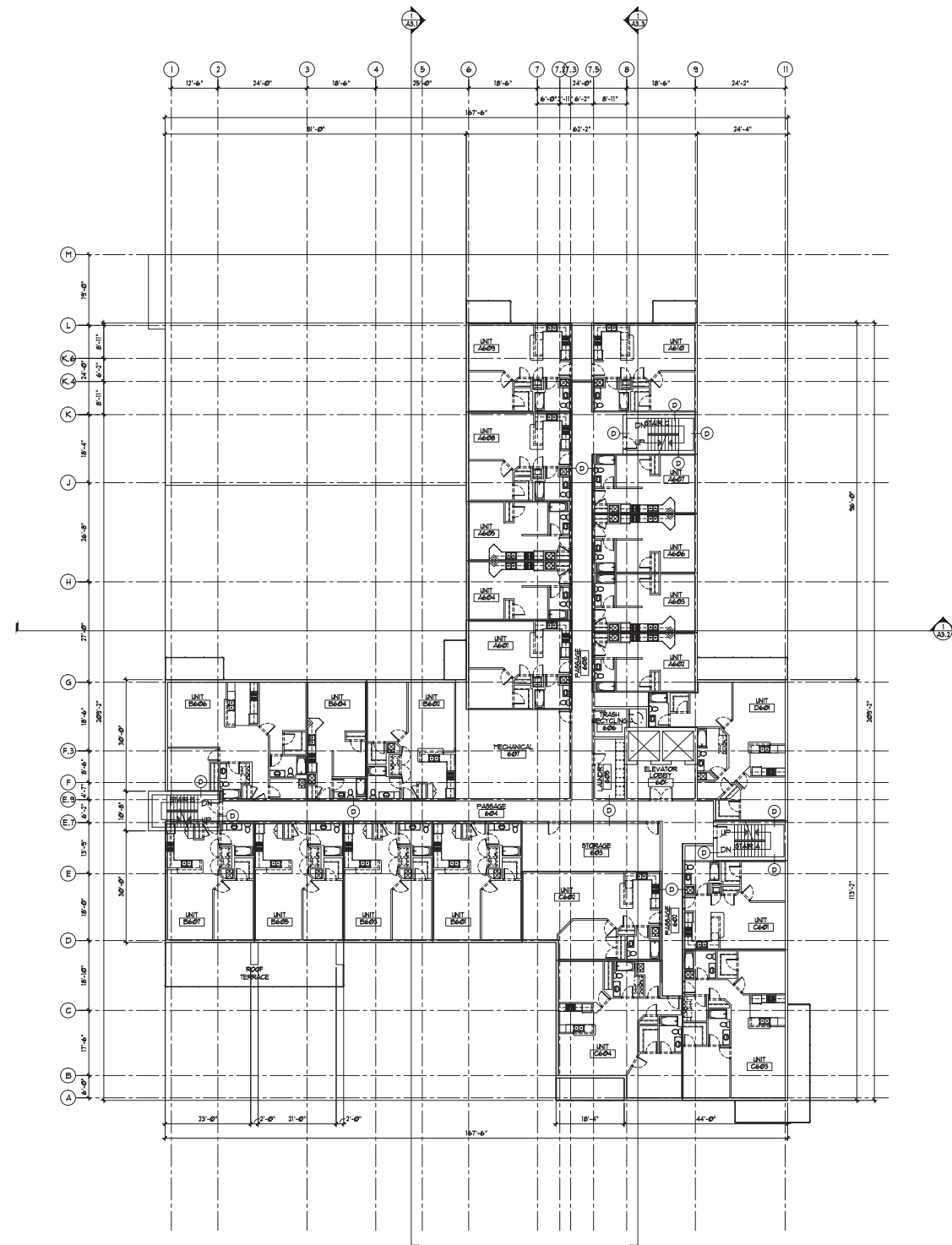


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01.18.12

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MADISON, WI

## A1.05



Sixth Floor Plan

SCALE: 1/16" = 1'-0"

## GENERAL NOTES

## D R A W I N G   N O T E S

[illegible]

## PROGRESS DRAWINGS

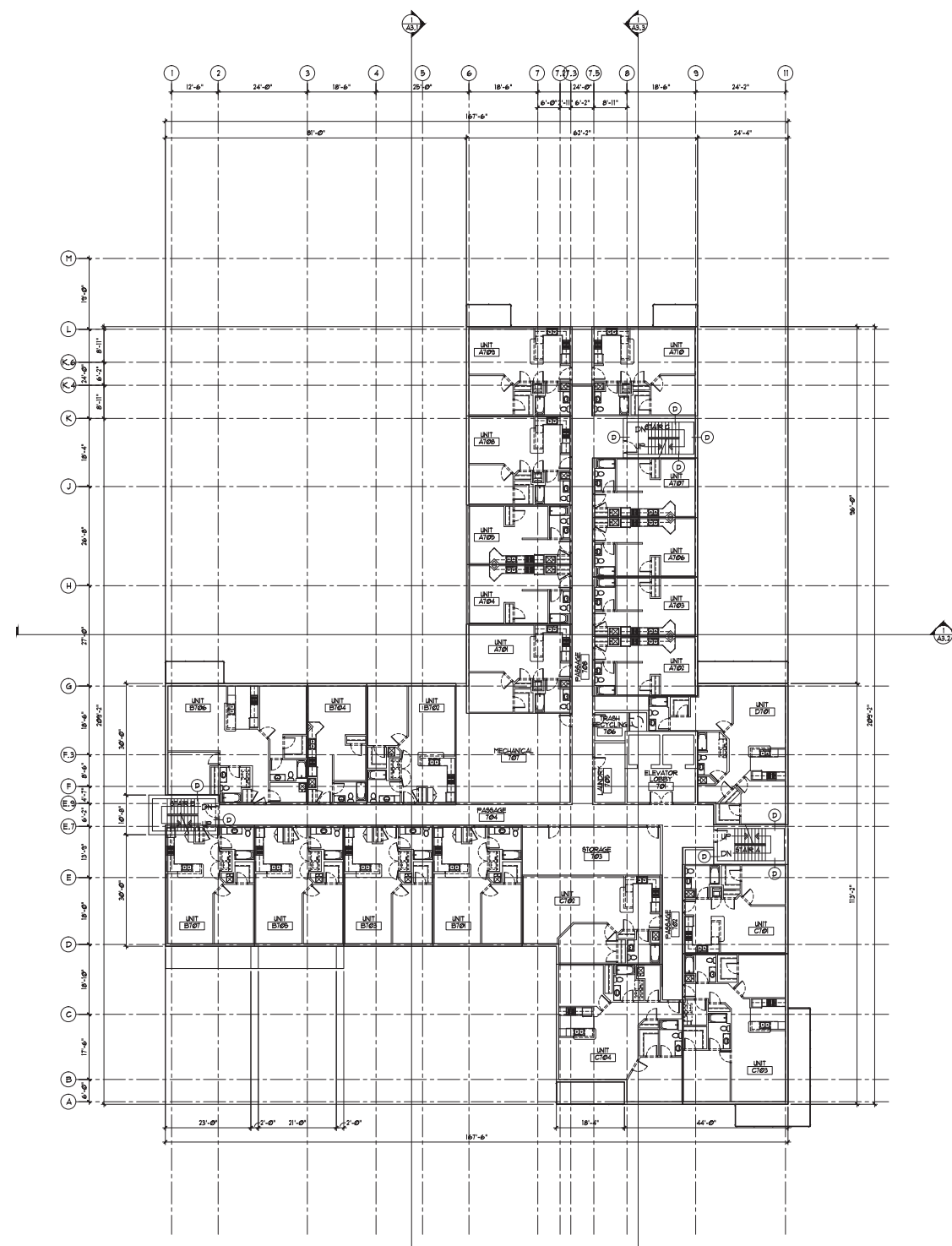


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MADISON, WI

# A1.06



NORTH

Seventh Floor Plan

SCALE: 1/16" = 1'-0"

## GENERAL NOTES

## D R A W I N G   N O T E S

[illegible]

## PROGRESS DRAWINGS



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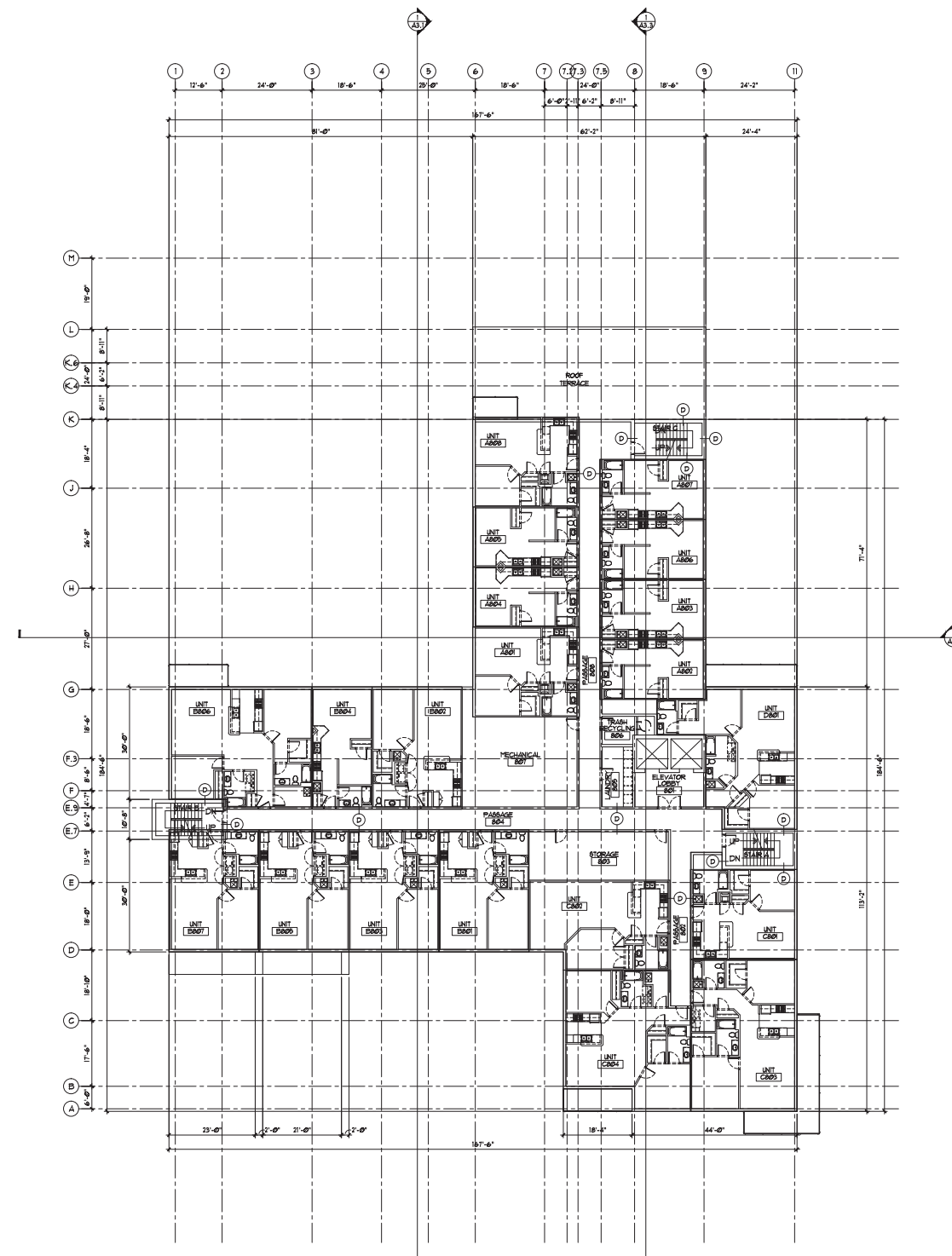
DATE  
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NORTH

THE "CONSTELLATION"  
741 EAST MIFFLIN STREET, 754 EAST WASHINGTON AVENUE  
MADISON, WI

# A1.07





ARCHITECT STRUCTURAL ENGINEER

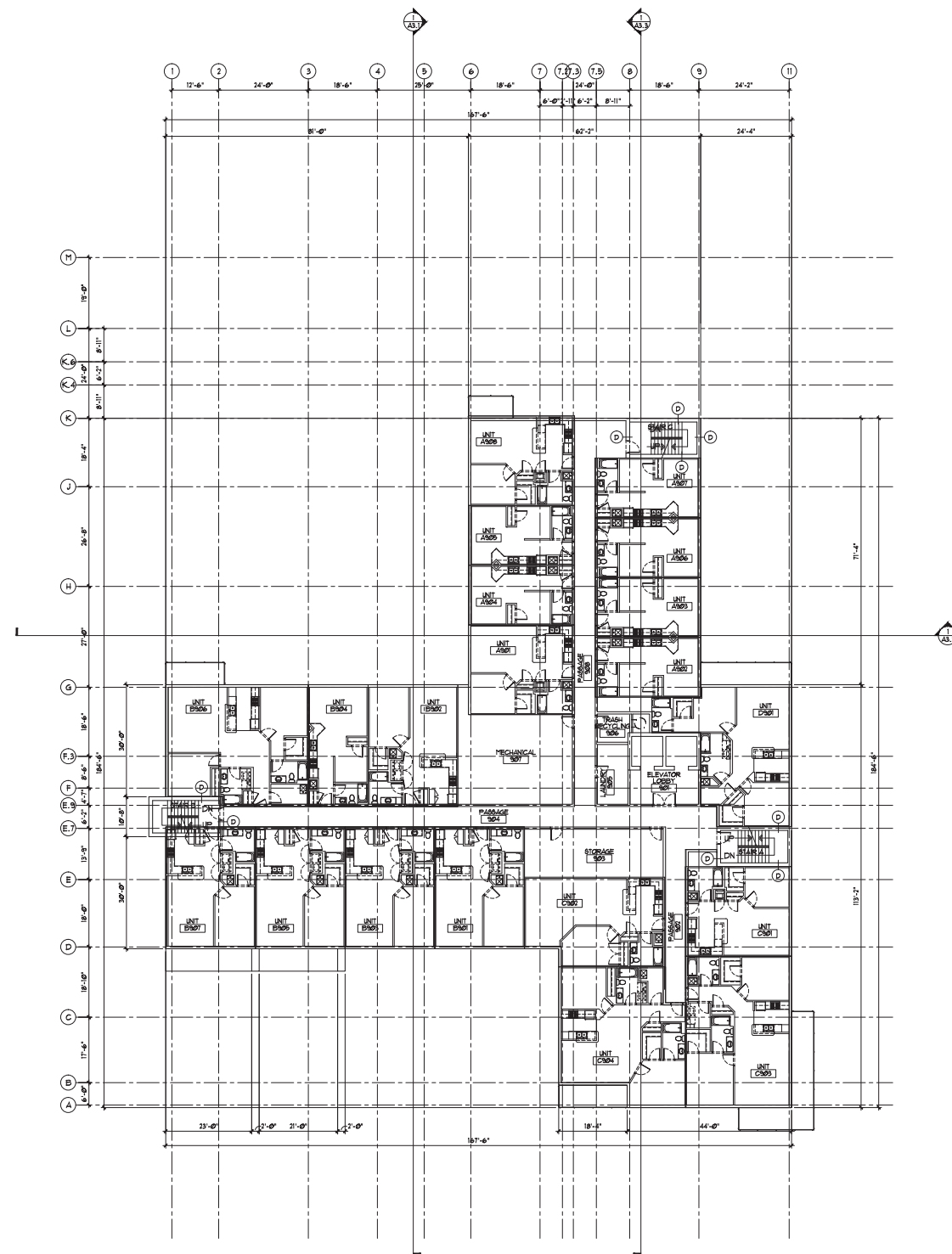
## PROGRESS DRAWINGS

**bark**  
DESIGN

 **GEBHARDT**  
DEVELOPMENT

**THE "CONSTELLATION"**  
741 EAST MIFFLIN STREET, 754 EAST WASHINGTON AVENUE  
MADISON, WI

# A1.08



NORTH

Ninth Floor Plan

SCALE: 1/16" = 1'-0"

ARCHITECT

STRUCTURAL ENGINEER

## PROGRESS DRAWINGS



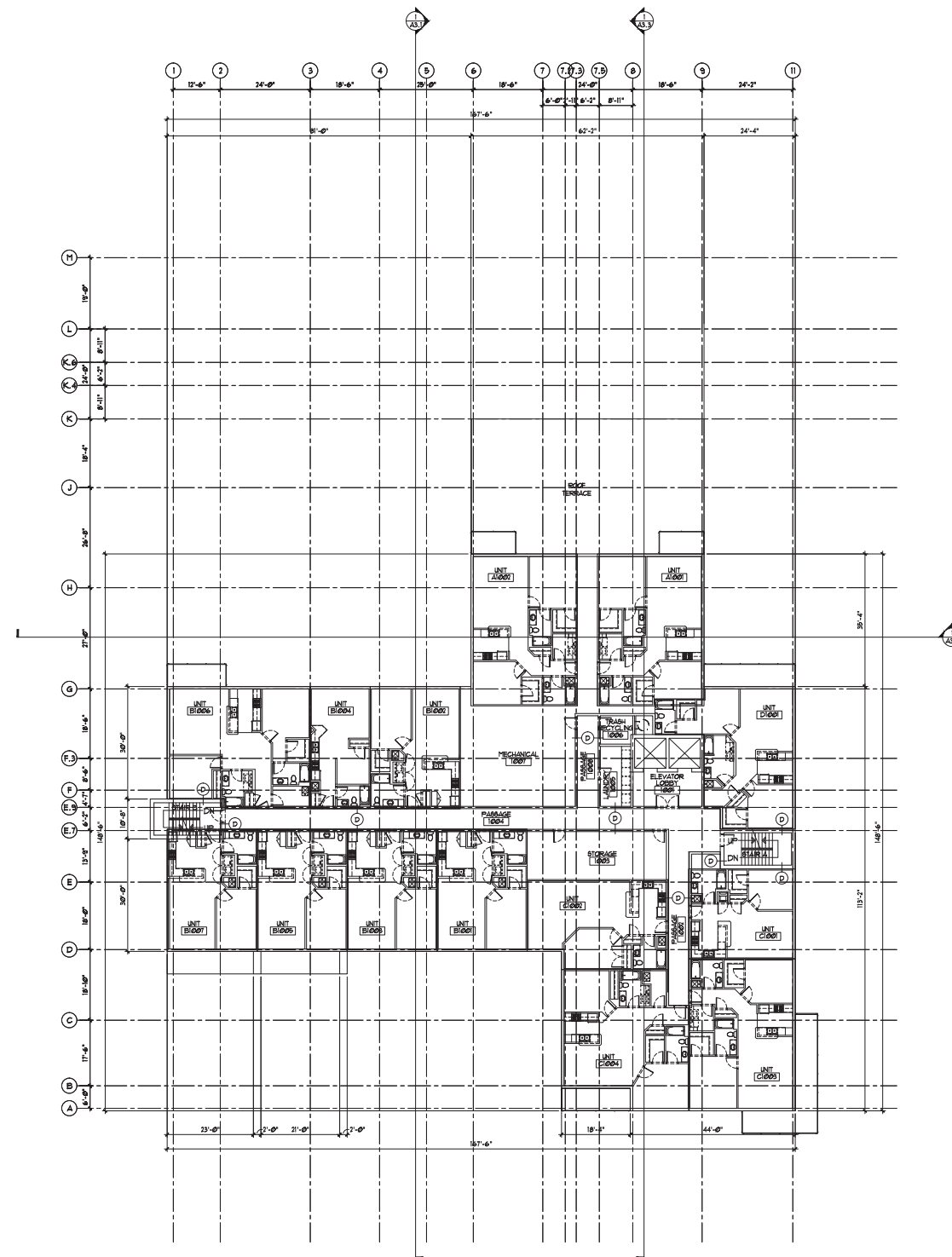
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01.18.12

NORTH

**THE "CONSTELLATION"**  
741 EAST MIFFLIN STREET, 754 EAST WASHINGTON AVENUE  
MADISON, WI

# A1.09



NORTH

Tenth Floor Plan

SCALE: 1/6" = 1'-0"

## GENERAL NOTES

### DRAWING NOTES

[illegible]

## PROGRESS DRAWINGS



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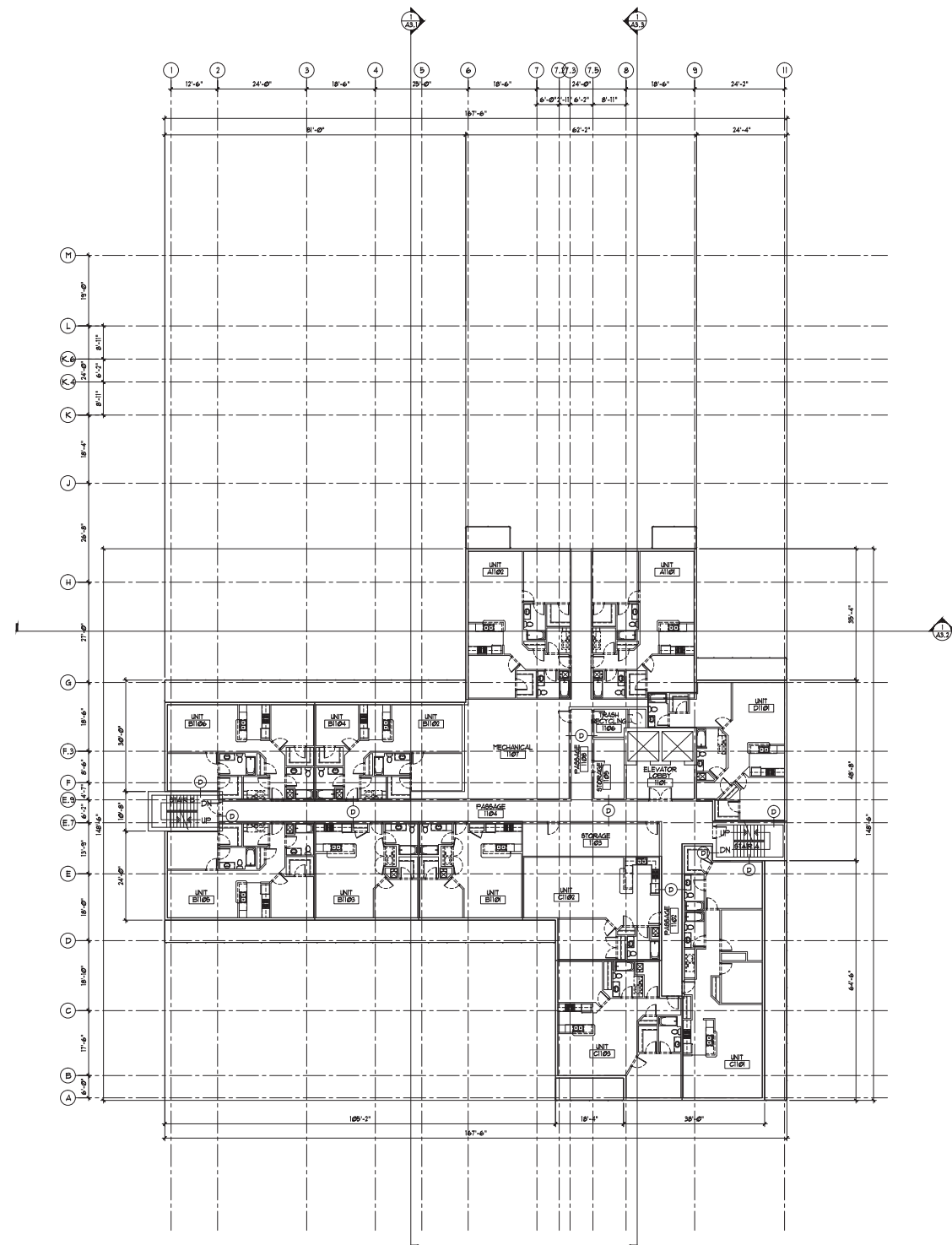
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01.18.12

NORTH

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741 EAST MIFFLIN STREET, 754 EAST WASHINGTON AVENUE  
MADISON, WI

## A1.10





NORTH

Eleventh Floor Plan

SCALE: 1/6" = 1'-0"

## GENERAL NOTES

## D R A W I N G   N O T E S

[illegible]

ARCHITECT

STRUCTURAL ENGINEER

## PROGRESS DRAWINGS



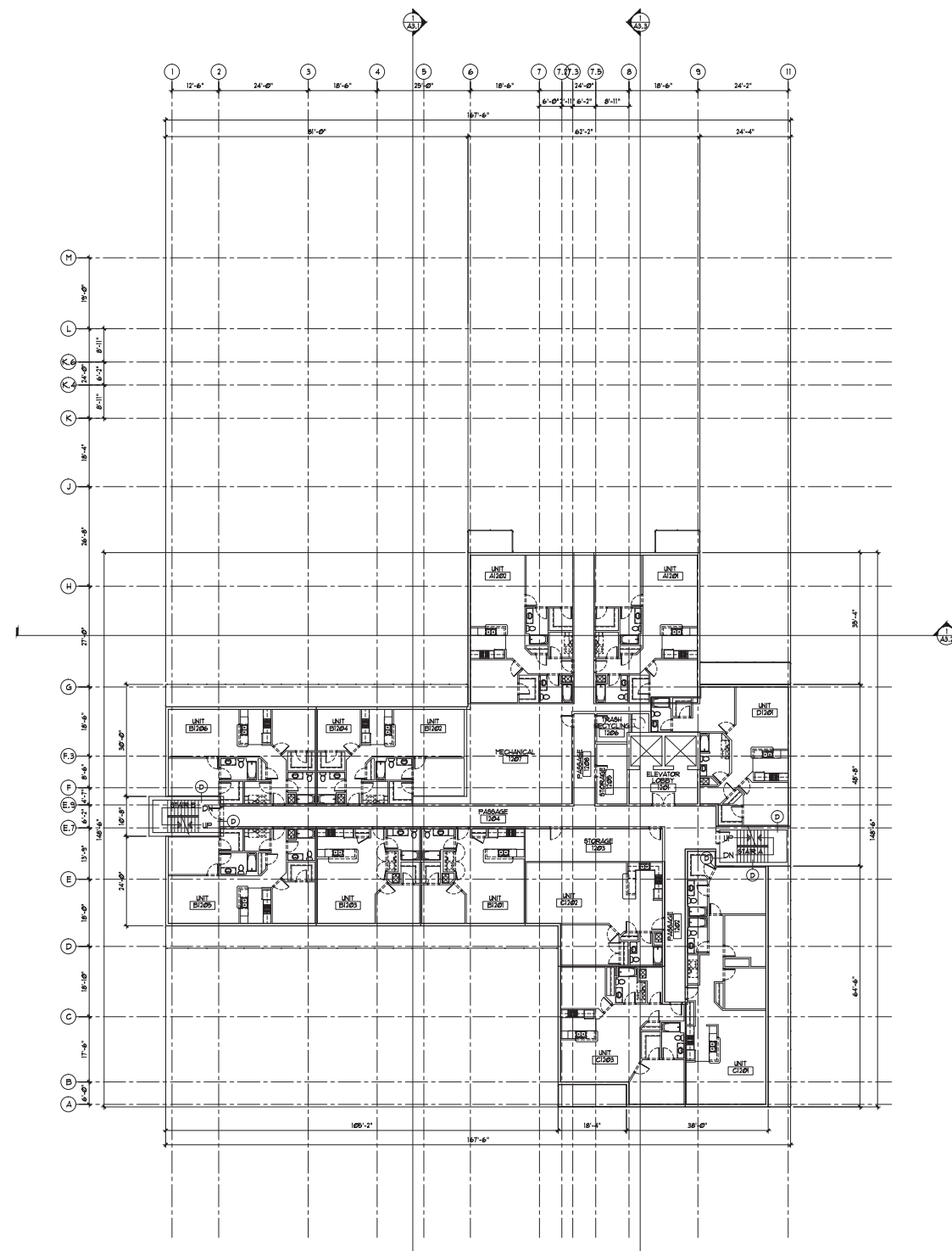
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MADISON, WI

## A1.11



NORTH

Twelfth Floor Plan

SCALE: 1/16" = 1'-0"

## GENERAL NOTES

## D R A W I N G   N O T E S

[illegible]

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## PROGRESS DRAWINGS



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DATE
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01.18.12

NORTH

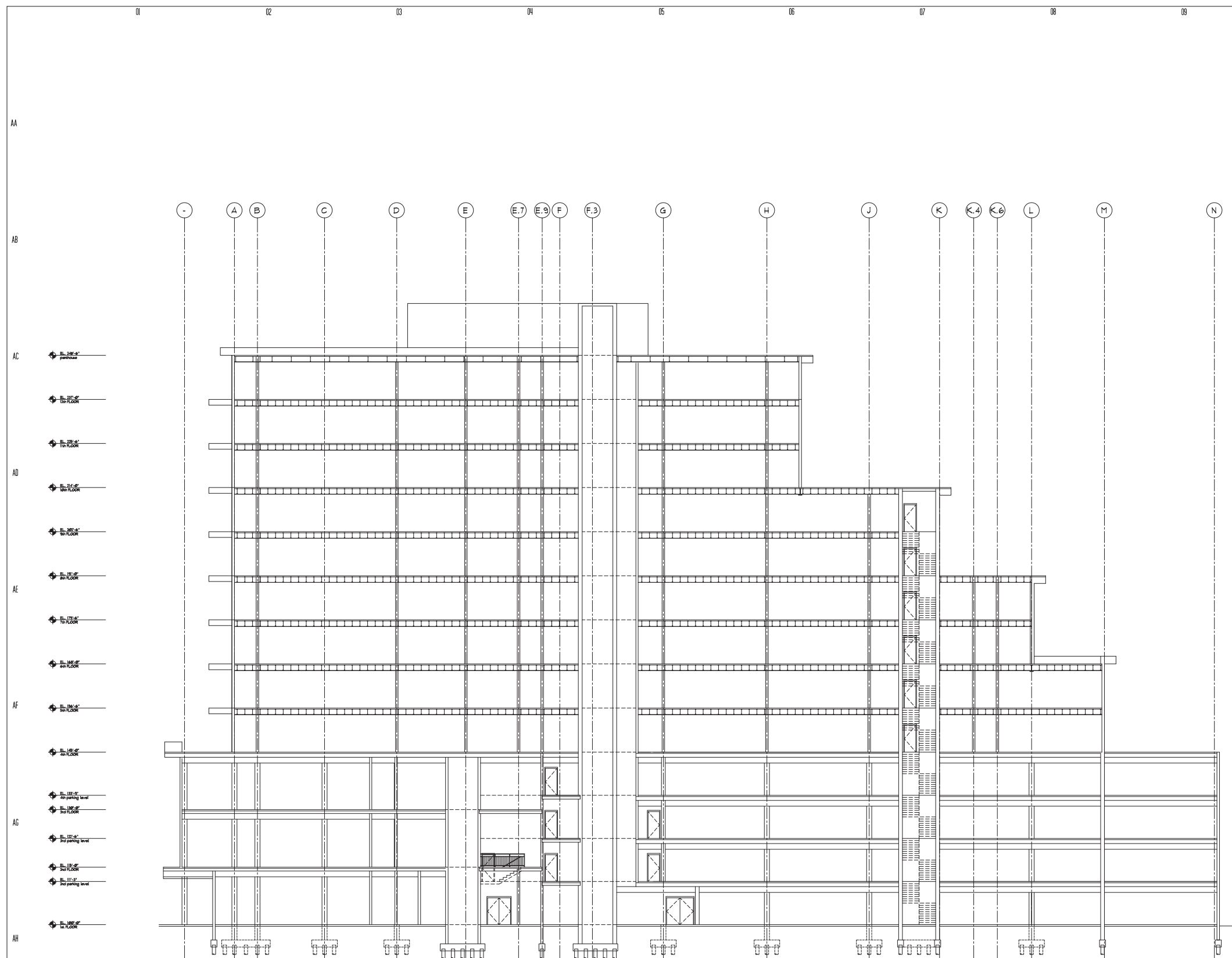
**THE "CONSTELLATION"**  
741 EAST MIFFLIN STREET, 754 EAST WASHINGTON AVENUE  
MADISON, WI

## A1.12









3 BUILDING SECTION - LOOKING WEST

SCALE: 1/8" = 1'-0"

GENERAL NOTES

D R A W I N G   N O T E S

ARCHITECT

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## PROGRESS DRAWINGS



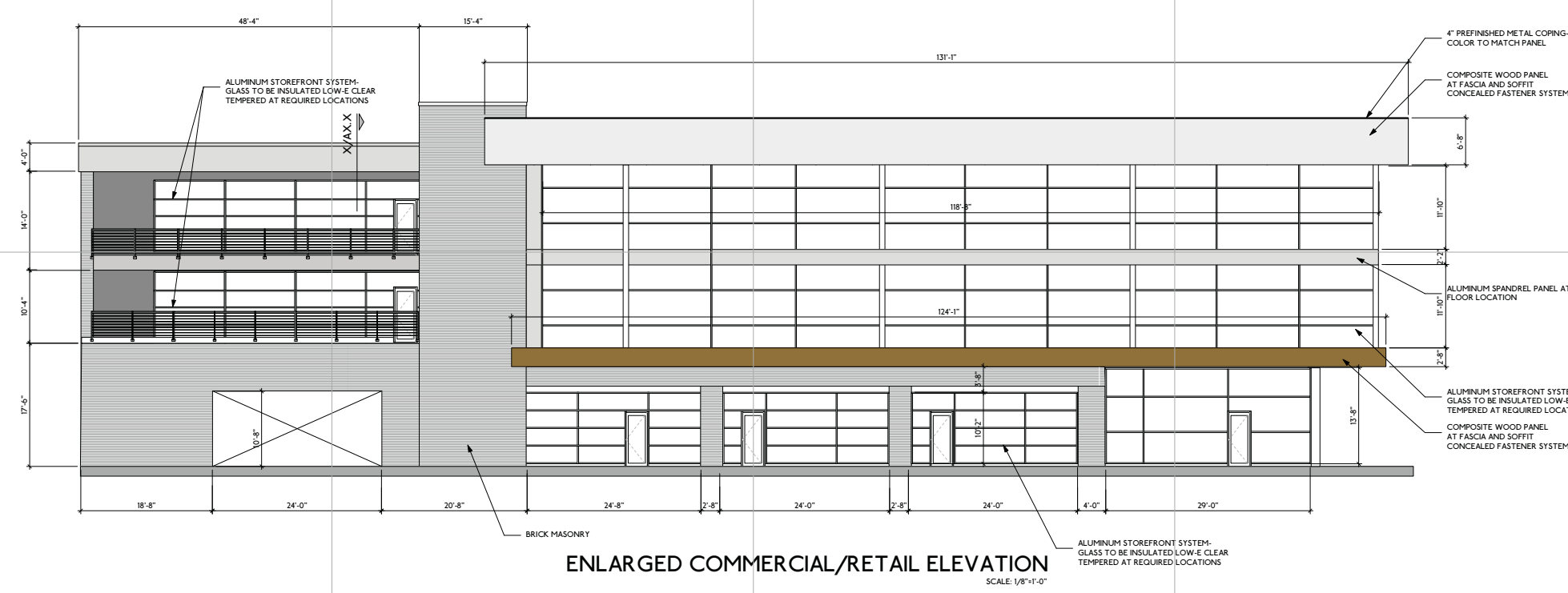
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STUDIO@BARK-DESIGN.COM  
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DATE  
01.18.12

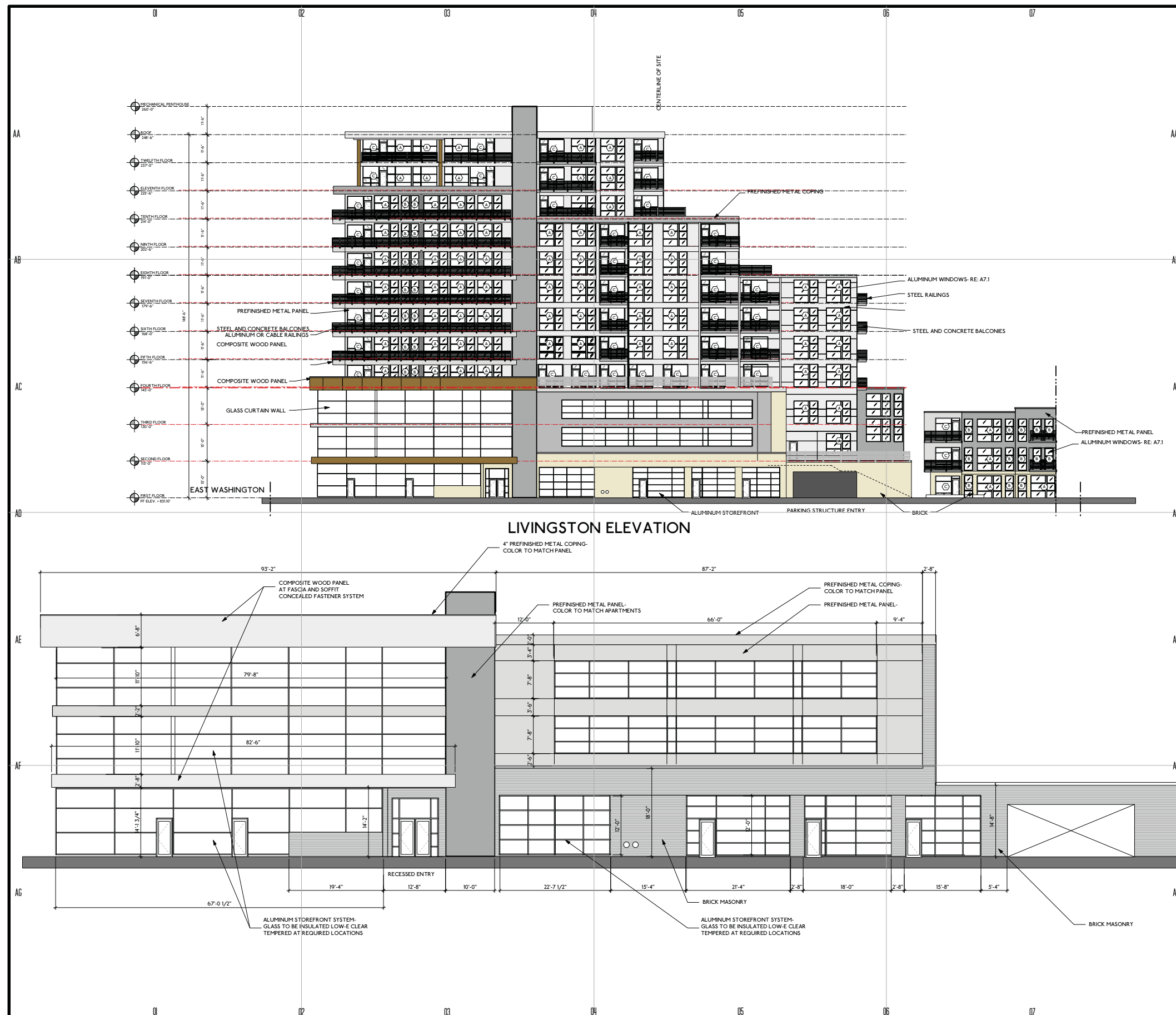
 NORTH

**THE "CONSTELLATION"**  
741 EAST MIFFLIN STREET, 754 EAST WASHINGTON AVENUE  
MADISON, WI

### A3.3



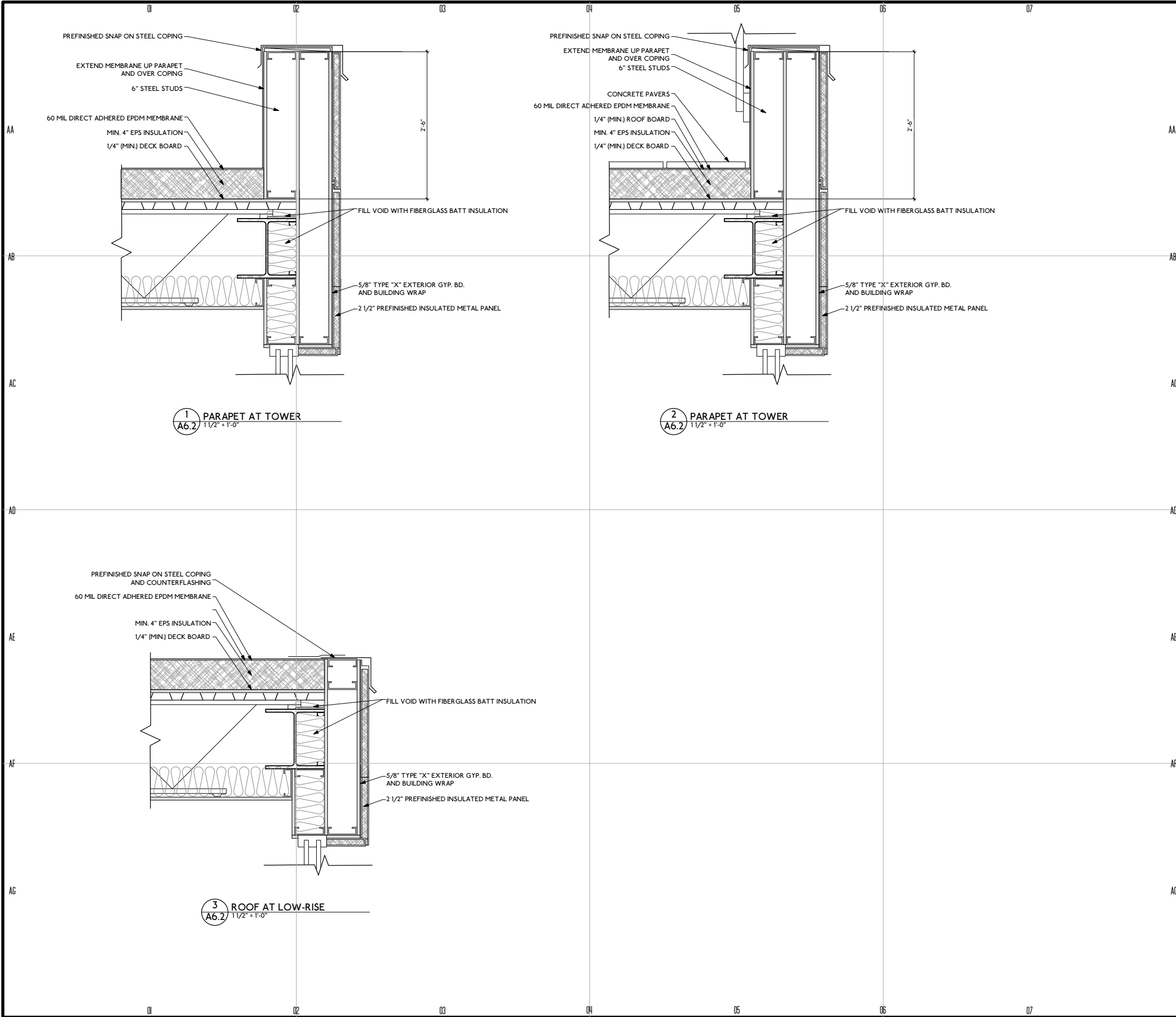
## A4.1

[illegible]









GENERAL NOTES

DRAWING NOTES

CODE NOTES

DATE	DESCRIPTION
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11.03.11	DAT REVIEW SET
11.11.11	INFORMATIONAL
	<b>A6.4</b>
	<b>REV. 6.10.02</b>
	<b>04.22.02</b>

ARCHITECT

STRUCTURAL ENGINEER

PROGRESS SET

NOT FOR CONSTRUCTION

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DESIGN

G

GEBHARDT

DEVELOPMENT

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STUDIO@BARK-DESIGN.COM

608.333.1926

DATE

02.01.12

THE "CONSTELLATION"

700 N. EAST WASHINGTON, MADISON, WI

WALL DETAILS

A6.2

## GENERAL NOTES

## DRAWING NOTES

## CODE NOTES

[illegible]

PROGRESS SET  
NOT FOR CONSTRUCTION

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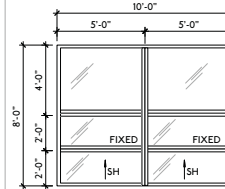
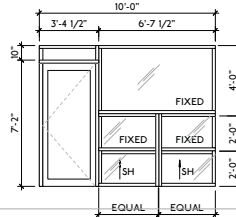
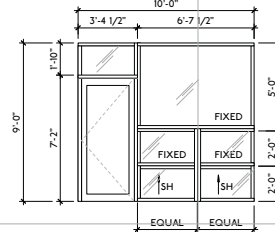
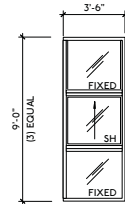
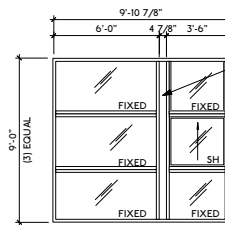
DATE  
02.01.12

**THE "CONSTELLATION"**  
700 N. EAST WASHINGTON, MADISON, WI

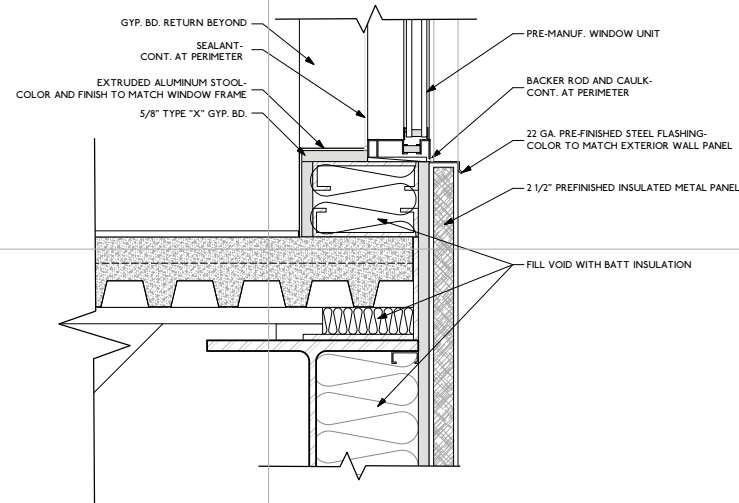
### WINDOW SCHEDULE AND DETAILS

## A7.1

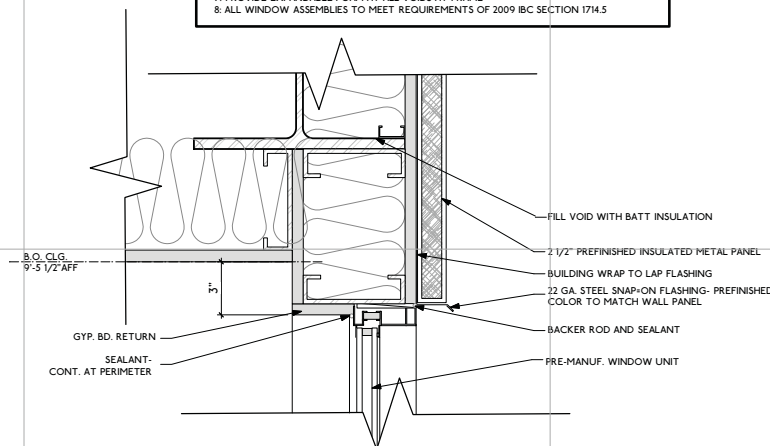
## WINDOW TYPES



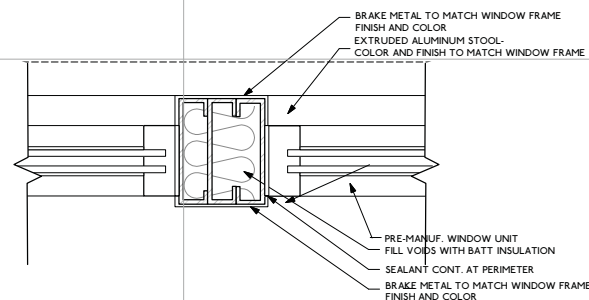
- NOTES:**
1. ALL WINDOWS TO BE LOW-E, INSULATED DOUBLE PANE, ARGON FILLED, THERMALLY BROKEN, WITH DUAL WEATHERSTRIPPING AND INSECT SCREEN.
  2. ALL WINDOWS AND DOORS TO HAVE CLEAR ANODIZED FINISH
  3. WINDOWS TO BE INTERIOR GLAZED
  4. ALL GLASS SHALL BE TEmPERED AT DOOR LOCATIONS AND OTHER LOCATIONS PER 2009 IBC SECTION 704.6
  5. PROVIDE SEALANT AT ALL FILL MULDED WINDOWS
  6. PROVIDE INTERIOR AND EXTERIOR SEALANT AT FRAME PERIMETER
  7. PROVIDE EXPANDABLE FOAM AT ALL VOIDS AT FRAME
  8. ALL WINDOW ASSEMBLIES TO MEET REQUIREMENTS OF 2009 IBC SECTION 1704.5



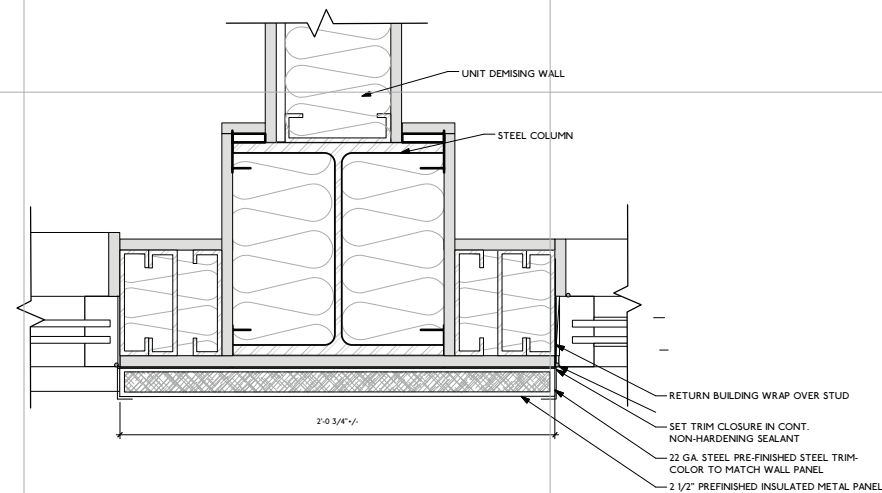
1 TYP. WINDOW SILL DETAIL AT UNITS  
A7.1 11/2" = 1'-0"



1  
A7.1 TYP. WINDOW HEAD DETAIL AT UNITS  
1 1/2" = 1'-0"



1  
A7.1 TYP. WINDOW SILL DETAIL AT UNITS  
1 1/2" = 1'-0"



  <b>GEBHARDT DEVELOPMENT</b>	<b>WWW.BARK-DESIGN.COM</b> <b>STUDIO@BARK-DESIGN.COM</b> <b>608.333.1928</b>	
	DATE <b>02.01.12</b>	<h1>A7.1</h1>
THE "CONSTELLATION" 700 N. EAST WASHINGTON, MADISON, WI		
WINDOW SCHEDULE AND DETAILS		



