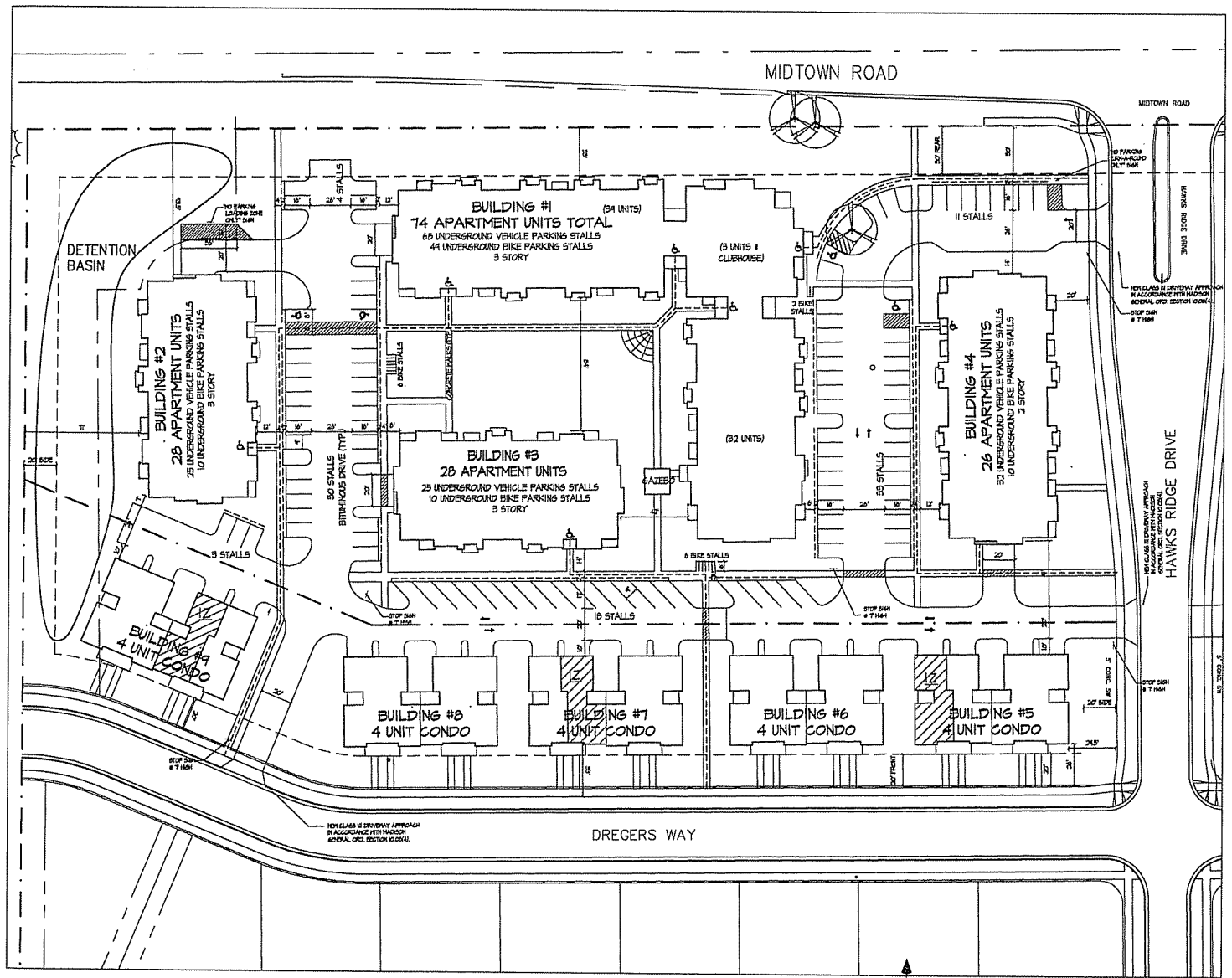


Consultant

- Notes**
1. A SIDE WALK WITH A PITCH GREATER THAN 1:20 IS A RAMP. THE MAXIMUM PITCH OF ANY RAMP OR SIDE WALK SHALL BE 1:20. RAMP OVERCROSSINGS MORE THAN 10' LONG IN ELEVATION TO HAVE HANDRAILS ON BOTH SIDES.
  2. ALL DRIVEWAYS, CURBS ADJACENT TO DRIVEWAYS, AND SIDEWALK CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE COMPLETED IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION BY A CONTRACTOR CURRENTLY LICENSED BY THE CITY.
  3. ALL NEW DRIVEWAYS TO BE CONSTRUCTED WITH CLASS II APPROACHES IN ACCORDANCE WITH MADISON GENERAL ORDINANCE SECTION 10.04(4).
  4. ALL TRASH AND RECYCLING TO BE COLLECTED IN PRIVATE GARAGES OR TRASH ROOMS IN THE BASEMENT.
  5. SEE SITE GRADING AND UTILITY PLANS FOR ADDITIONAL INFORMATION.
  6. CONFORM TO ALL REQUIRED FIRE LINES SHALL BE PROVIDED TRUCK TO THE PLACE OF CONSTRUCTION OF ANY PORTION OF A BUILDING ABOVE THE FOOTING AND FOUNDATION.
  7. ALL WORK IN THE RIGHT OF WAY SHALL BE PERFORMED BY A CITY LICENSED CONTRACTOR.
  8. BIKE STALLS TO BE IN ACCORDANCE WITH MADISON GENERAL ORDINANCE 25.11 FOR THE TYPES OF PARKS (SEE SECTIONS 03.01 AND 03.02).

**SHEET INDEX**

1. SITE PLAN
2. GRADING PLAN
3. UTILITY PLAN
4. FIRE DEPT. ACCESS PLAN
5. LANDSCAPE PLAN
6. BLDG #1 - BASEMENT PLAN
7. BLDG #1 - FIRST FLOOR PLAN
8. BLDG #1 - SECOND FLOOR PLAN
9. BLDG #1 - THIRD FLOOR PLAN
10. BLDG #1 - LOFT FLOOR PLAN
11. BLDG #1 - ELEVATIONS
12. BLDG #2 - BASEMENT PLAN
13. BLDG #2 - FIRST FLOOR PLAN
14. BLDG #2 - SECOND FLOOR PLAN
15. BLDG #2 - THIRD FLOOR PLAN
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18. BLDG #3 - BASEMENT PLAN
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21. BLDG #3 - THIRD FLOOR PLAN
22. BLDG #3 - LOFT FLOOR PLAN
23. BLDG #3 - ELEVATIONS
24. BLDG #4 - BASEMENT PLAN
25. BLDG #4 - FIRST FLOOR PLAN
26. BLDG #4 - SECOND FLOOR PLAN
27. BLDG #4 - LOFT FLOOR PLAN
28. BLDG #4 - ELEVATIONS
29. BLDG #5-#4 - FLOOR PLANS
30. BLDG #5-#4 - ELEVATIONS



**SITE DEVELOPMENT DATA:**

**DENSITIES:**

Lot Area	274,176 S.F. or 6.4 acres
Dwelling Units	176 units
Lot Area / D.U.	1,556 S.F./unit
Density	27.5 units/acre

**DWELLING UNIT MIX:**

	Bldg #1	Bldg #2	Bldg #3	Bldg #4	Total
Apartment	14	4	4	4	26
Efficiency	19	5	5	10	39
One Bedroom	32	12	12	8	64
One Bedroom + Loft	1	0	1	0	2
Two Bedroom	4	6	6	6	22
Total	74	28	28	26	156

	Bldg #5-#8	Total
Condominiums	4 (5 buildings)	22
Total Dwelling Units		176

**BUILDING HEIGHT:** 2-3 Stories (30'-40' high)

**FLOOR AREA RATIO:**

	Ratio
Bldg #1	0.6631 S.F.
Bldg #2	0.2439 S.F.
Bldg #3	0.2439 S.F.
Bldg #4	0.2439 S.F.
Bldgs #5-#8	0.2848 S.F.
Gross Floor Area (Exclude parking)	110,454 S.F.
Ratio	.71

Revisions  
 1/2 REVIEW SUBMITTAL - APRIL 27TH, 2006  
 5/11 SUBMITTAL - MAY 24, 2006

**VEHICLE PARKING STALLS:**

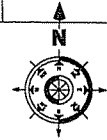
	Count
Surface	48
Garage	40
Underground	180
Total	268
Ratio	1.64 stalls/unit

Project Title  
**LOT#2 Hawks Ridge**  
 9201 Midtown Road

**BICYCLE PARKING STALLS:**

	Count
Surface	14
Garage	20
Underground	74
Total	108
Ratio	1.55 stalls/unit

**SITE PLAN**  
 1" = 50'



Drawing Title  
**Site Plan**

Project No. **0531** Drawing No. **1**

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**GENERAL NOTES/SPECIFICATIONS:**

- All erosion control measures shall be installed prior to clearing and grubbing. The Contractor is responsible for the implementation and maintenance of erosion control measures until vegetation is re-established. The Contractor shall be responsible for resupplying and correcting of erosion control products due to the result of construction activities.
- All erosion control measures and structures serving the site must be inspected at least weekly or within 24 hours of the time 0.5 inches of rain is produced. All maintenance will occur on a "not of the night" of the night of the date.
- All grade knocked onto public streets must be swept or scraped clean (not hydraulic flushing) before the end of each working day.
- NOOT Type D bed protection shall be installed in all open grate storm sewer catch basins as soon as installed. Refer to NOOT Product Acceptability List at: <http://www.ctsinc.com/gov/business/engineering>
- All disturbed areas shall be seeded immediately after grading activities have been completed.
- Erosion control devices shall comply with City of Madison ordinances and NCRM standards found at <http://www.ci.madison.wi.us/egov/egov.nrcrm>
- All temporary rock check dams shall be removed after final site stabilization.
- All disturbed ground left inactive for 7 days shall be stabilized by mulching, temporary or permanent seeding, sod/soil, covering with logs, or equivalent control measures. Seeding and sodding may only be used from May 1st to September 30th of any year. If temporary seeding is used, a permanent cover shall also be required on part of the final site stabilization.

**TIME SCHEDULE:**

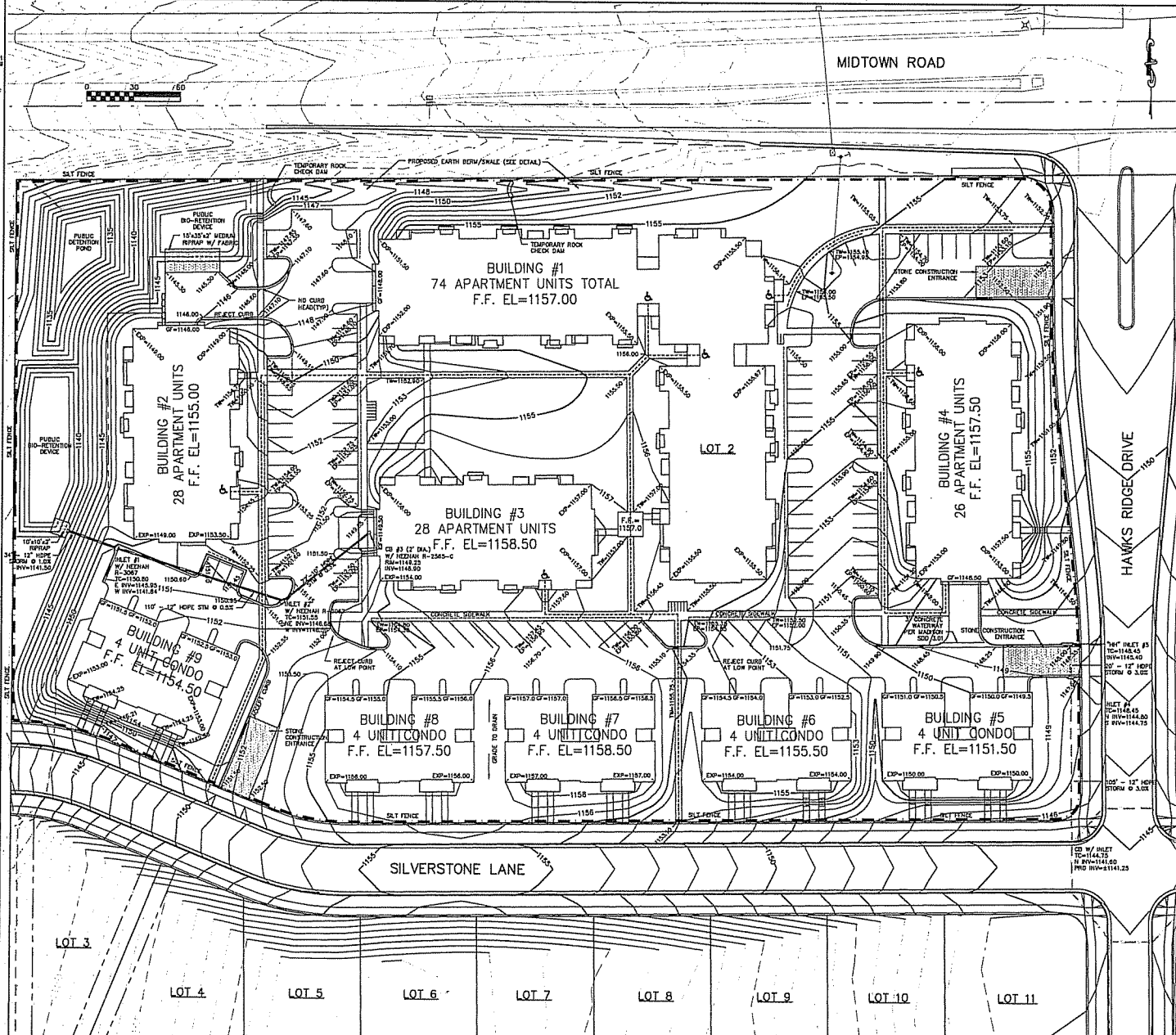
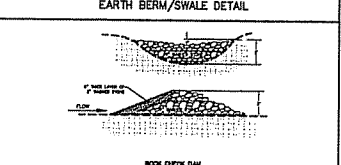
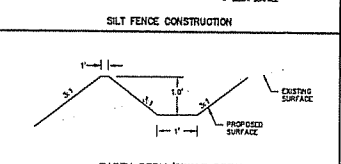
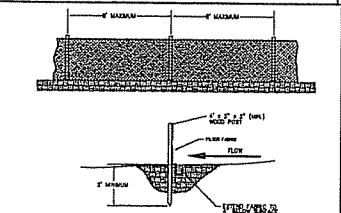
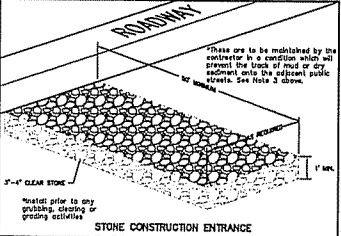
- September 1 - 7, 2006: Install erosion control devices, construct silt fence, strip leaves and seed and mulch stockpiles, if applicable.
- Sept. 8 - June 10, 2007: Construct building, parking lot, and utilities.
- June 10 - 23, 2007: Restore all previous disturbed areas.

**RESTORATION NOTES:**

All disturbed areas, except street pavement, shall receive a minimum of four (4) inches of topsoil, fertilizer, seed and mulch. Restoration will occur as soon after the disturbance as practical. Seed mixture 40 shall be used on US areas. Mixtures shall be in accordance with section 625 of D.C.T. specifications. An equal amount of coarse aggregate shall be added to the mix. Seed mixtures shall be applied at the rate of four (4) pounds per 1,000 square feet. Fertilizer shall be applied at the rate of four (4) pounds per 1,000 square feet. Fertilizer shall meet the minimum requirements listed below. Nitrogen, not less than 16%; phosphoric acid, not less than 6%; potash, not less than 8%.

**OWNER:**  
 125. Metropolitan, Inc.  
 Alton Dan McKenzie  
 1709 Terrace Avenue  
 Madison, WI 53702  
 Phone: (608) 236-9900

**ENGINEER:**  
 Burse Surveying and Engineering, Inc.  
 Alton R. McKenzie  
 1400 E. Washington Avenue, Suite 158  
 Madison, WI 53703



**Burse**  
 Surveying and Engineering, Inc.

1400 E. Washington Ave.  
 Suite 158  
 Madison, WI 53703  
 Phone: 608-250-9243  
 Fax: 608-250-9246  
 e-mail: [burse@burseeng.com](mailto:burse@burseeng.com)  
[www.burseeng.com](http://www.burseeng.com)

**LOT 2, HAWKS RIDGE ESTATES**

T.R. McKenzie, Inc.  
 Madison, WI  
 7704 Terrace Avenue  
 Madison, WI 53702

PROJECT # BSE966-06

PLOT DATE: 03/17/2008

REVISION DATES:

ISSUE DATES:

**GRADING AND EROSION CONTROL PLAN**

**Burse**  
 Surveying and Engineering, Inc.

The borrower certifies that the information provided to Burse Surveying and Engineering, Inc. is true and correct and that the information furnished is to be used for the purposes stated and is not to be used for any other purpose without the written consent of Burse Surveying and Engineering, Inc.

DRAWING NUMBER  
**2**

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**LOT 2, HAWKS RIDGE ESTATES**

Madison, WI  
T.R. McKenzie, Inc.  
7704 Terrace Avenue  
Madison, WI 53762

PROJECT #: BSE066-08  
PLOT DATE: 05/17/2006  
REVISION DATES:  
ISSUE DATES:

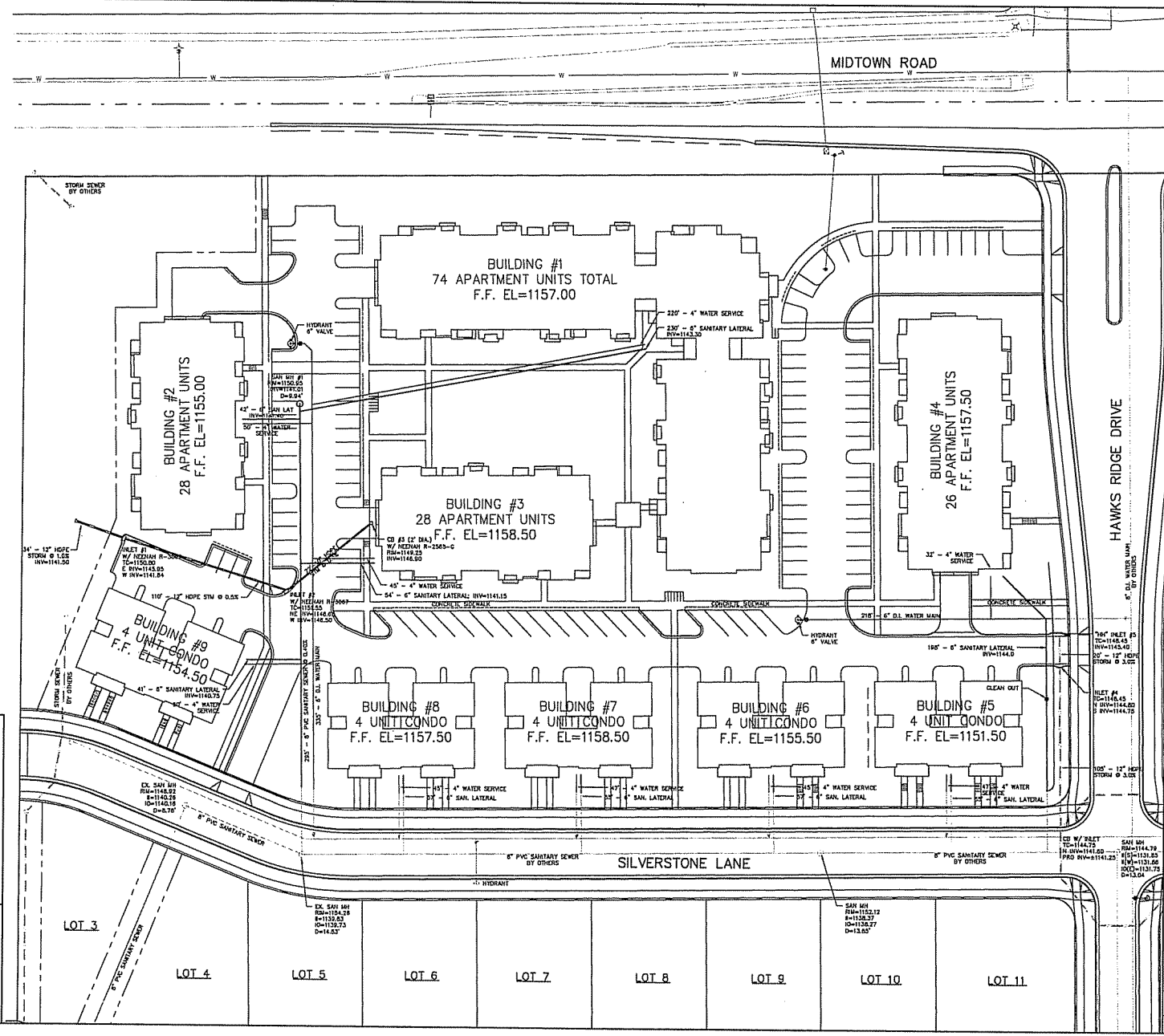
UTILITY PLAN

**Burse**  
Surveying and Engineering, Inc.

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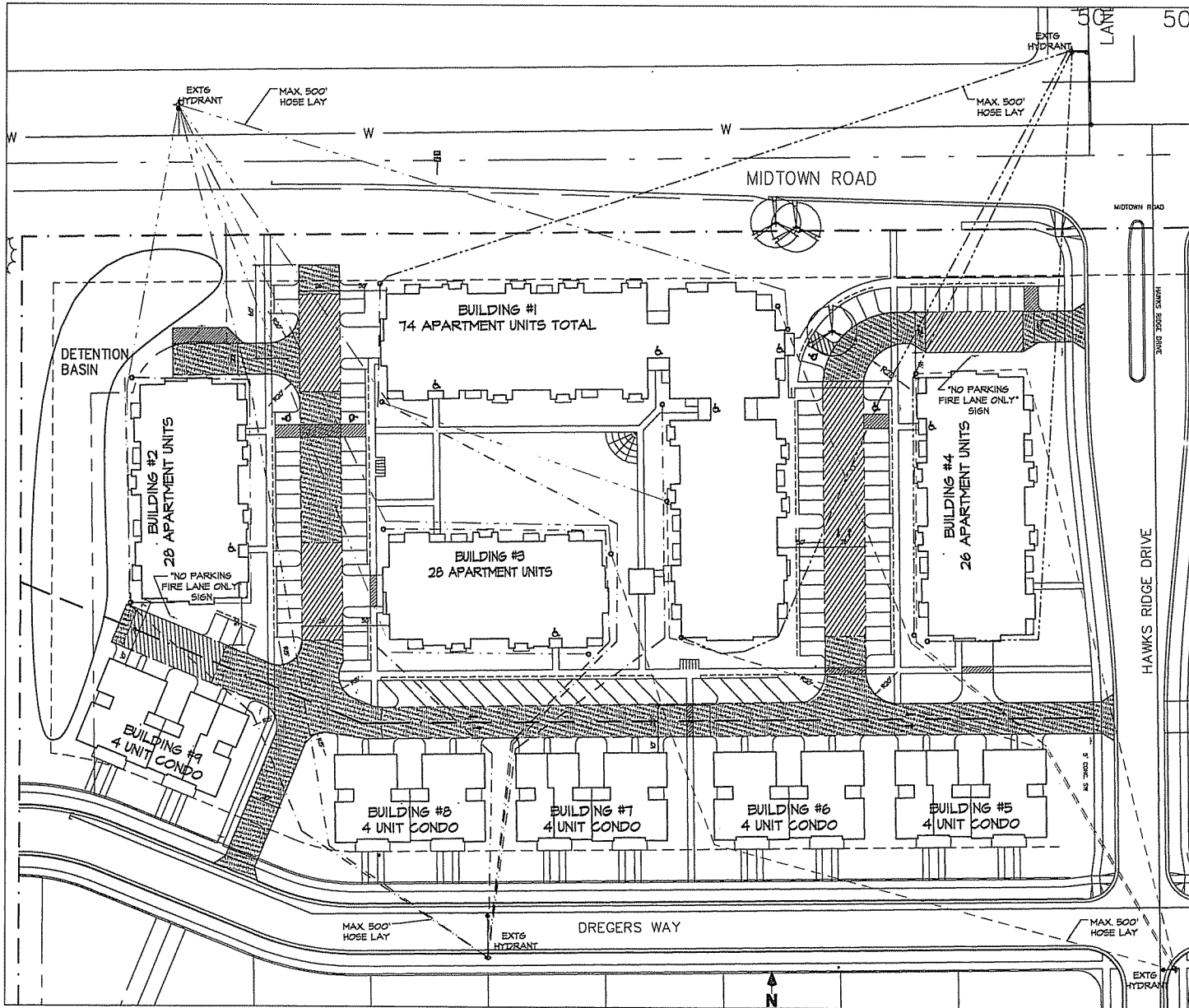
DRAWING NUMBER  
**3**

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**UTILITY NOTES:**  
THE CONTRACTOR SHALL CONTACT CITY OF MADISON UTILITIES PRIOR TO CONNECTING TO EXISTING SANITARY SEWER AND WATER MAIN.  
ALL WATER MAIN SHALL BE BURIED TO A DEPTH OF 6.5 FEET. THE DEPTH IS DEFINED AS THE DISTANCE BETWEEN THE FINISHED GRADE ELEVATION AND THE TOP OF WATER MAIN OR SERVICE.  
ALL UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE TO CITY OF MADISON STANDARD SPECIFICATIONS.  
THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.  
ALL SANITARY SEWER LATERALS SHALL BE LAID AT A MINIMUM OF A 1.0 PERCENT SLOPE.  
EXISTING PUBLIC UTILITIES SHOWN ARE BASED ON PRELIMINARY PLANS. ACTUAL LOCATIONS AND ELEVATION MAY CHANGE. CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS PRIOR TO INSTALLATION.

**DEWATERING NOTES:**  
THE CONTRACTOR SHALL CONTACT THE DEPARTMENT OF NATURAL RESOURCES FOR A PERMIT FOR ALL WELLS INSTALLED OR OPERATED FOR WHICH THE SINGLE OR AGGREGATE CAPACITY MAY BE IN EXCESS OF 70 GALLONS PER MINUTE.  
THE ADDRESS FOR WELL PERMITS IS AS FOLLOWS:  
WISCONSIN DEPARTMENT OF NATURAL RESOURCES  
PRIVATE WATER SUPPLY SECTION  
BOX 7921  
MADISON, WI 53707



FIRE DEPARTMENT ACCESS PLAN  
 1" = 50'

**KNOTHE & BRUCE ARCHITECTS**  
 7601 University Avenue, Ste. 201  
 Middleton, Wisconsin 53522  
 608-836-3690 Fax 836-6934

Consultant

- Notes
1. [Hatched pattern] = 24' WIDE AERIAL APPARATUS FIRE LANE PARALLEL TO ONE ENTIRE SIDE OF A BUILDING AND MIN 50'
  2. [Cross-hatched pattern] = 20' TO 22' WIDE FIRE LANE. (SEE PLAN FOR ACTUAL WIDTH)

Revisions  
 1-2 REVIEW SUBMITTAL - APRIL 27TH, 2006  
 51P. SUBMITTAL - MAY 24, 2006

Project Title  
 LOT#2 Hawks Ridge  
 9201 Midtown Road

Drawing Title  
**Fire Department Access Plan**  
 Project No.  
 0531 Drawing No.  
 4

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Notes

**PLANT MATERIAL LIST**

CODE	COMMON NAME	QTY	SIZE	NOTE
<b>PLANT ITEMS</b>				
101	Japanese Honey Suckle	4	2"	800
102	Asian Spice Nettle	2	2"	800
103	Boxwood Shrub	2	2"	800
104	"Spotted" Norway Spruce	2	2"	800
105	Swamp White Oak	2	2"	800
<b>CONCRETE ITEMS</b>				
106	Reinforced Concrete	1	1'x1'	800
107	Column Drilled Rebar	1	1'x1'	800
108	Energy Wall Glass	1	1'x1'	800
109	Profiled Pipe Glass	1	1'x1'	800
110	Clearing Fuel	1	1'	800
111	Silver Birch Clump	1	1'x1'	800
112	Red Oak	1	1'x1'	800
<b>STRUCTURE ITEMS</b>				
113	Pipe Rimmed Staircase	22	8'x8'	800
114	Iron Bar Glass	10	8'x8'	800
115	Little Prince's Palace	10	8'x8'	800
116	Staircase Railing	10	8'x8'	800
117	Staircase Railing	10	8'x8'	800
118	Compact Railing Bush	10	8'x8'	800
119	Pipe Rimmed Staircase	10	8'x8'	800
120	Non-slip Railing	10	8'x8'	800
121	Logic Railing System	1	8'x8'	800
<b>EXTERIOR ITEMS</b>				
122	Black Glass Railing	1	1'x1'	800
123	Japanese Pine	1	1'x1'	800
124	Japanese Larch	1	1'x1'	800
125	Yucca/Arbutus	1	1'x1'	800
<b>EXTERIOR ITEMS</b>				
126	Black Glass Railing	10	8'x8'	800
127	Black Glass Railing	10	8'x8'	800
128	Black Glass Railing	10	8'x8'	800
129	Black Glass Railing	10	8'x8'	800
130	Black Glass Railing	10	8'x8'	800

Revisions  
DATE:

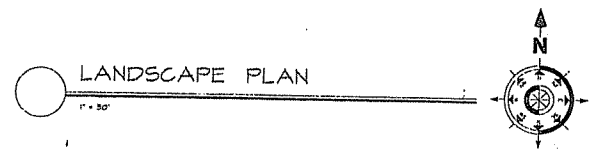
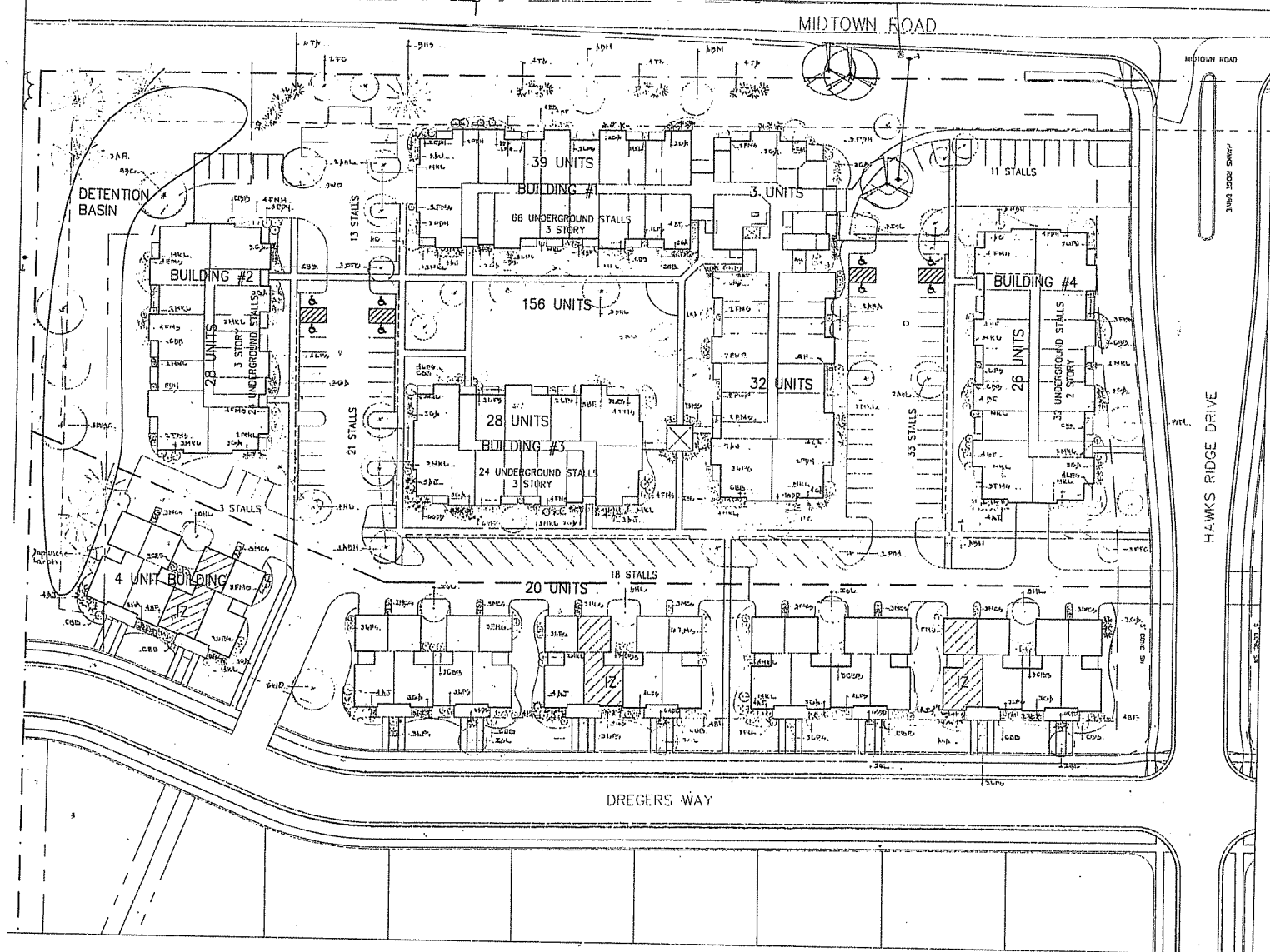
Project Title  
LOT#2 Hanks Ridge  
9201 Midtown Road

Drawing Title  
Landscape Plan

Project No.  
0531

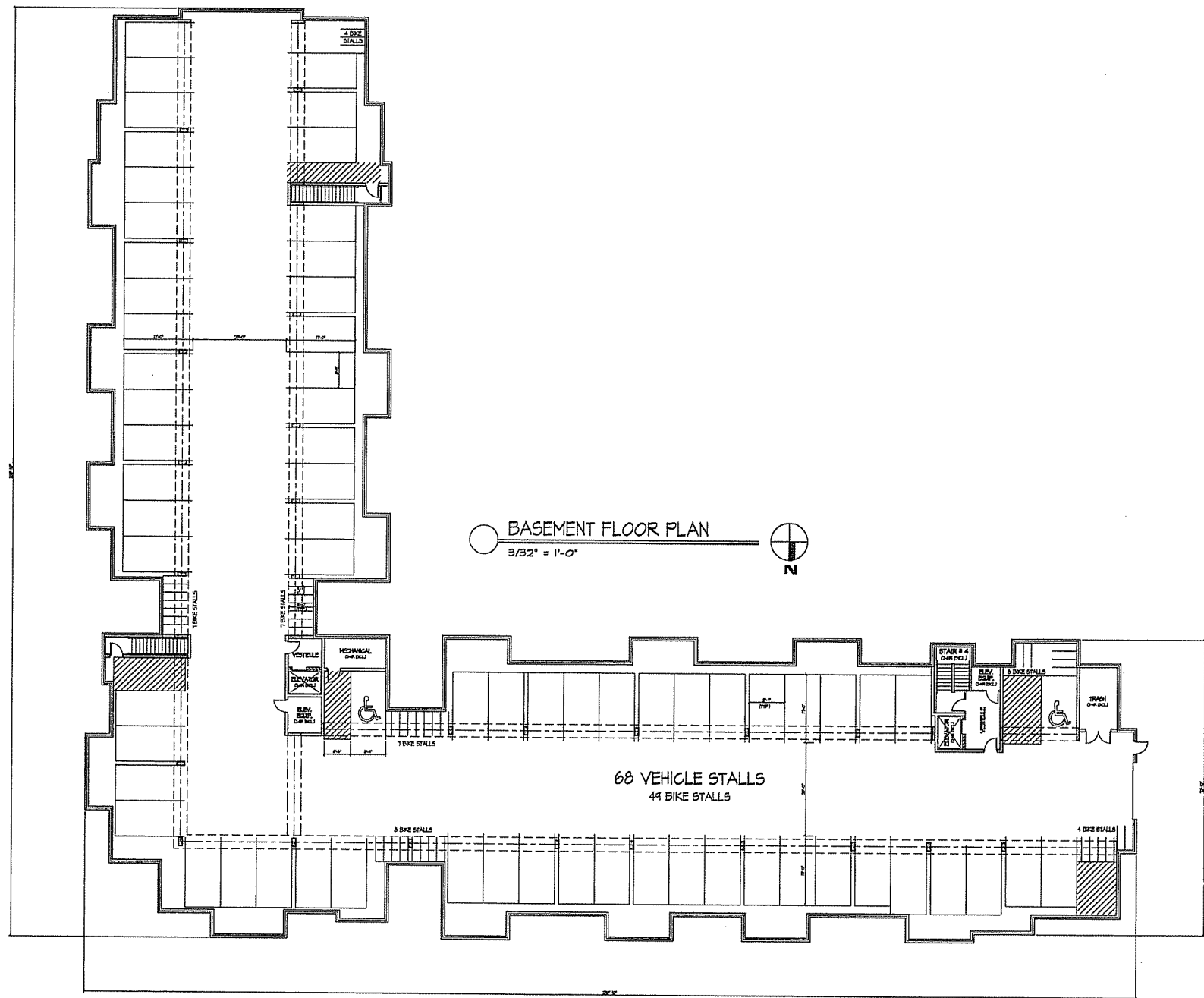
Drawing No.  
5

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Revisions  
 1-Z REVIEW SUBMITTAL - APRIL 27, 2006  
 51P, SUBMITTAL - MAY 24, 2006

Project Title  
**LOT#2 Hanks Ridge**  
**9201 Midtown Road**

**Hanks Ridge**  
**Apartments**  
**Building #1 - 74 Unit**  
 Drawing Title  
**Basement Plan**

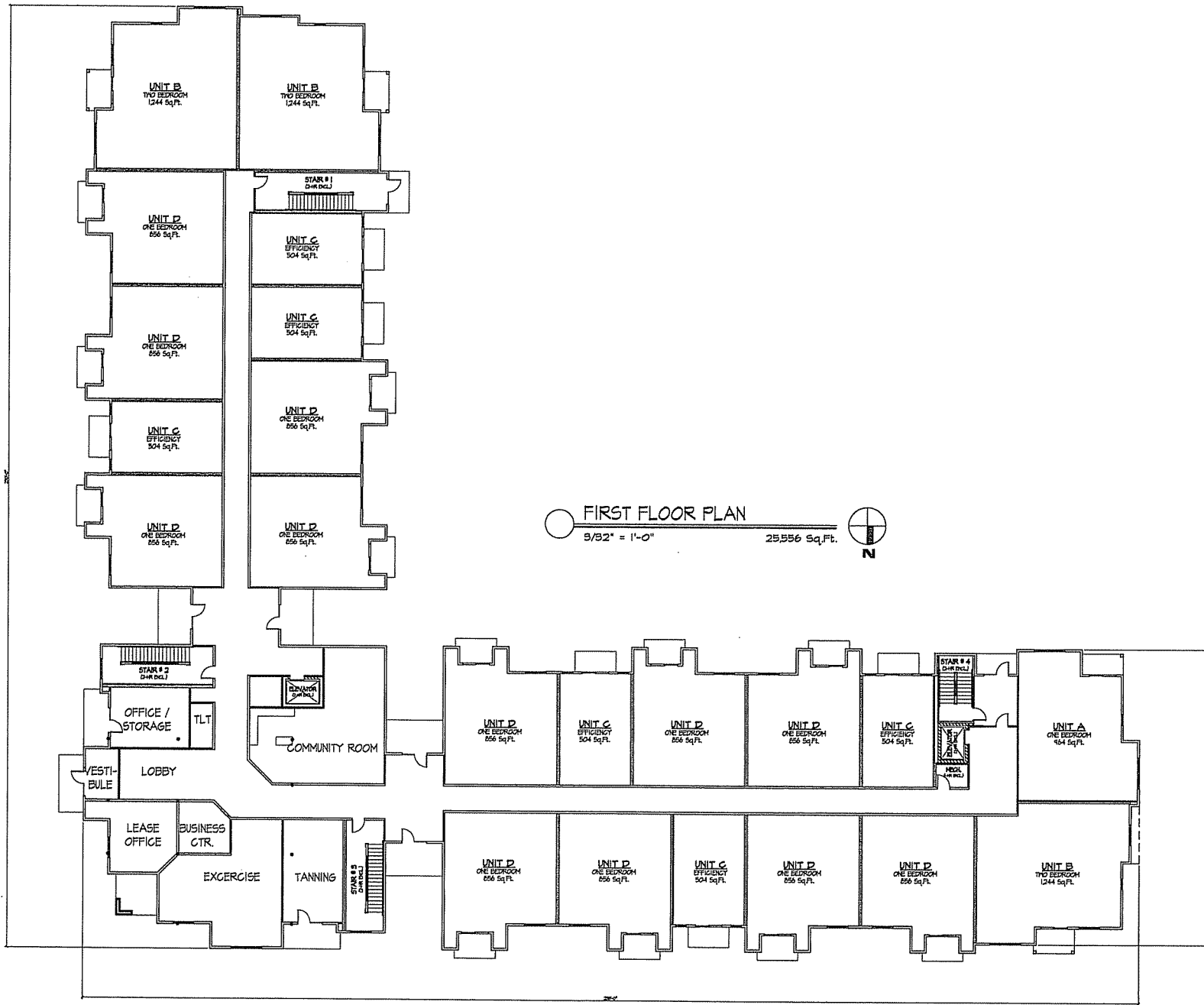
Project No. Drawing No.

**0531 6**

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Consultant

Notes



**FIRST FLOOR PLAN**  
 3/32" = 1'-0" 25,556 Sq.Ft. N

Revisions  
 1-Z REVIEW SUBMITTAL - APRIL 27, 2006  
 51.P. SUBMITTAL - MAY 24, 2006

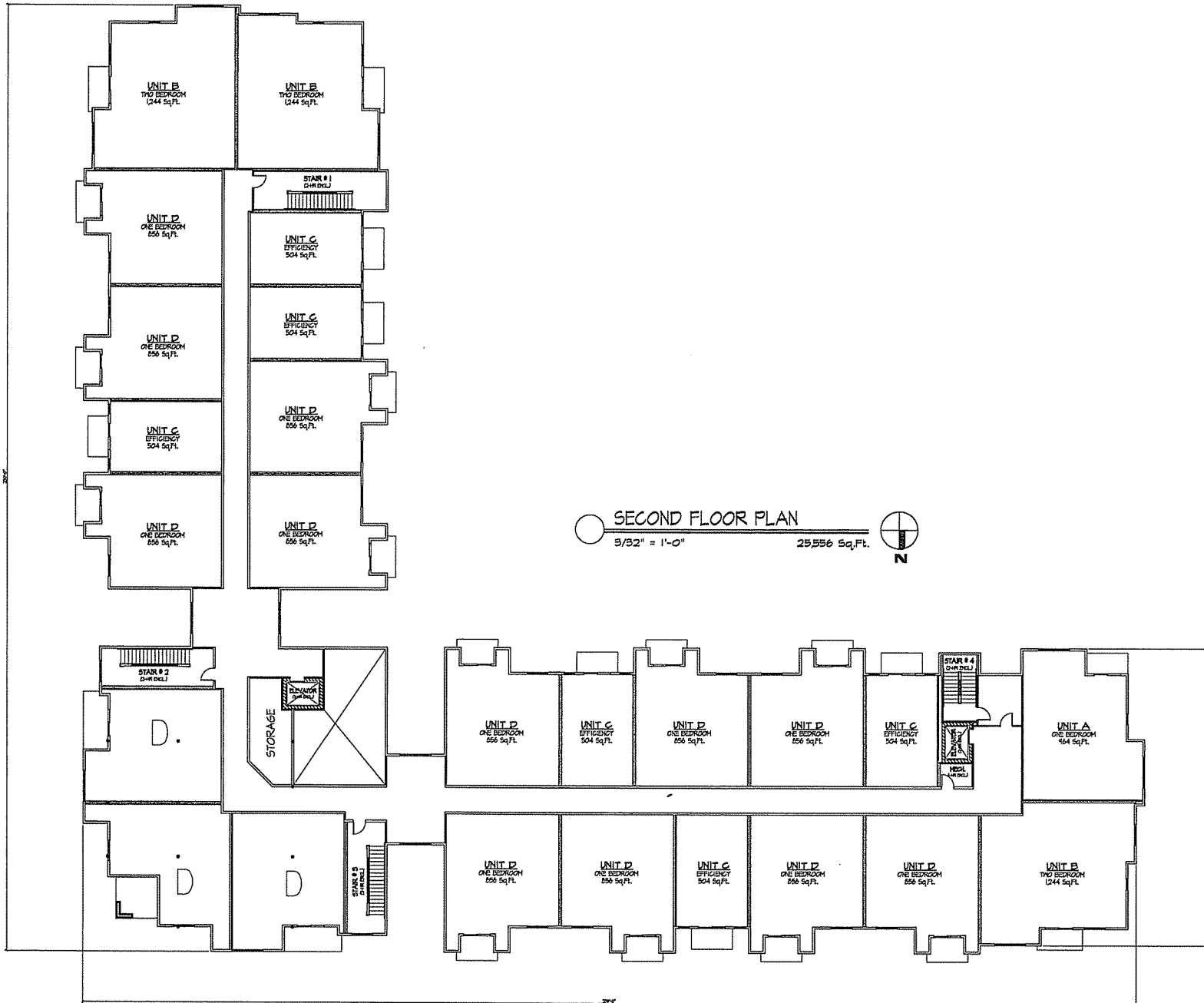
Project Title  
**LOT#2 Hawks Ridge**  
**9201 Midtown Road**  
 Hawks Ridge  
 Apartments  
 Building #1 - 74 Unit  
 Drawing Title  
**First Floor Plan**

Project No. Drawing No.  
**0531 7**

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Revisions

1-2 REVISION SUBMITTAL - APRIL 27, 2006  
 5/1 P. SUBMITTAL - MAY 24, 2006

Project Title  
**LOT#2 Hawks Ridge**  
**9201 Midtown Road**

**Hawks Ridge**  
**Apartments**  
**Building #1 - 74 Unit**  
 Drawing Title  
**Second Floor Plan**

Project No. Drawing No.

0531 8

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Revisions

I-Z REVIEW SUBMITTAL - APRIL 27, 2006  
 S.I.P. SUBMITTAL - MAY 24, 2006

Project Title  
**LOT#2 Hanks Ridge**  
**9201 Midtown Road**

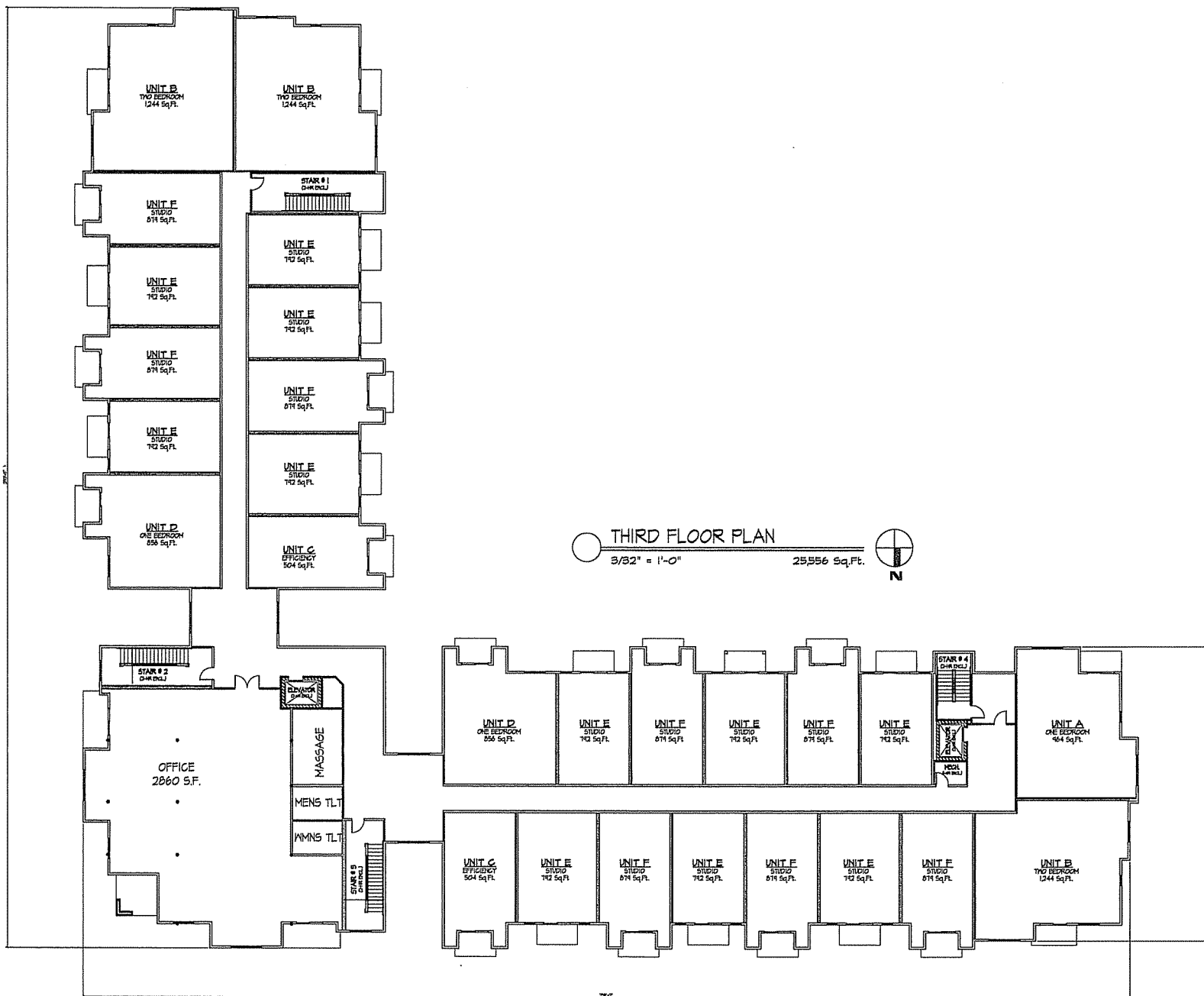
**Hanks Ridge**  
**Apartments**  
**Building #1 - 74 Unit**  
 Drawing Title  
**Third Floor Plan**

Project No. Drawing No.

0591

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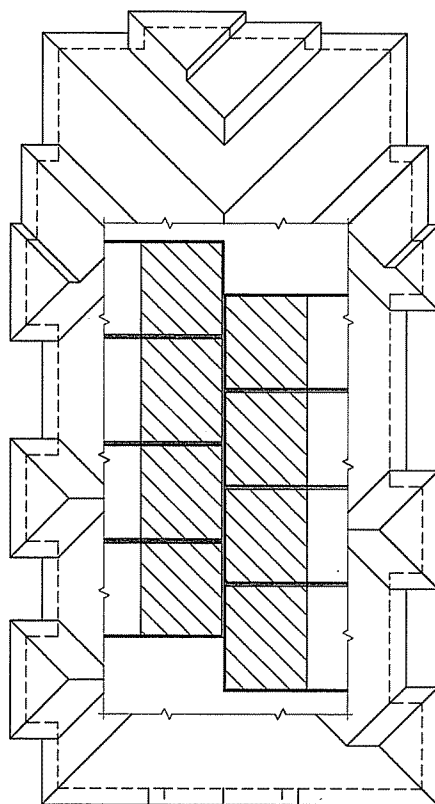
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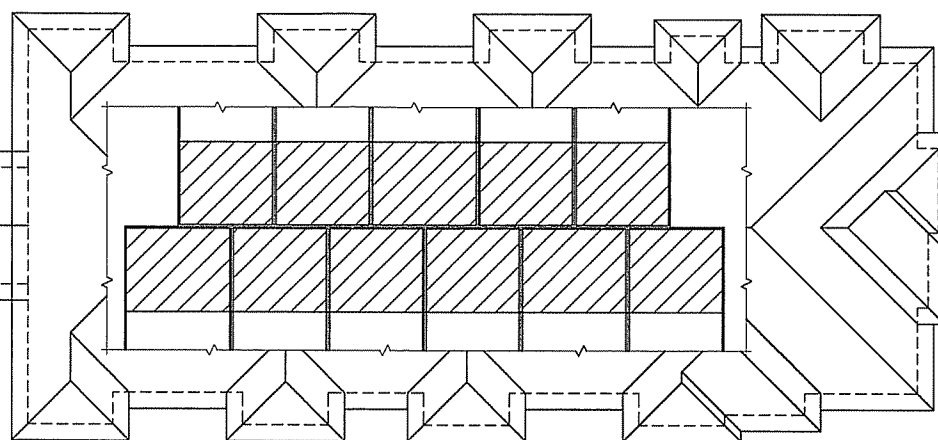
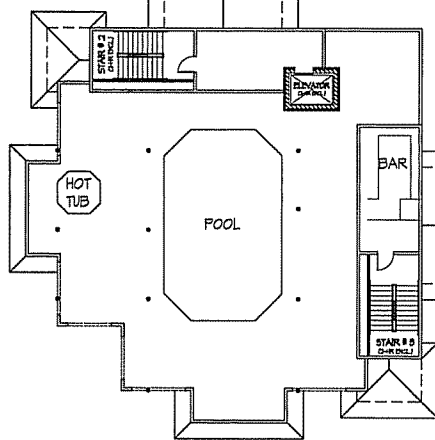
Consultant

Notes

-HATCHED AREAS INDICATE EXTENT OF LOFTS.



LOFT FLOOR PLAN  
3/32" = 1'-0"  
10,168 Sq.Ft.



Revisions

I-I REVIEW SUBMITTAL - APRIL 27, 2006  
51.P. SUBMITTAL - MAY 24, 2006

Project Title  
**LOT#2 Hanks Ridge**  
**9201 Midtown Road**

**Hanks Ridge**  
**Apartments**  
**Building #1 - 74 Unit**  
Drawing Title  
**Loft Floor Plan**

Project No. Drawing No.

0591 10

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# KNOTHE & BRUCE ARCHITECTS

7601 University Avenue, Ste. 201  
 Middleton, Wisconsin 53562  
 608-836-3690 Fax 836-6934

Consultant:

Notes

-HATCHED AREAS INDICATE EXTENT OF LOFTS.



**NORTH ELEVATION**  
 1/8" = 1'-0"

Revisions

I-Z REVIEW SUBMITTAL - APRIL 27, 2006  
 S.I.P. SUBMITTAL - MAY 24, 2006



**EAST ELEVATION**  
 1/8" = 1'-0"

Project Title  
**LOT#2 Hanks Ridge**  
**9201 Midtown Road**

**Hanks Ridge**  
**Apartments**  
**Building #1 - 74 Unit**  
 Drawing Title  
**Elevations**

Project No. Drawing No.

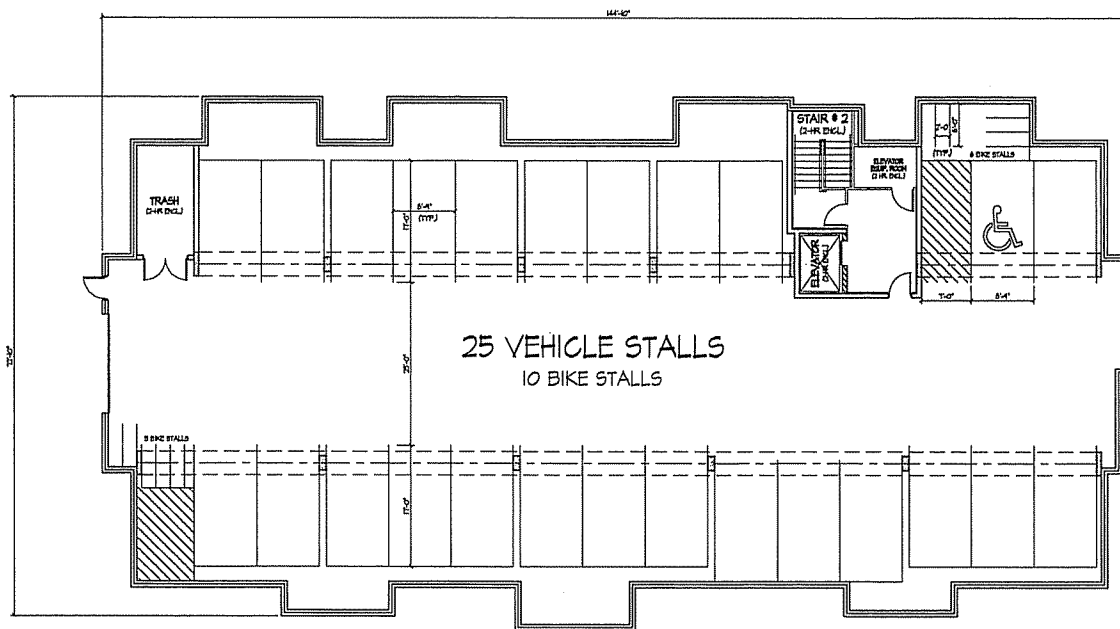
0591

11

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Consultant

Notes



BASEMENT FLOOR PLAN  
1/8" = 1'-0"

Revisions

I-Z REVIEW SUBMITTAL - APRIL 27, 2006  
S.I.P. SUBMITTAL - MAY 24, 2006

Project Title  
**LOT#2 Hawks Ridge**  
9201 Midtown Road

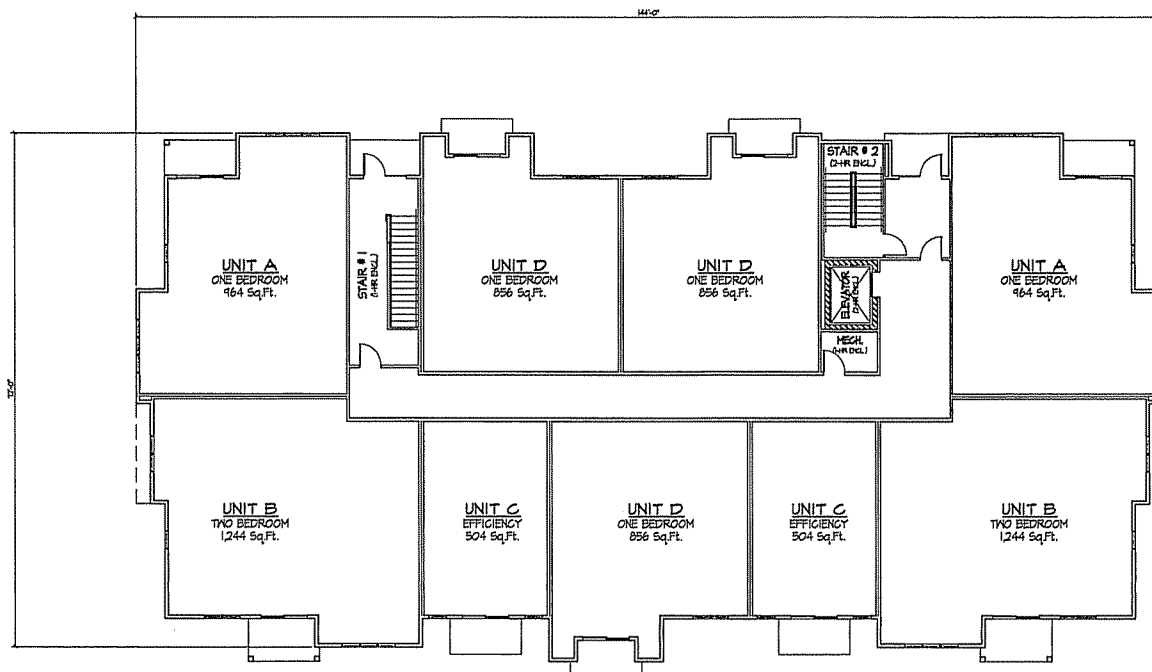
**Hawks Ridge**  
Apartments  
Building #2 - 2B Unit A  
Drawing Title  
**Basement Plan**

Project No. Drawing No.  
**0531 12**

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Consultant:

Hours:



FIRST FLOOR PLAN  
 1/8" = 1'-0" 9,194 Sq.Ft.

Revisions

I-2 REVIEW SUBMITTAL - APRIL 27, 2006  
 S.I.P. SUBMITTAL - MAY 24, 2006

Project Title  
**LOT#2 Hanks Ridge**  
**9201 Midtown Road**

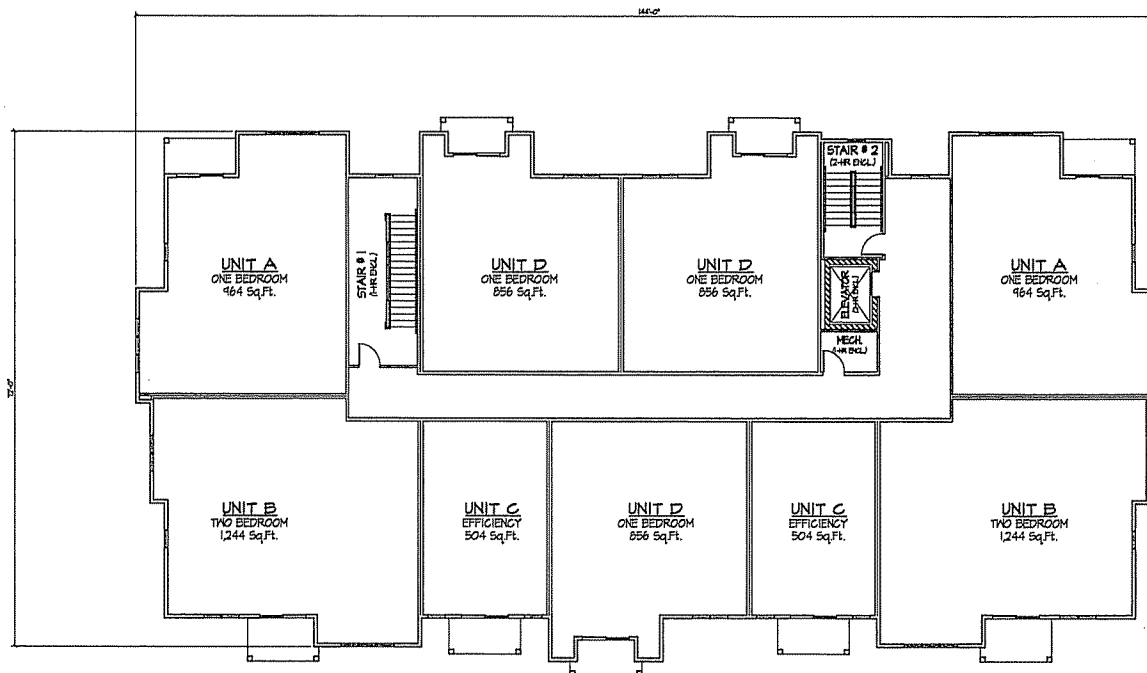
**Hanks Ridge**  
**Apartments**  
**Building #2 - 2B Unit A**  
 Drawing Title  
**First Floor Plan**

Project No. Drawing No.  
**0531 13**

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Consultant:

Notes:



Revisions:

1-2 REVIEW SUBMITTAL - APRIL 27, 2006  
51P. SUBMITTAL - MAY 24, 2006

○ SECOND FLOOR PLAN ○  
1/8" = 1'-0" 9,194 Sq.Ft. N

Project Title  
**LOT#2 Hanks Ridge**  
9201 Midtown Road

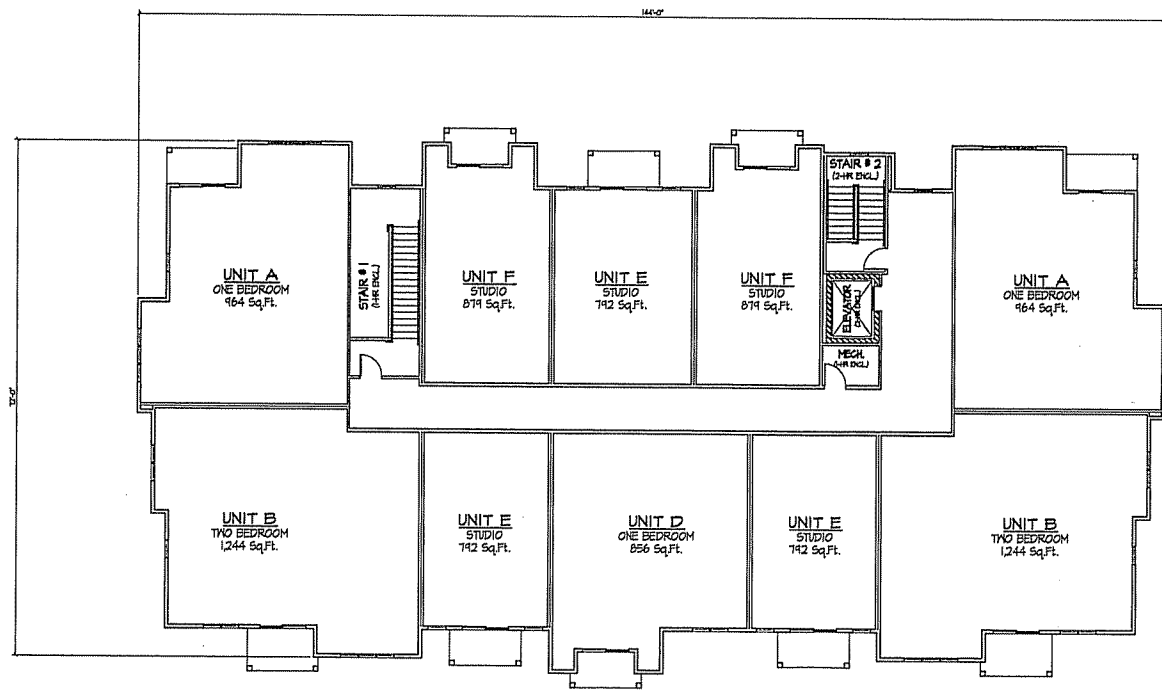
**Hanks Ridge**  
Apartments  
**Building #2 - 2B Unit A**  
Drawing Title  
**Second Floor Plan**

Project No. Drawing No.  
**0531 14**

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Consultant

Notes



Revisions  
 1-2 REVISION SUBMITTAL - APRIL 27, 2006  
 51.P. SUBMITTAL - MAY 24, 2006

THIRD FLOOR PLAN  
 1/8" = 1'-0" 9,194 Sq.Ft. N

Project Title  
**LOT#2 Hawks Ridge**  
**9201 Midtown Road**

**Hawks Ridge**  
**Apartments**  
**Building #2 - 2B Unit A**  
 Drawing Title  
**Third Floor Plan**

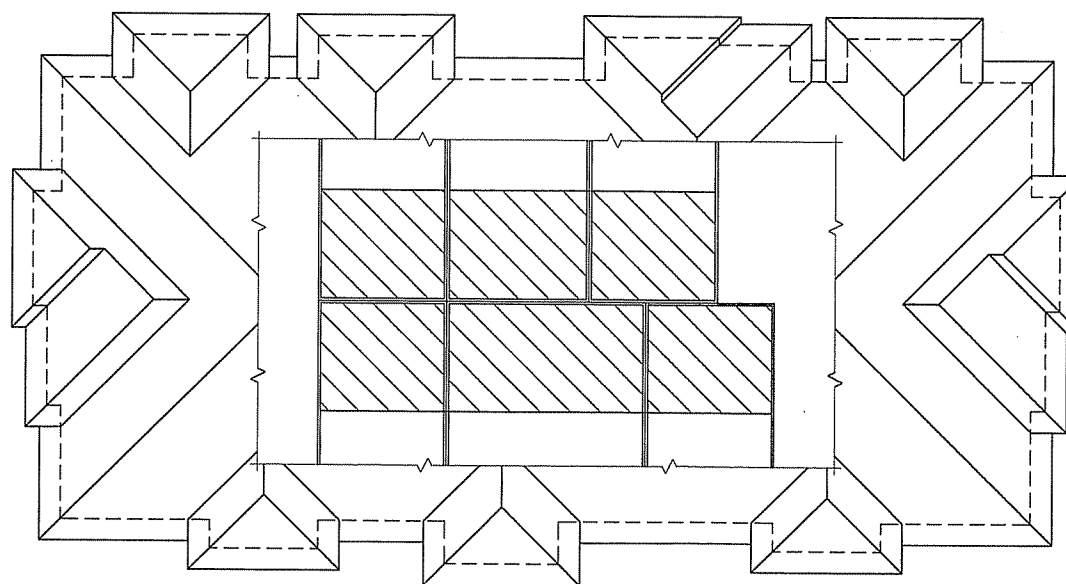
Project No. Drawing No.  
**0531 15**

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Consultant

Notes

-HATCHED AREAS INDICATE EXTENT OF  
LOFTS.



Revisions

1-2 REVIEW SUBMITTAL - APRIL 27, 2006  
51P. SUBMITTAL - MAY 24, 2006

LOFT FLOOR PLAN  
1/8" = 1'-0"  
1,857 Sq.Ft. 

Project Title

**LOT#2 Hawks Ridge  
9201 Midtown Road**

**Hawks Ridge  
Apartments  
Building #2 - 2B Unit A**  
Drawing Title  
**Loft Floor Plan**

Project No.

**0531**

Drawing No.

**16**

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Consultant

Size



WEST ELEVATION  
 1/8" = 1'-0"



NORTH ELEVATION  
 1/8" = 1'-0"

Revisions

1-Z REVIEW SUBMITTAL - APRIL 27, 2006  
 S.J.P. SUBMITTAL - MAY 24, 2006

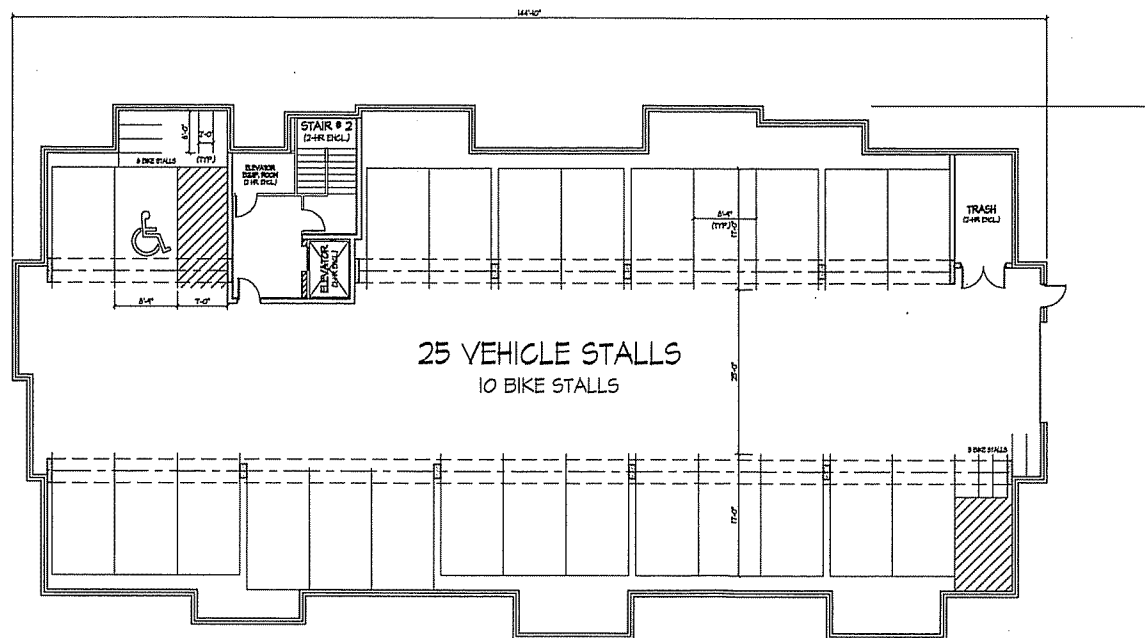
Project Title  
**LOT#2 Hawks Ridge**  
**9201 Midtown Road**

**Hawks Ridge**  
**Apartments**  
**Building #2 - 2B Unit A**  
 Drawing Title  
**Elevations**

Project No. Drawing No.

0531 17

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BASEMENT FLOOR PLAN  
1/8" = 1'-0"  
N

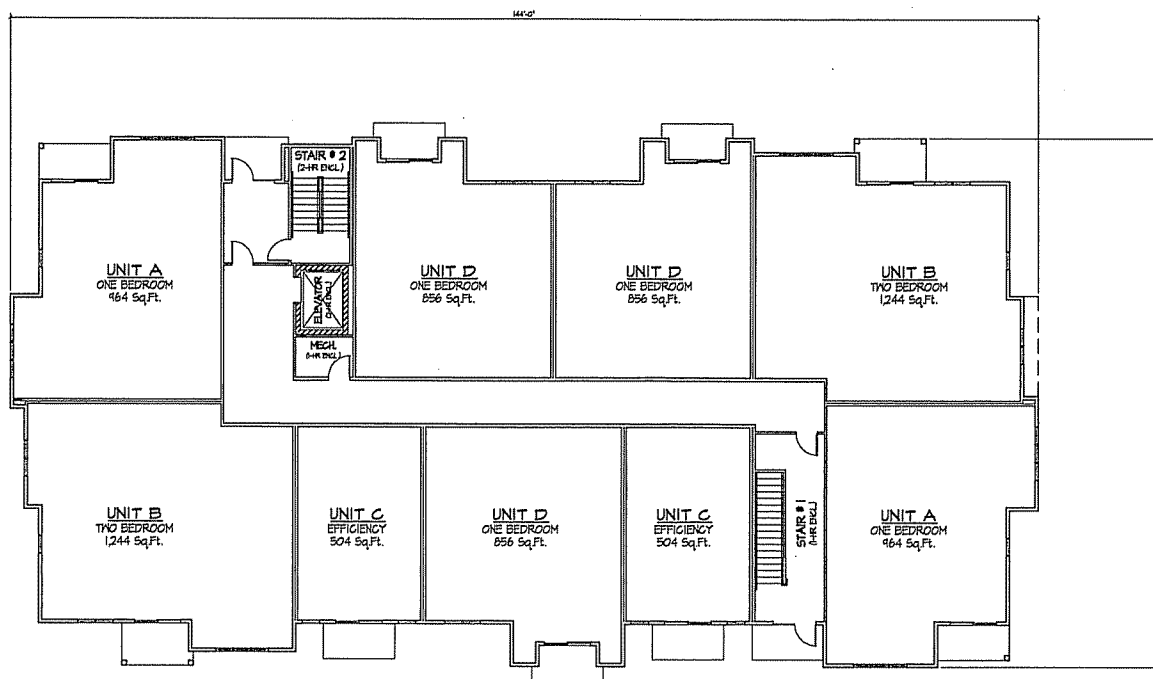
Revisions  
1-Z REVIEW SHEETAL - APRIL 21, 2006  
51.P. SHEETAL - MAY 24, 2006

Project Title  
**LOT#2 Hawks Ridge  
9201 Midtown Road**

**Hawks Ridge  
Apartments  
Building #3 - 2B Unit B**  
Drawing Title  
**Basement Plan**

Project No. Drawing No.  
**0531 18**

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**FIRST FLOOR PLAN**  
1/8" = 1'-0"  
9,193 Sq.Ft.



Revisions

- 1-Z REVIEW SUBMITTAL - APRIL 21, 2006
- 51.P. SUBMITTAL - MAY 24, 2006

Project Title  
**LOT#2 Hawks Ridge**  
9201 Midtown Road

**Hawks Ridge**  
Apartments  
Building #3 - 2B Unit B  
Drawing Title  
**First Floor Plan**

Project No. Drawing No.  
**0531 19**

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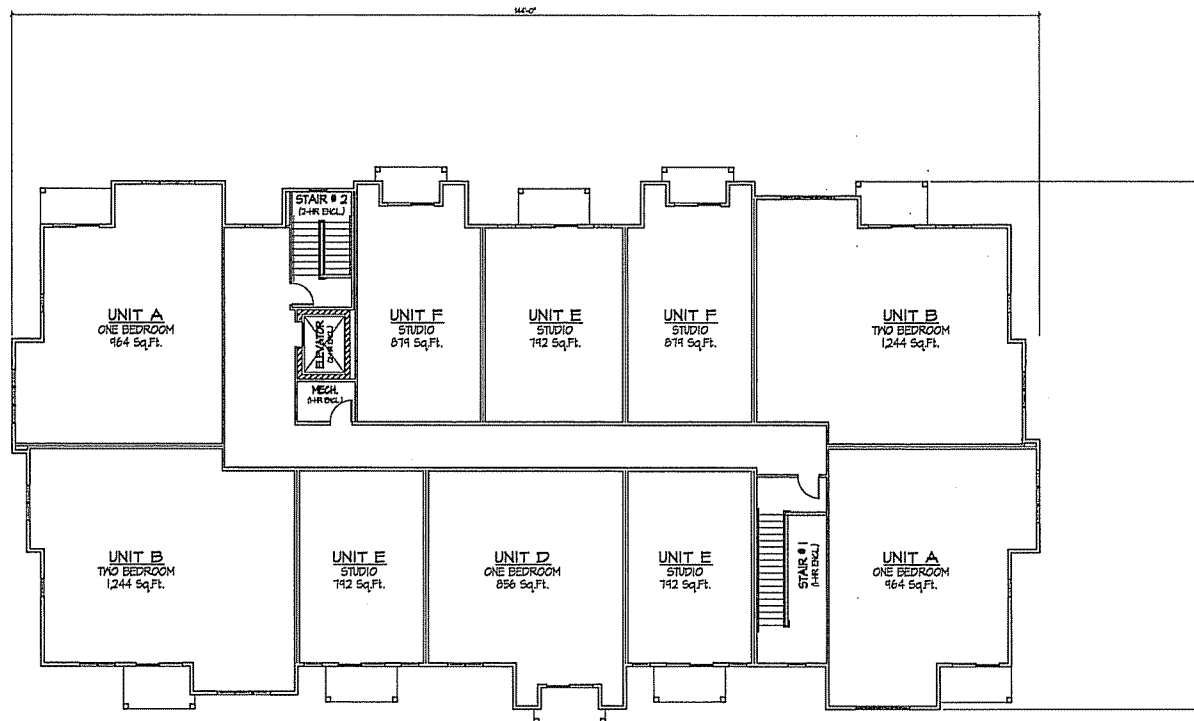
○ SECOND FLOOR PLAN  
1/8" = 1'-0" 9,193 Sq.Ft. ○  
N

Project Title  
**LOT#2 Hanks Ridge**  
**9201 Midtown Road**

**Hanks Ridge**  
**Apartments**  
**Building #3 - 2B Unit B**  
Drawing Title  
**Second Floor Plan**

Project No. Drawing No.  
**0531 20**

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○ THIRD FLOOR PLAN  
1/8" = 1'-0"  
9,193 Sq.Ft. 

Revisions

- 1-2 REVISION SUBMITTAL - APRIL 27, 2006
- 5-1P. SUBMITTAL - MAY 24, 2006

Project Title  
**LOT#2 Hanks Ridge**  
**9201 Midtown Road**

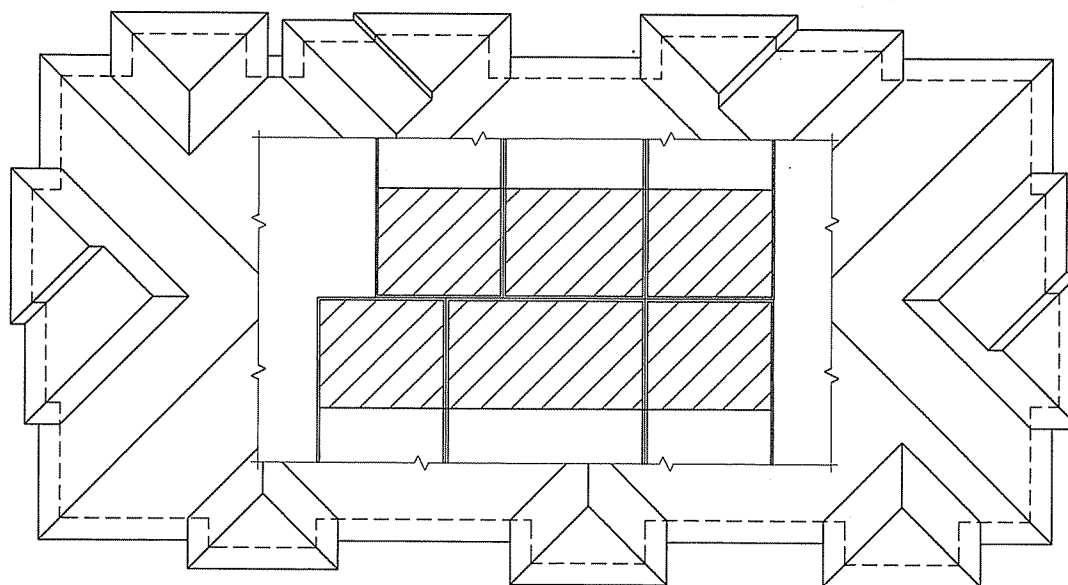
**Hanks Ridge**  
**Apartments**  
**Building #3 - 2B Unit B**  
Drawing Title  
**Third Floor Plan**

Project No. **0531** Drawing No. **21**

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Notes

-HATCHED AREAS INDICATE EXTENT OF  
LOFTS.



LOFT FLOOR PLAN  
1/8" = 1'-0" 1,857 Sq.Ft. N

Revisions

1-Z REVIEW SUBMITTAL - APRIL 27, 2006  
51.P. SUBMITTAL - MAY 24, 2006

Project Title

**LOT#2 Hawks Ridge  
9201 Midtown Road**

**Hawks Ridge  
Apartments  
Building #3 - 2B Unit B**  
Drawing Title  
**Loft Floor Plan**

Project No.

**0531**

Drawing No.

**22**

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Consultant

Notes



- TYPICAL MATERIALS:**
- Asphalt Shingles
  - Painted / Alumn. Fascia & Soffit
  - Horizontal Siding
  - Precast Sill
  - Soldier Course
  - Painted / Alumn. Window Trim
  - Painted Columns
  - Brick Veneer
  - Aluminum Rolling
  - Accent Band
  - Precast Window Heads, Sills & Bands
  - Smooth Face C.M.U.

**SOUTH ELEVATION**

1/8" = 1'-0"



**EAST ELEVATION**

1/8" = 1'-0"

Revisions

- 1-Z REVISION SUBMITTAL - APRIL 27, 2006
- 51.P. SUBMITTAL - MAY 24, 2006

Project Title  
**LOT#2 Hawks Ridge**  
**9201 Midtown Road**

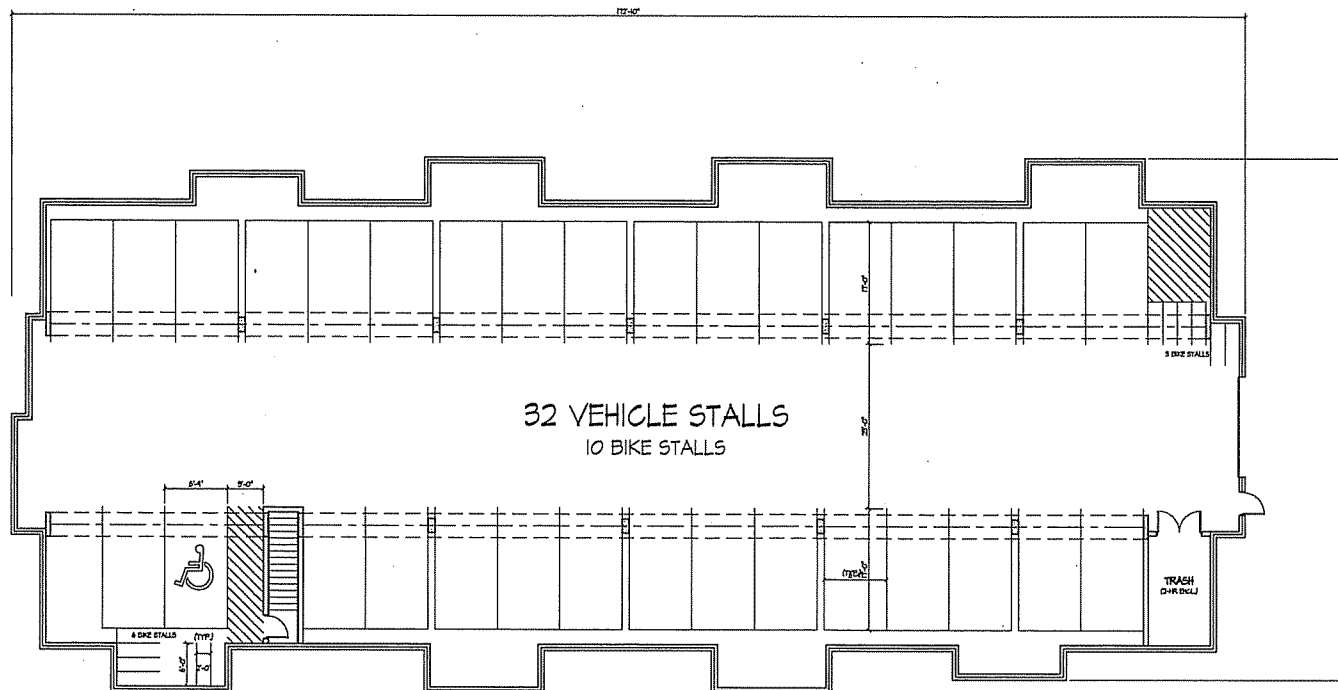
**Hawks Ridge**  
**Apartments**  
**Building #3 - 28 Unit B**  
 Drawing Title  
**Elevations**

Project No. Drawing No.  
**0531 23**

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Notes



**BASEMENT FLOOR PLAN**  
1/8" = 1'-0" 

Revisions

I-Z REVIEW SUBMITTAL - APRIL 27, 2006  
S.I.P. SUBMITTAL - MAY 24, 2006

Project Title  
**LOT#2 Hanks Ridge**  
**9201 Midtown Road**

**Hanks Ridge**  
**Apartments**  
**Building #4 - 26 Unit**  
Drawing Title  
**Basement Plan**

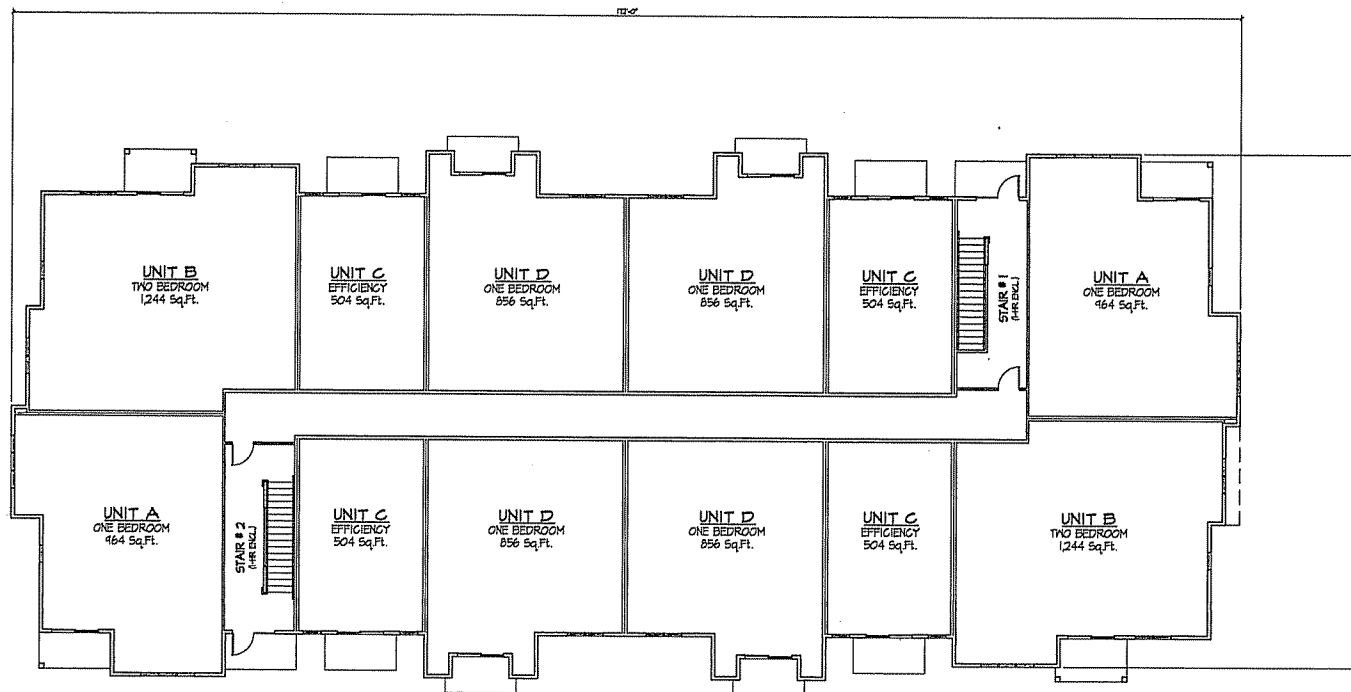
Project No. Drawing No.  
**0591 24**

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Consultant

Notes



FIRST FLOOR PLAN  
1/8" = 1'-0" 10,953 Sq.Ft. N

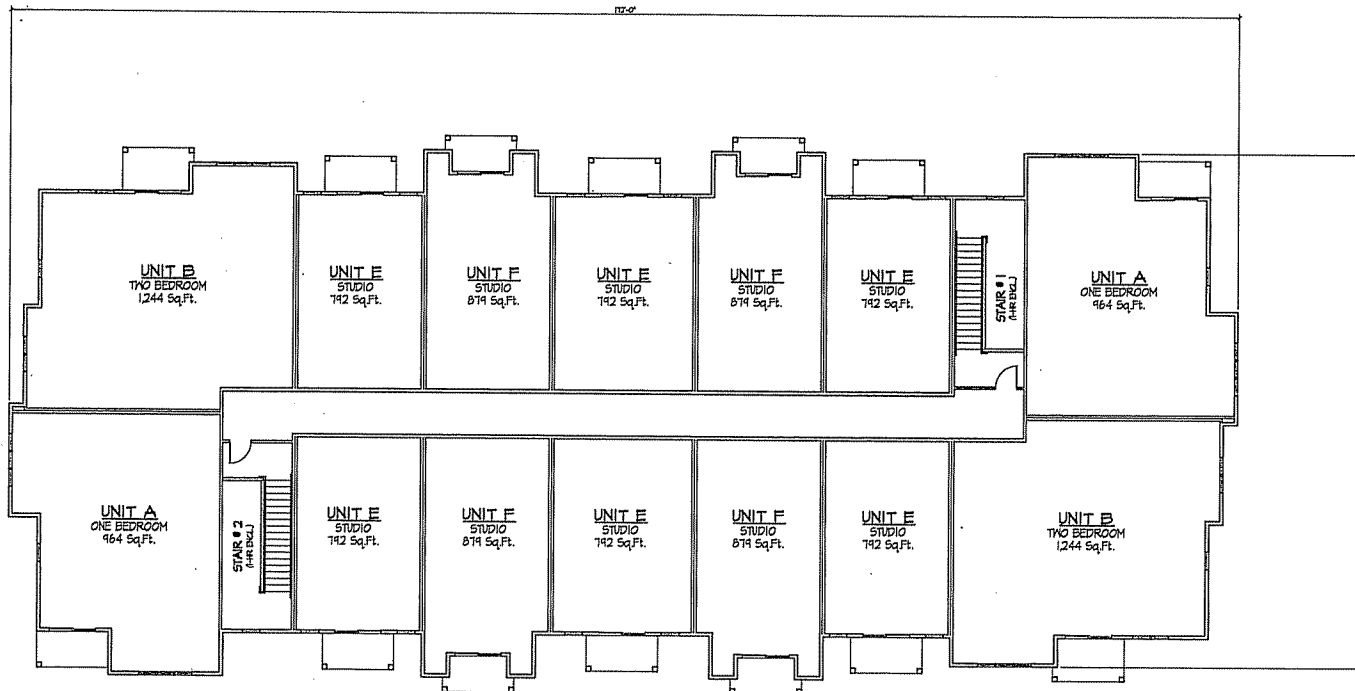
Revisions  
1-Z REVIEW SUBMITTAL - APRIL 27, 2006  
51.P. SUBMITTAL - MAY 24, 2006

Project Title  
**LOT#2 Hawks Ridge**  
9201 Midtown Road

**Hawks Ridge**  
Apartments  
Building #4 - 26 Unit  
Drawing Title  
**First Floor Plan**

Project No. Drawing No.  
**0531 25**

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Revisions

- I-Z REVIEW SUBMITTAL - APRIL 27, 2006
- SJ.F. SUBMITTAL - MAY 24, 2006

SECOND FLOOR PLAN  
1/8" = 1'-0" 10,453 Sq.Ft.

Project Title  
**LOT#2 Hanks Ridge**  
**9201 Midtown Road**

**Hanks Ridge**  
**Apartments**  
**Building #4 - 26 Unit**  
Drawing Title  
**Second Floor Plan**

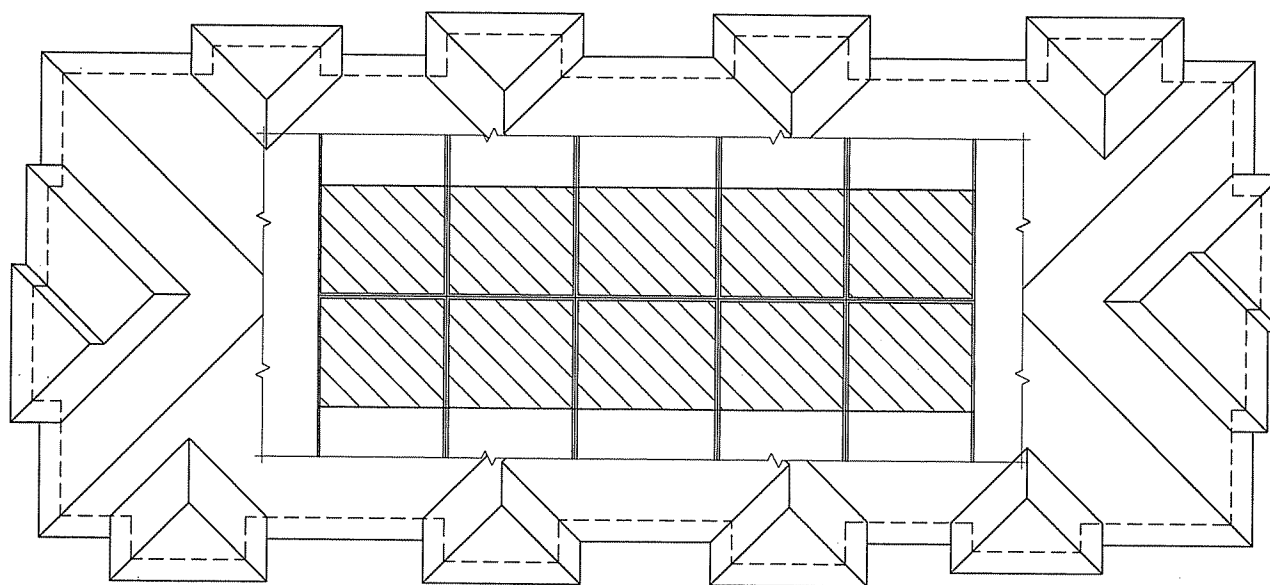
Project No. Drawing No.  
**0531 26**

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Consultant

Notes

-HATCHED AREAS INDICATE EXTENT OF  
LOFTS.



Revisions

1-Z REVIEW SUBMITTAL - APRIL 27, 2006  
S.J.P. SUBMITTAL - MAY 24, 2006

LOFT FLOOR PLAN  
1/8" = 1'-0" 2,849 Sq.Ft. N

Project Title  
**LOT#2 Hawks Ridge**  
**9201 Midtown Road**

**Hawks Ridge**  
**Apartments**  
**Building #4 - 26 Unit**  
Drawing Title  
**Loft Floor Plan**

Project No. Drawing No.  
**0581 27**

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Notes



WEST ELEVATION  
 1/8" = 1'-0"

Revisions  
 1-Z REVIEW SUBMITTAL - APRIL 27, 2006  
 51-F. SUBMITTAL - MAY 24, 2006



NORTH ELEVATION  
 1/8" = 1'-0"

Project Title  
**LOT#2 Hawks Ridge**  
**9201 Midtown Road**

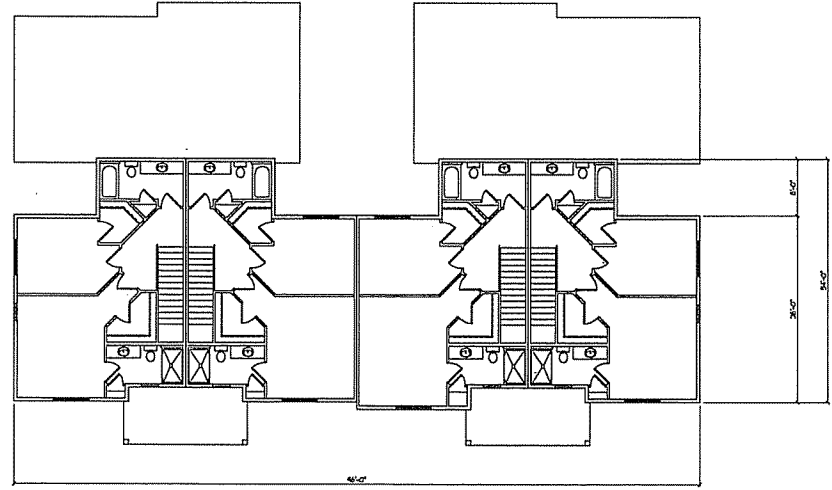
**Hawks Ridge**  
**Apartments**  
**Building #4 - 26 Unit**  
 Drawing Title  
**Elevations**

Project No. Drawing No.  
**0531 28**

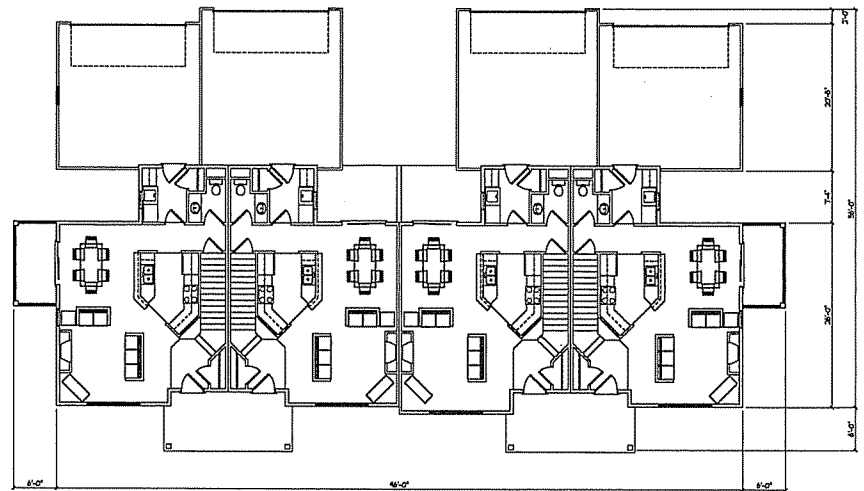
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Consultant

Notes



**SECOND FLOOR PLAN**  
1/8" = 1'-0" 2848 R.P.



**FIRST FLOOR PLAN**  
1/8" = 1'-0" 2848 R.P.

Revisions  
I-Z REVIEW SUBMITTAL - APRIL 27, 2006  
51.P. SUBMITTAL - MAY 24, 2006

Project Title  
Lot #2 Hanks Ridge  
9201 Midtown Road  
  
Hanks Ridge  
Town House Condo  
Bldgs #5-#9 / 4 Unit  
Drawing Title  
Floor Plans

Project No. Drawing No.  
0531 29

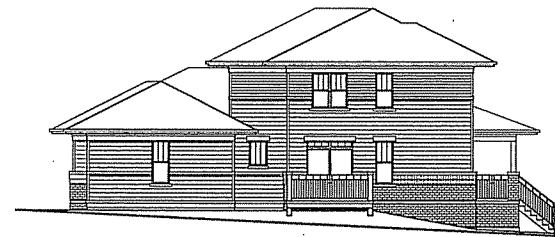
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Notes



TYPICAL FRONT ELEVATION  
1/8" = 1'-0"



TYPICAL SIDE ELEVATION  
1/8" = 1'-0"

Revisions

I-Z REVIEW SUBMITTAL - APRIL 27, 2006  
S.I.P. SUBMITTAL - MAY 24, 2006

Project Title

Lot #2 Hawks Ridge  
9201 Midtown Road

Hawks Ridge  
Town House Condo  
Bldgs #5-#9 / 4 Unit

Drawing Title  
Elevations

Project No.

0531

Drawing No.

30

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