

Consultant

Notes

1. A SIDE WALK WITH A PITCH GREATER THAN 1:20 IS A RAMP. THE MAXIMUM PITCH OF ANY RAMP OR WALK SHALL BE 1:12. RAMP OVERCOMING MORE THAN 6" CHANGE IN ELEVATION TO HAVE HANDRAILS ON BOTH SIDES.
2. ALL DRIVEWAYS, CURB ADJACENT TO DRIVEWAYS, AND SIDEWALK CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY, SHALL BE COMPLETED IN ACCORDANCE WITH CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION BY A CONTRACTOR CURRENTLY LICENSED BY THE CITY.
3. ALL NEW DRIVES TO BE CONSTRUCTED WITH CLASS III APPROACHES IN ACCORDANCE WITH MADISON GENERAL ORDINANCE SECTION 10.08(4).
4. ALL TRASH AND RECYCLING TO BE COLLECTED IN TRASH ROOMS IN THE BUILDING BASEMENTS OR IN PRIVATE GARAGES.
5. SEE SITE GRADING AND UTILITY PLANS FOR ADDITIONAL INFORMATION.
6. ALL WORK IN THE RIGHT OF WAY SHALL BE PERFORMED BY A CITY OF MADISON LICENSED CONTRACTOR.
7. BIKE STALLS TO BE IN ACCORDANCE TO MADISON GENERAL ORDINANCE 20.11, (SEE SUBSECTIONS (3)(e) AND (3)(h)(2a)).
8. ALL CITY SIDEWALK, CURB AND BUTTER, WHICH IS DAMAGED DURING CONSTRUCTION OR THAT THE CITY ENGINEER DETERMINES TO BE NECESSARY SHALL BE REPLACED.
9. ANY DAMAGE TO STREET PAVEMENT WILL REQUIRE RESTORATION IN ACCORDANCE WITH THE CITY'S PATCHING CRITERIA.
10. SIGNAGE APPROVALS ARE NOT GRANTED BY THE PLAN COMMISSION. SIGNAGE MUST BE APPROVED BY THE URBAN DESIGN COMMISSION OR STAFF. SIGN PERMITS MUST BE ISSUED BY THE ZONING SECTION OF THE DEPARTMENT OF PLANNING AND COMMUNITY AND ECONOMIC DEVELOPMENT PRIOR TO SIGN INSTALLATIONS.

Revisions

- September 15, 2010 - UDC Initial Submittal
September 20, 2010 - Cond. Use Resubmittal

Project Title

Aspen Hill Apartments Phase II

9401 Mid Town Road
Lot 55 of the First Addition
to Hanks Ridge Estates

Drawing Title

Site Plan

Project No.

1020

Drawing No.

C-1.1

SHEET INDEX:

SITE

- C-1.1 SITE PLAN
- C-1.2 SITE LIGHTING PLAN
- C-1.3 FIRE DEPARTMENT SITE ACCESS PLAN
- C-2.1 SITE GRADING & EROSION CONTROL PLAN
- C-3.1 SITE UTILITY PLAN
- C-4.1 LANDSCAPE PLAN

ARCHITECTURAL

- A-1.0 BASEMENT PLAN - 28 UNIT
- A-1.1 FIRST FLOOR PLAN - 28 UNIT
- A-1.2 SECOND FLOOR PLAN - 28 UNIT
- A-1.3 THIRD FLOOR PLAN - 28 UNIT
- A-1.4 LOFT FLOOR PLAN - 28 UNIT
- A-1.5 FLOOR PLANS - 4 UNIT
- A-2.0 ELEVATIONS - 28 UNIT
- A-2.1 ELEVATIONS - 28 UNIT
- A-2.2 ELEVATIONS - 4 UNIT

SITE DEVELOPMENT STATISTICS

LOT AREA	126,235 S.F./2.89 ACRES
DWELLING UNITS	64 D.U.
LOT AREA/ D.U.	1,972.4 S.F./D.U.
DENSITY	22 UNITS/ACRE
BUILDING HEIGHT	2-3 STORIES

GROSS FLOOR AREA

13,142 S.F. (excluding underground parking)

FLOOR AREA RATIO 0.58

UNIT MIX

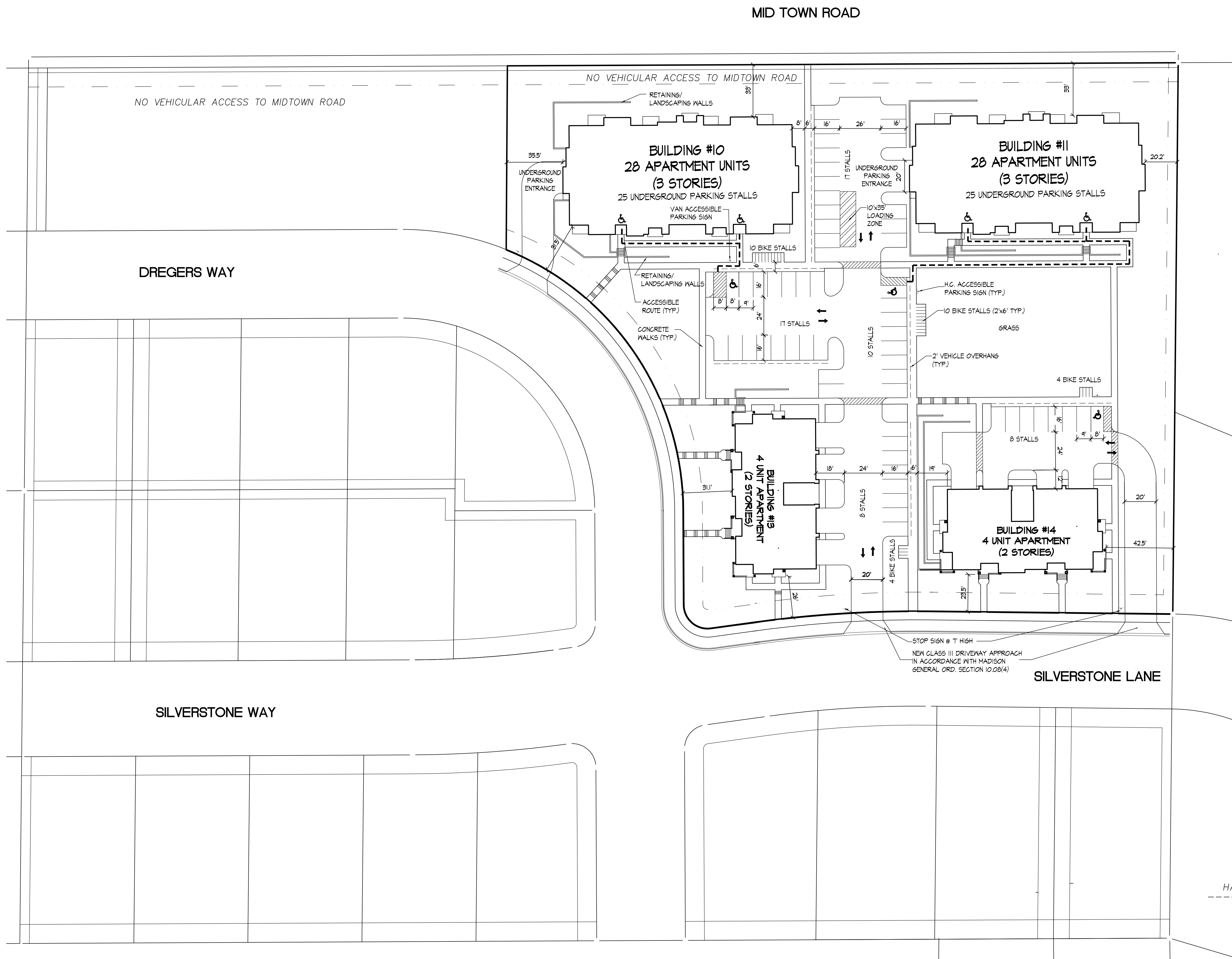
ONE BEDROOM	14
TWO BEDROOM	32
EFFICIENCY	8
STUDIO W/ LOFT	10
TOTAL	64

VEHICLE PARKING

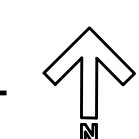
UNDERGROUND	50 (INCL. 2 ACCESSIBLE)
SURFACE	60 (INCL. 3 VAN ACCESSIBLE)
TOTAL	126 (INCL. 5 ACCESSIBLE)

BIKE PARKING

UNDERGROUND	22
GARAGE	8
SURFACE	28
TOTAL	58 (50 + 5(14)=57 REQUIRED)



Site Plan
1" = 30'

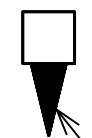



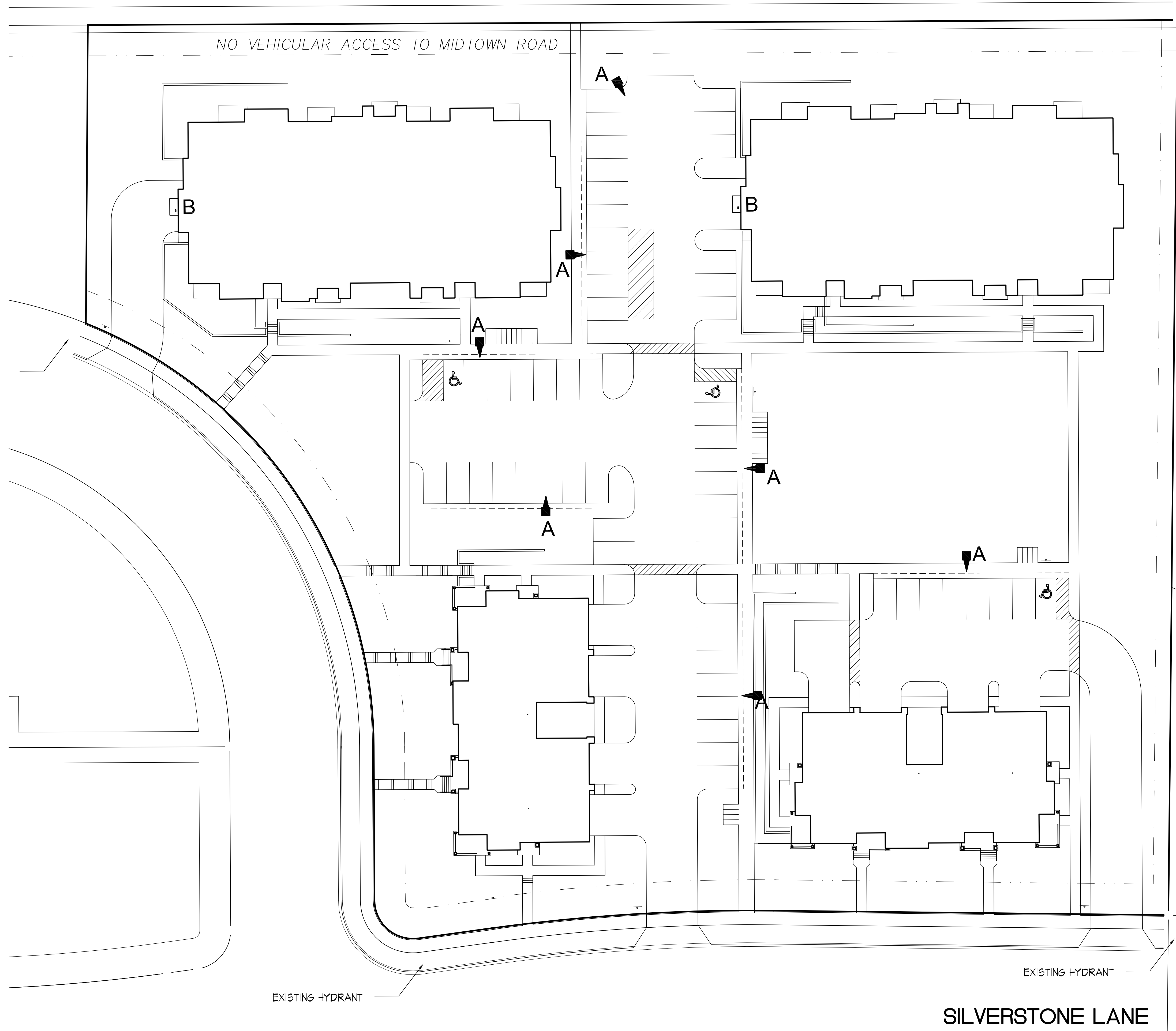
3

HAW

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Notes

LIGHTING SCHEDULE								
Symbol	Label	Qty	Manufacturer	Catalog Number	Description	Lamp	File	Mounting
	A	7	RUUD LIGHTING	MAC410SBL	12" AREA CUTOFF / W/ BACK LIGHT SHIELD	100 WATT MH	MAC417SBLies	16'-0" POLE ON 2'-0" CONC. BASE
Arrow indicates direction of light, typical								
	B	2	RUUD LIGHTING	E8405-D	RECTANGULAR SECURITY / DEEP SHIELDED	50 WATT MH	E8507.JES	8'-0" UP ON SIDE OF BUILDING



Revisions
September 8, 2010 - Conditional Use Submittal
Sept. 20, 2010 - Resubmit Conditional Use


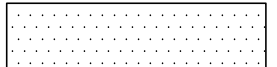
Project Title
**Aspen Hill Apartments
Phase II**
9401 Mid Town Road
Lot 55 of the First Addition
to Hanks Ridge Estates

Drawing Title
Site Lighting Plan

Project No. **1020** Drawing No. **C-1.2**

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Notes

1.  = 26' WIDE AERIAL APPARATUS FIRE LANE PARALLEL TO ONE ENTIRE SIDE OF A BUILDING AND WITHIN 30'.
2.  = 20' TO 28' WIDE FIRE LANE. (SEE PLAN FOR ACTUAL WIDTH)

Revisions

- September 8, 2010 - Conditional Use Submittal
Sept. 20, 2010 - Resubmit Conditional Use

Project Title

**Aspen Hill Apartments
Phase II**
9401 Mid Town Road
Lot 55 of the First Addition
to Hanks Ridge Estates

Drawing Title

**Fire Department Site
Access Plan**

Project No.

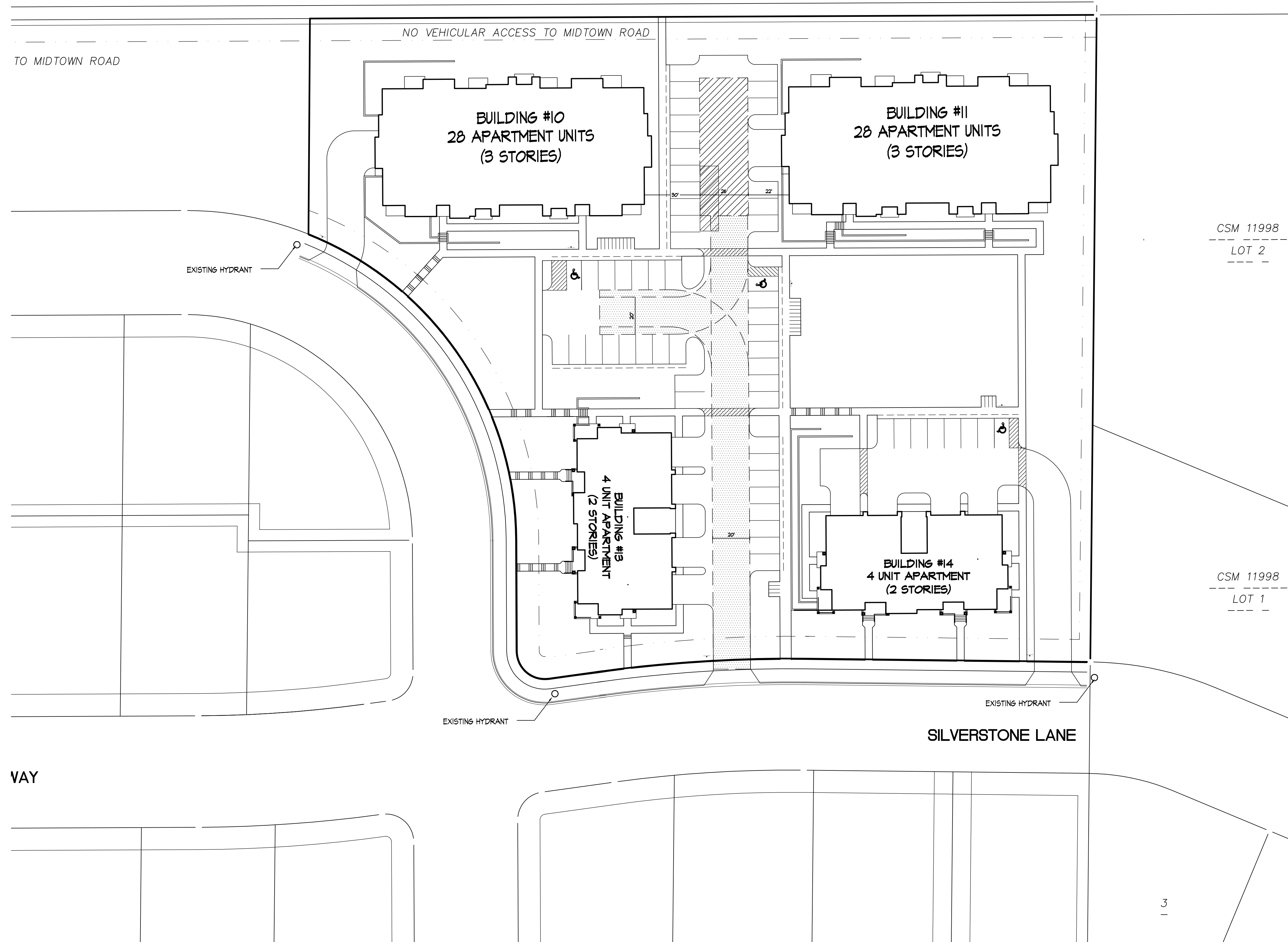
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Drawing No.

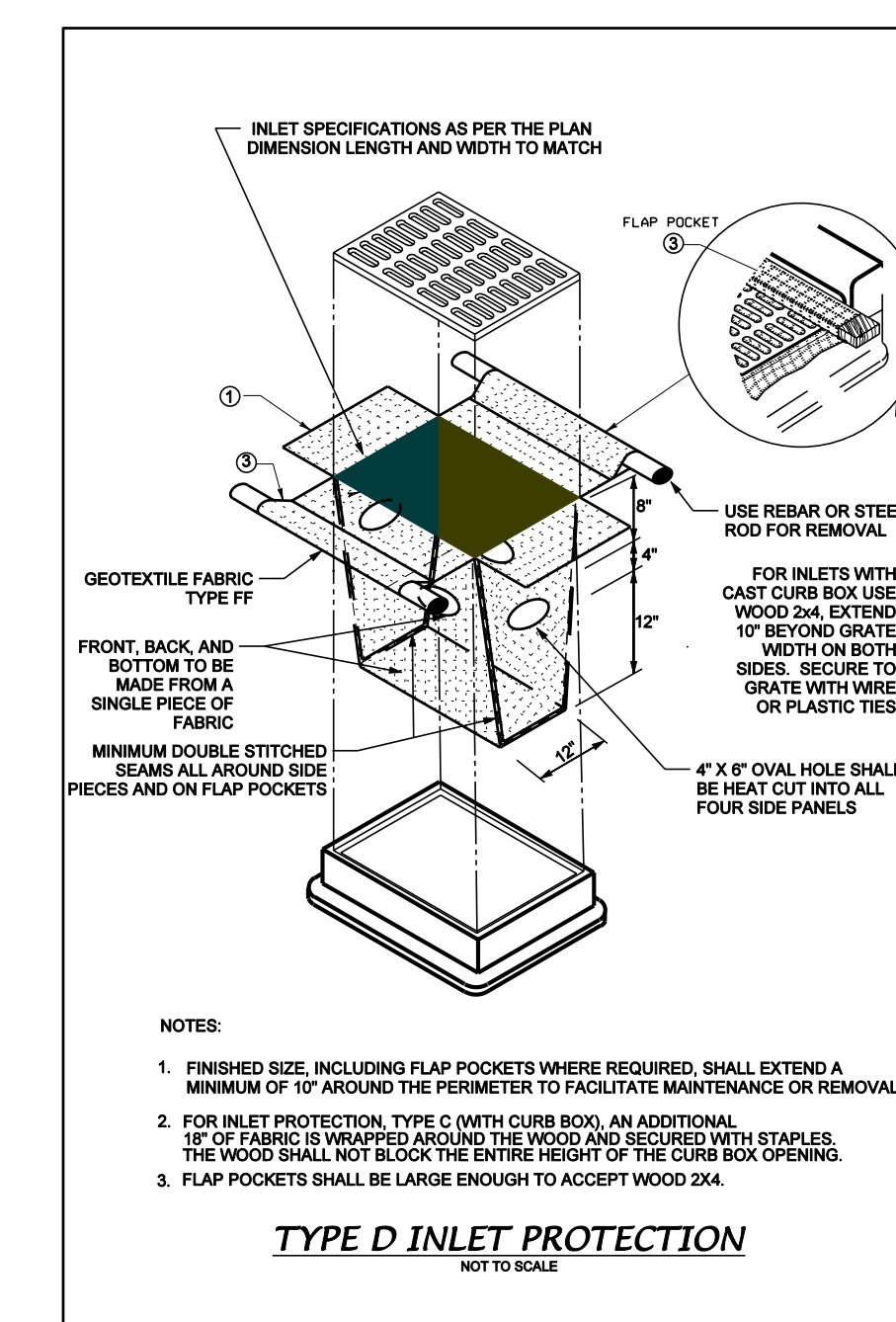
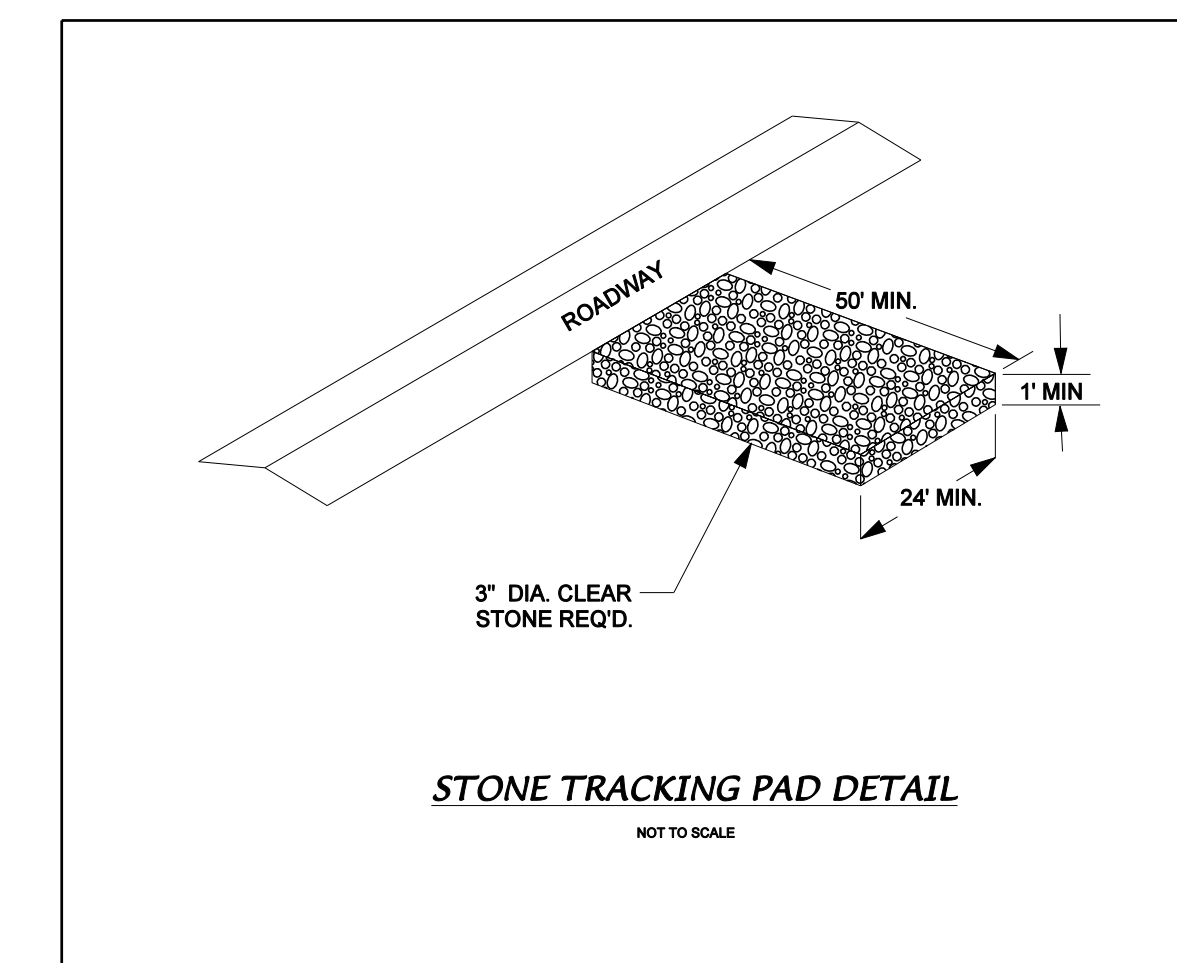
C-1.3

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MID TOWN ROAD

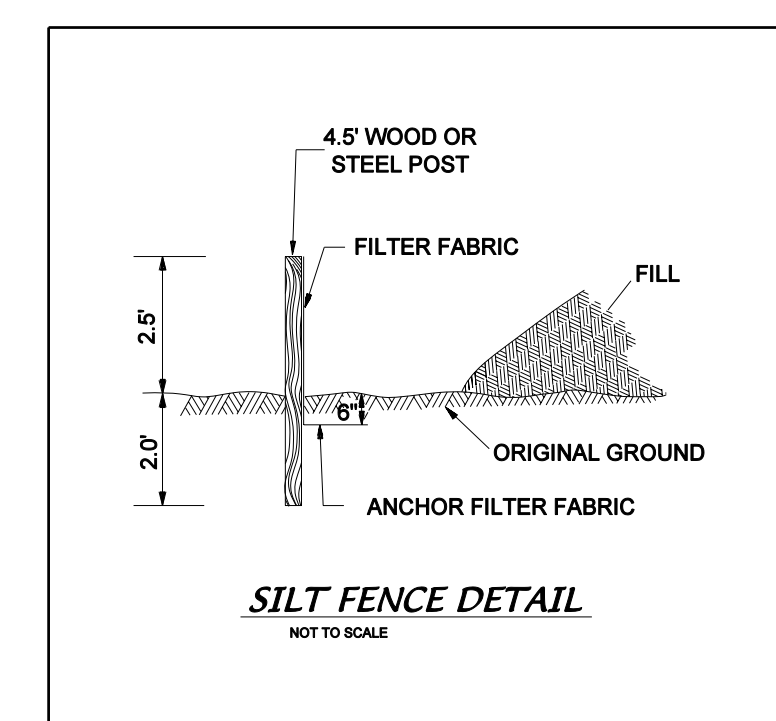


 Fire Department Site Access Plan
1" = 30'

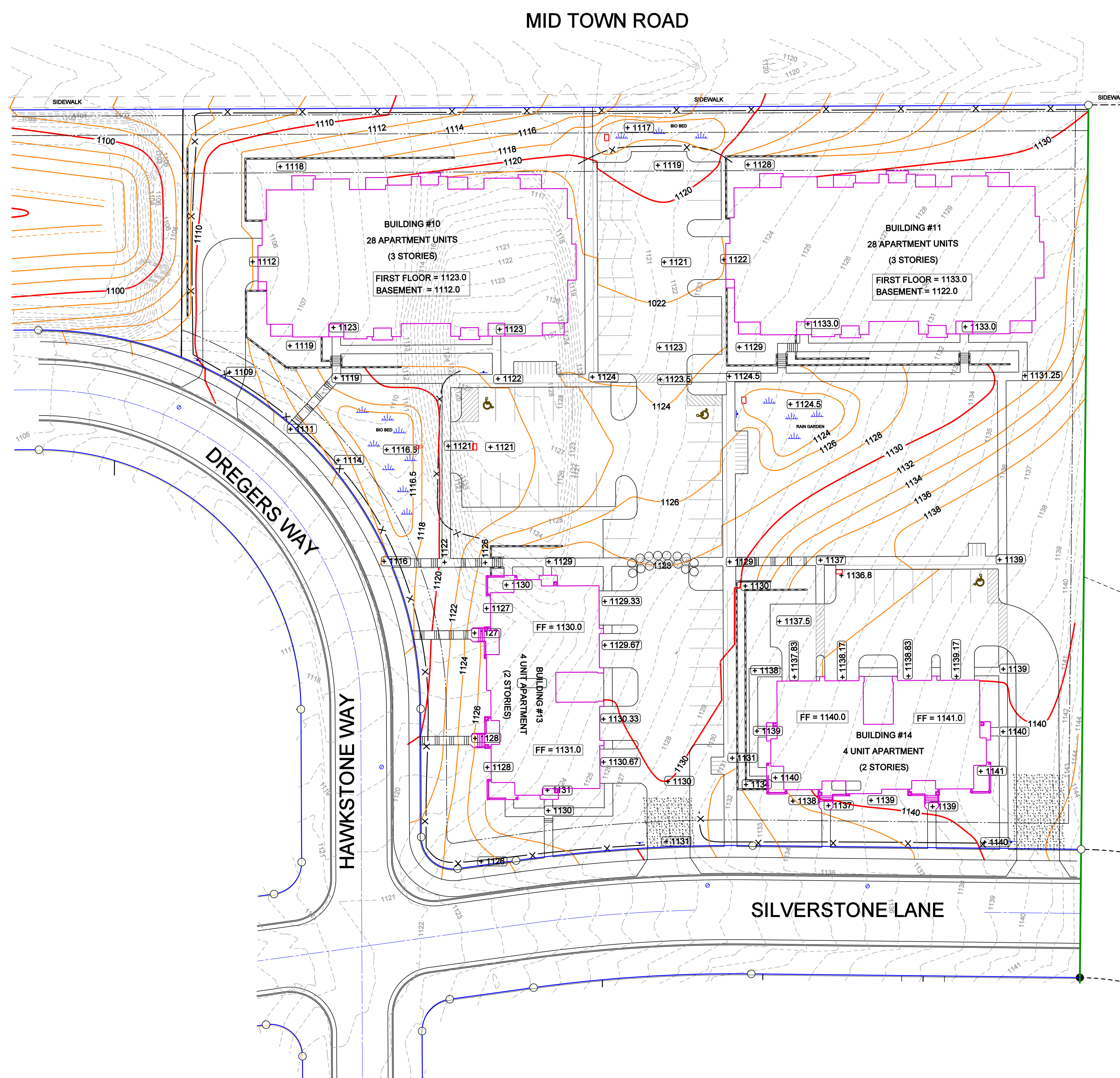


- NOTES:
1. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10' AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
 2. FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 1/2" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
 3. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2x4.

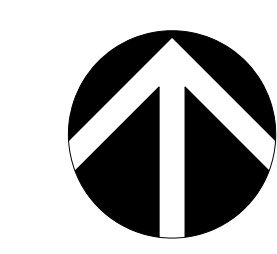
TYPE D INLET PROTECTION
NOT TO SCALE



SILT FENCE DETAIL
NOT TO SCALE



- LEGEND**
- - - 232 EXISTING CONTOUR
 - PROPOSED STORM SEWER
 - x SILT FENCE
 - CLEAR STONE VELOCITY CHECK
 - STONE TRACKING PAD
 - RETAINING WALL
 - ⊕ 1137 PROPOSED SPOT ELEVATION



SCALE: 1" = 30'

DIGGERS HOTLINE

TOLL FREE 1-800-242-8511
MILWAUKEE AREA 414-259-1181
TDD 1-800-542-2289

STATE LAW REQUIRES YOU TO NOTIFY OWNERS AND OPERATORS OF TRANSDUCTION FACILITIES AT LEAST THREE WORKING DAYS BEFORE YOU DIG

- SITE GRADING AND EROSION CONTROL NOTES**
- 1) All site grading and erosion control shall conform with the "City of Madison Standard Specifications" and all addendums issued prior to the contract bid date.
 - 2) Stone tracking pad shall be installed at the commencement of construction. Stone tracking pad shall be a minimum of 20 feet wide, 50 feet long and 1 foot thick, constructed with a minimum of 5" clear stone. Entrance shall be maintained in a condition which will prevent tracking of mud onto public right-of-way.
 - 3) Silt fence shall be installed at the start of site grading and maintained until the site has been stabilized.
 - 4) Area disturbed within any street right-of-way shall be restored with 4" topsoil, fertilizer, seed, and mulch.
 - 5) Disturbed areas outside the street right-of-way shall be restored with topsoil, seed, fertilizer and mulch or in accordance with an approved landscape plan.
 - 6) Public streets and adjacent parking lots shall be cleaned daily as necessary.
 - 7) Erosion control shall be the responsibility of the Contractor until the site has been stabilized. Erosion measures as listed shall be the minimum measures that will be acceptable.
 - 8) The Contractor shall install additional erosion measures as requested in writing by the project superintendent or the City of Madison within 24 hours of notification.
 - 9) Containment berm shall be temporary seeded and mulched upon completion.
 - 10) Type D inlet protection shall be installed as soon as the structure is set. Inlet filters shall be maintained by the contractor until the curb and gutter installation is complete.
 - 11) Erosion mat shall be installed on all slopes 4:1 or steeper. Erosion mat shall be North American Green S75 or equivalent.

Revisions

Project Title
Aspen Hill Apartments
PH II

Lot #55
First Add. Hawks
Ridge Estates
Drawing Title
Site Grading and Erosion
Control Plan

Project No. 1020 Drawing No. C-2.1

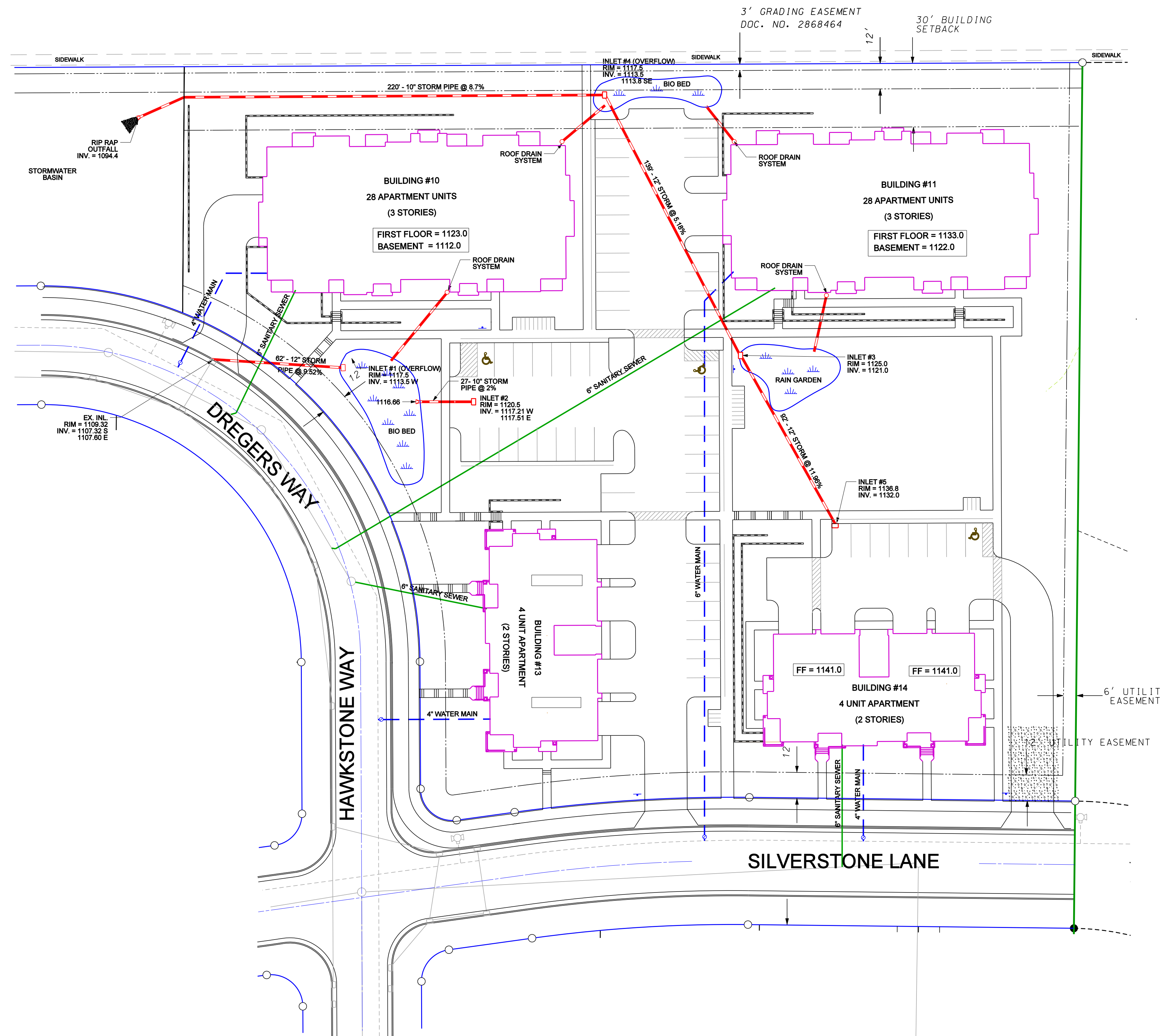
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D'ONOFRIO KOTTKE AND ASSOCIATES, INC

7530 Westward Way, Madison, WI 53717
Phone: 608.8 3.7530 • Fax: 608.833.1089
YOUR NATURAL RESOURCE FOR LAND DEVELOPMENT
FN: 10-03-101

MID TOWN ROAD



UTILITY NOTES:

- All site utilities shall conform to the City of Madison Standard Specifications for Public Works Construction, latest edition.
- Storm sewer shall be installed with water tight joints.
- Prior to connecting to existing storm sewer the contractor shall verify the existing inverts and notify project superintendent if discrepancies are found from plan grades.
- Contractor to coordinate with respective utility companies for gas, electric, telephone, cable relocations if necessary.
- Existing utility locations are based on information obtained in the field and from as-built plans. Information as shown on the drawings are no guarantee as to their exact location. The contractor shall make himself familiar with existing utilities in the area and be responsible for their protection during construction.
- All inlets, new or existing, that receive runoff as a result of the parking lot improvements, shall have a Kristar FloGard insert installed after construction is complete.
- Plumbing contractor to verify sizing of sanitary sewer and water services prior to installation.
- The Utility Contractor shall obtain a connection permit and excavation permit prior to commencing the storm sewer construction.

LEGEND

- PROPOSED INLET
- PROPOSED STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED WATER MAIN
- HYDRANT
- WATER VALVE

Revisions

Project Title
Aspen Hill Apartments
PH II

Lot #55
First Add. Hawks
Ridge Estates

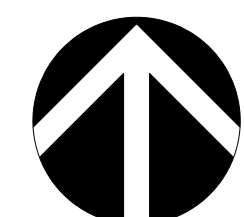
Drawing Title

Site Utility Plan

Project No. Drawing No.

1020

C-2.2



SCALE: 1" = 30'



DIGGERS HOTLINE

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MILWAUKEE AREA 414-259-1181
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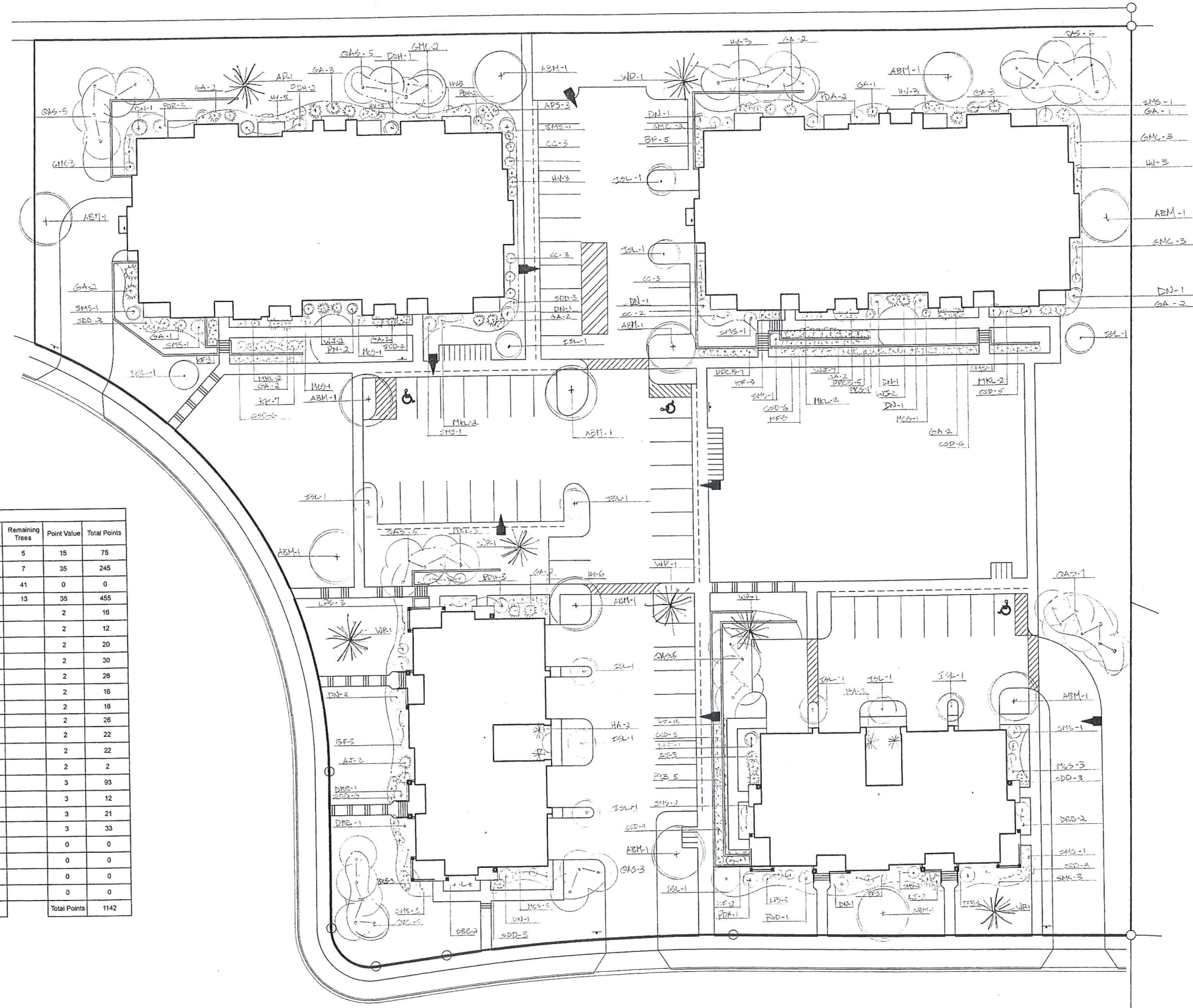
STATE LAW REQUIRES YOU TO NOTIFY OWNERS AND OPERATORS OF TRANSDUCER FACILITIES AT LEAST THREE WORKING DAYS BEFORE YOU DIG.

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WATTS LANDSCAPE SERVICE

- Notes
- ALL BEDS TO BE EDGED WITH BLACKWOODS EDGEWOOD.
 - BEDS TO BE EITHER 2" NATURAL WASHSTONE OR STAINLESS HARDWOOD MULCH OWNER'S CHOICE.



Key							
Code	Number	Plant Common Name	Size	Number of Parking Lot Trees	Remaining Trees	Point Value	Total Points
WP	5	White Pine	4'		5	15	75
ABM	12	Autumn Blaze Maple	2"	5	7	35	245
QAS	41	Quaking Aspen, Single	1.25"		41	0	0
ISL	13	Ivory Silk Lilac	2"		13	35	455
PDH	8	Pink Diamond Hydrangea	18"			2	16
LPS	6	Little Princess Spirea	15"			2	12
MCS	10	Magic Carpet Spirea	18"			2	20
SMS	15	Snowmound Spirea	15"			2	30
BF	13	Bronx Forsythia	15"			2	26
DBB	8	Dwarf Burning Bush	2'			2	16
MKL	8	Miss Kim Lilac	18"			2	16
DN	13	Diablo Ninebark	2'			2	26
GMC	11	Green Mound Alga Cuntari	15"			2	22
CC	11	Cranberry Cotoneaster	#3 container			2	22
RSD	1	Redstem Dogwood	3'			2	2
GA	31	Woodward Globe Arborvitae	30"			3	93
HA	4	Holmstrup Arborvitae	3'			3	12
AJ	7	Arcadia Juniper	#3 container			3	21
WJ	11	Wisconsin Juniper	#3 container			3	33
SDD	23	Stella D'Oro Daylily	#1			0	0
CSD	27	Chicago Sunrise Daylily	#1			0	0
HV	29	Gold Standard Hosta	#1			0	0
PPCB	20	Purple Palace Coralbells	#1			0	0
				Total Parking Lot Trees	5	Total Points	1142

Revisions
Issued to Planning - Sept. 16, 2010
Revised 9/21/2010

Project Title
Aspen Hill Apartments Phase II
9401 Mid Town Road
Lot 55 of the First Addition
to Hanks Ridge Estates

Drawing Title
Landscape Plan

Project No. **1020** Drawing No. **C-4.1**

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